

AGENDA
JENKS PLANNING COMMISSION
THURSDAY, OCTOBER 9, 2025, 6:00 PM
JENKS CITY HALL, 211 NORTH ELM

If you require special accommodations pursuant to the Americans with Disabilities Act, please notify the City Clerk's Office at (918) 299-5883 or email agendas@jenksok.org.

CALL TO ORDER

ROLL CALL

BUSINESS

Official action can only be taken on items which appear on the agenda. The Planning Commission may adopt, approve, ratify, deny, defer, recommend, amend, strike, or continue any agenda item (except for Item 1).

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under "Consent" are considered by the Commission to be routine and will be enacted by one motion. Any Commissioner may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)
 - A. Approve minutes of the regular meeting held on September 04, 2025.
 - B. Approve JL 25-411 - A Lot Split for Aaron Kelkhoff near 187 E 116th St.
 - C. Approve JL 25-412 - A Lot Split for Chris Zemenek near 2300 W 91st St.
2. Consideration and appropriate action relating to items removed from the Consent Agenda
3. Minor Amendment to the Comprehensive Plan Land Use Map:
 - a. Regional Commercial to Low Intensity Single-family (W of HWY 75, S of 91st St)
 - b. Parks and Open Space to Regional Commercial (W of HWY 75, on Union Ave from S of 91st St to 121st St)
 - c. Parks and Open Space to Regional Commercial (E of railroad tracks and south of Simon Outlet Mall)
 - d. Business Park and High Intensity Single-family to Medium Intensity Single-family (N of 131st St & W of Elm St)
 - e. Local Commercial to High Intensity Single-family (N of 131st St & W of Elm St)
 - f. Medium Intensity Single-family to Low Intensity Single-family (N of 131st St at Lewis & W of Harvard)
 - g. Medium Intensity Single-family to Low Intensity Single-family (S of 131st St and W of Lewis)
 - h. Medium Intensity Single-family to Low Intensity Single-family (N of 141st St and E of Elm)
4. JZ 25 PUD 146.ma2 - request for a Zone Change from CS (Commercial Shopping) to RS-3 (Residential Single Family) and approval of Major Amendment 2 for PUD 146

(Planned Unity Development) Overlay. General Location: N of 131st & W of Elm.

OTHER BUSINESS

1. Planning Updates

ADJOURNMENT

MINUTES
JENKS PLANNING COMMISSION
THURSDAY, SEPTEMBER 4, 2025, 6:00 PM
JENKS CITY HALL, 211 NORTH ELM

CALL TO ORDER

The Jenks Planning Commission was called to order at 6:01 p.m. on September 04, by Chair Scott West.

ROLL CALL

Present

Amy Bors
Craig Bowman
Rob Sellers
Greg Nixon
Ray Stephens
Chair Scott West

Absent

Gina Wilson

BUSINESS

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under “Consent” are considered by the Commission to be routine and will be enacted by one motion. Any Commissioner may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)
 - A. Approve minutes of the regular meeting held on August 07, 2025.
 - B. Approve Plat 25-17 — a Preliminary/Final Plat for West K Place. General Location: NW Corner of W "K" St and N Birch Ave
 - C. Approve Plat 25-18 — a Preliminary Plat for Bentley Ranch. General Location: S of 131st & E of Elm
 - D. Approve UEC 25-03 - a Utility Easement Closure for Bentley Ranch. General Location: S of 131st & E of Elm
 - E. Approve JL 25-410 — a lot split at the general location of 11509 S Cleveland St.

Rob Sellers made a motion to approve Item 1. Ray Stephens seconded the motion. A roll call vote of members was taken as follows:
Yes: Amy Bors, Craig Bowman, Greg Nixon, Ray Stephens, Rob Sellers, Scott West
No: None
Motion Carried.
2. Consideration and appropriate action relating to items removed from the Consent Agenda

Withdrawn.
3. JZ 25-698 - Request for a Zone Change from RS-3 (Residential Single Family) to RM-3 (Residential Multi-Family). General Location: SE Corner of S 5th & E Aquarium Pl

Planning Director Marcae Hilton introduced Item 3 and answered questions. Duane Phillips (applicant) addressed the Commission about the application and answered

questions. The following citizens made comments:

- Justin Little - 10513 S Koa St
- Matt Schlupe - 510 E Duncan St

Rob Sellers made a motion to approve Item 3. Ray Stephens seconded the motion. A roll call vote of members was taken as follows:

Yes: Amy Bors, Craig Bowman, Greg Nixon, Ray Stephens, Rob Sellers, Scott West
No: None

Motion Carried.

4. JZ 25 PUD 146.ma2 - request for a Zone Change from CS (Commercial Shopping) to RS-3 (Residential Single Family) and approval of Major Amendment 2 for PUD 146 (Planned Unity Development) Overlay. General Location: N of 131st & W of Elm.
Planning Director Marcae Hilton introduced Item 4 and recommended continuing the case to the October 09, 2025, meeting. Craig Bowman made a motion to continue Item 4 to the October 09, 2025, meeting. Amy Bors seconded the motion. A roll call vote of members was taken as follows:
Yes: Amy Bors, Craig Bowman, Greg Nixon, Ray Stephens, Rob Sellers, Scott West
No: None
Motion Carried. Item continued to the October 09, 2025, meeting.

OTHER BUSINESS

1. Planning Updates
Planning Director Marcae Hilton gave an update.

ADJOURNMENT

Jenks Planning Commission adjourned at 06:26 PM.

To	Chair, Dr. Scott West and Planning Commission
Hearing Date	October 09, 2025
Case Number	JZ 25-411 Kelkhoff
Request	Lot Split
Location	North of 116 th between Elm (Peoria) and Lewis
Applicant	Aaron Kelkhoff

Staff Report

Preparer | Marcaé Hilton

Attachments

Lot Split Exhibits

Preparer

Fritz Land Surveying

Background Information

PC Summary | Original parcel received Lot Split approval on November 03, 2022 along with rezoning.

STAFF COMMENTARY | This is a Lot Split request, the lot was purchased several years ago. The (RE) Residential Estate zoning was required during the first lot split to create a conforming lot. The bulk and area standards are included in the staff report.

PLANNING DATA

REQUEST	Lot Split
Zoning	(RE) Residential Estate
Intended Use	No change is use
Account #	R98331833137510
Owner	KELKHOFF, AARON JONATHAN & JULIE
Property Address	187 E 116 ST S
Zoning	RE, Residential Single-Family (Ordinance 1601)
INCOG Street	COMMERCIAL/CBD/INDUSTRIAL COLLECTOR 80 FEET OF ROW
Land Area	3.67 acres / 160,073 sq ft
School District	JK-5A
Legal Description	Subdivision: UNPLATTED (98331) BEG 196N SECR SE NW TH W ON NL COUNTY RD 390 N260 E60 N TO NL SE NW E330 S1124 TO POB LESS BEG NWC E\2 E\2 SE NW TH E330 S660 W330 N660 TO POB & LESS PT E\2 SW NE BEG 196N SEC NW TH W123.48 CRV RT 114.79 NW 29.7 CRV LF 124.82 N15.84 CRV RT 127.7 SE 29.7 CRV LF 111.65 E123.54 S15 POB 31 18 13 3.675 ACS
STR	Section: 31 Township: 18 Range: 13
TAC	

LOT SPLIT DETAILS: Sec. 16-8-4. Subdivision Procedures.

(C) Lot Splits. Subdivisions containing three or fewer lots defined as "lot splits" in these regulations, may be excepted by City Council from all or part of the procedural provisions applicable for Major or Minor Subdivisions. The number of lots for purposes of determination of status as a lot split shall be counted cumulatively from the date of adoption of these regulations with respect to each parcel, provided that for the preservation of the spirit of these regulations, any and all parcels that have been similarly divided upon review of the Planning Commission under the provisions of previous subdivision regulations shall be counted into the cumulative total for the determination of eligibility for consideration of a request for treatment as a lot split.

(1) Lot Split Review Requirements.

- Lot split application is complete.*
- Lot split fees paid.*
- Scaled drawing of lot split(s) provided.*
- Drawing shows all existing and proposed lot lines.*
- Drawing shows adjacent streets and street widths.*
- Drawing shows existing access limitations.*
- Drawing shows a north arrow and map scale.*
- Lot dimensions and area either conform with UDO requirements of Variance of zoning code requirements have been obtained by Jenks Board of Adjustment.*
- Public water and/or sanitary sewer is not available (appropriate tests shall be conducted by health department of its assigns to determine the proposed lots' suitability for a private sewer disposal device).*
- If the lot split results in inadequate access to utility easements, dedication of easement has been provided.*
- If the lot split results in inadequate access to public street, dedication of right-of-way has been provided.*

(2) Procedure.

(a) Application for Lots Splits. Applications for lots splits shall include a scaled drawing showing:

- All existing and proposed lot lines,*
- All existing buildings, and*
- All improvements and their distances from lot lines, adjacent streets and street widths, existing access limitations,*
- A north arrow, and map scale.*

(b) City Action on Lot Splits. The City Planner, upon receiving a lot split application shall visually inspect the tract being split, notify the Planning Commission of the proposed lot split, review the proposed lot split in regard to the requirements of this UDO, prepare a recommendation concerning the proposed lot split and submit the matter for Planning Commission review and approval. If the lot split is approved by the Planning Commission and if a conveyance of interest of the created parcels is presented, the "Lot Split Approval Stamp" shall be affixed to the instrument of the transfer of interest and signed by the City Planner. Should the Planning Commission recommend that a lot split proposal be denied, the applicant may appeal to the Board of Adjustment for relief. Such appeal shall be by written petition and shall be accompanied by a fee as prescribed by ordinance.

(3) Approval Guidelines. Approval or denial of lot splits shall be based on the following conditions:

(a) Lot Characteristics.

- Lot dimensions and area shall either conform with UDO requirements or a Variance must be obtained from the Board of Adjustment.*

- *Where public water and/or public sanitary sewer is not available, appropriate tests shall be conducted by the health department or its assigns to determine the proposed lots suitability for a private sewage disposal device. Each proposed lot shall meet the minimum standards of the health department.*
- (b) Easements. Where a lot split will result in a lot having inadequate access to utility easements, dedication of easements will be required in accordance with the requirements of the Planning Commission.*
- (c) Access and Streets.*
- *Where a tract to be split is controlled by non-access provisions, no lot shall be approved where such provision will preclude access for said lot.*
 - *The splitting of land shall provide each lot with access to a public street or highway, so that the convenience of the lot owner or user is assured.*
 - *Where land to be split contains, within its boundaries, areas designated for street right-of-way on the Jenks City-County Major Street and Highway Plan, the split shall not be approved where street rights-of-way fail to conform to said plan except, upon a finding that:*
 - (i) All utilities are in place and the additional right-of-way is not required for utility placement and,*
 - (ii) The public has, by virtue of statutory easement suitable roadway dedication, right-of-way sufficient to allow the placement of pavement of a width necessary to meet the standards of the street plan for the particular street involved.*

Table 16-3-1(A): Residential District Bulk and Dimensional Standards			
Standard	RE /Parent Tract	Tract "A"	Tract "B"
Lot Standards (Minimum)			
Lot Area (sqft)	24,000 3.67 acres / 160,073 sq ft	46,697 1.07 Acres	114,148 2.62 Acres
Lot Area/DU (sqft)	24,000 160,073	46,697	114,148
Lot Width (ft)	150	141.35	202.24
Yard Setbacks (Minimum)			
Front (ft)	35		
Exterior Side (ft)	35		
Interior Side (ft)	15		
Rear (ft)	25		
Building Standards (Maximum)			
Height (ft)	35		
Impervious Surface Coverage	20%		

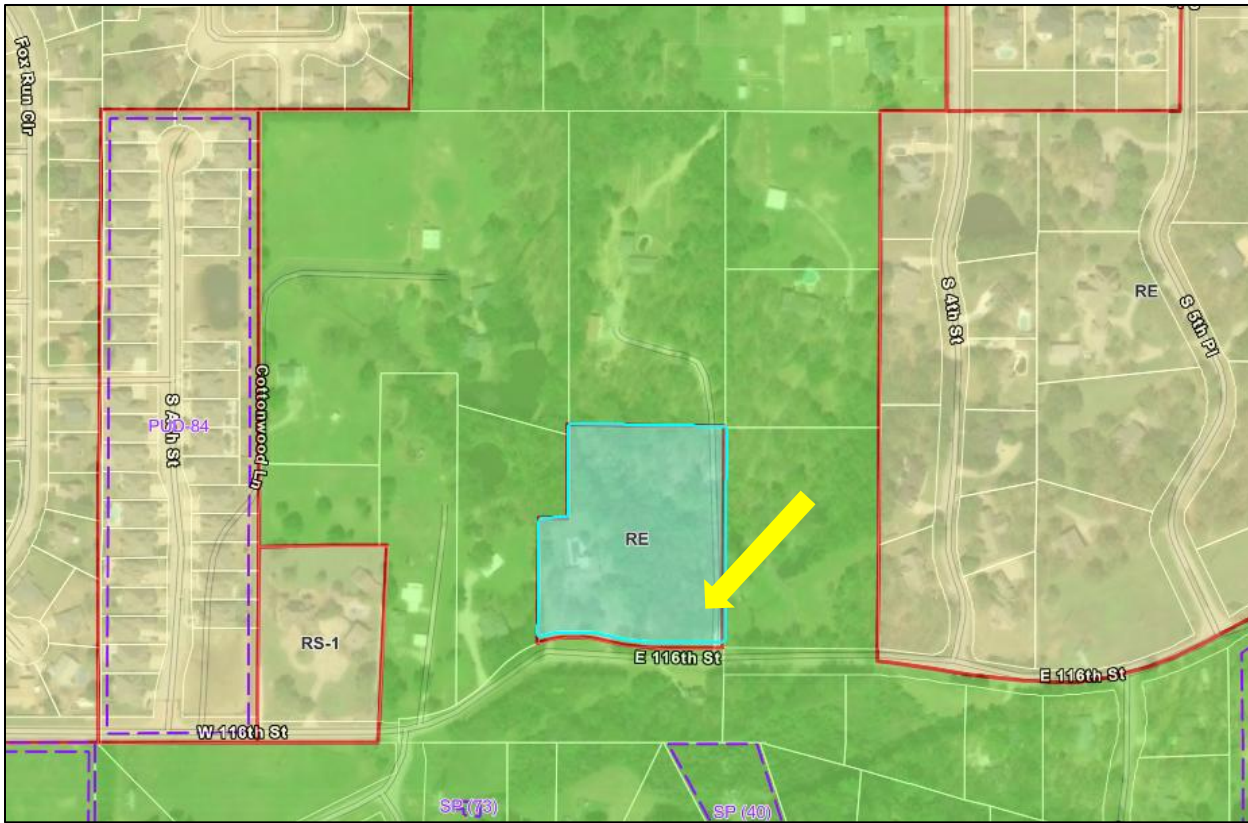


Figure 1 | Zoning map of the parcel in question



Figure 2 | Aerial photo

Evaluation | The lot split is for the owner of the property. Staff has worked with TAC to meet all the requirements. The lots are serviced by Creek County Rural Water District No. 2. Creek County indicated there is a dead-end line on the parent tract and no further water tap will be issued without an improvement to the line. The houses in this area are not on City Sewer.

Recommendation | *Staff and TAC recommend conditional approval of JL 25-411 with the following conditions:*

1. Provide a lot line adjustment showing the new parcels meet the standards of the UDO.
2. Provide closure document showing the parcel closes.
3. Submit Deeds to be stamped by City Planner before applicant files Deeds with Tulsa County.
4. Provide City Planner with copy of recorded Deeds.

NORTH LINE SE/4 SE/4 NW/4

N 88°43'45" E - 329.45'

25' ACCESS & UTILITY EASEMENT
BOOK 3976, PAGE 1900

GRAVEL DRIVE

BARN(2)

PROPOSED SPLIT LINE

1-STORY HOUSE

TRACT 'A'

TRACT 'B'
VACANT LAND
NO STRUCTURES

N 00°57'03" W
233.82'

N 79°13'24" W
29.70'

10' RIGHT-OF-WAY EASEMENT
BOOK 4007, PAGE 873

15' RIGHT-OF-WAY DEDICATION
DOCUMENT #2022122113

PP (TYP)

S 00°57'59" E
202.37'

N 00°57'59" W
202.37'

S 88°47'50" W
123.54'

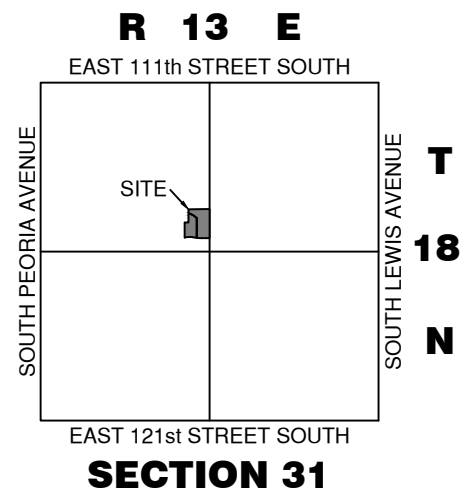
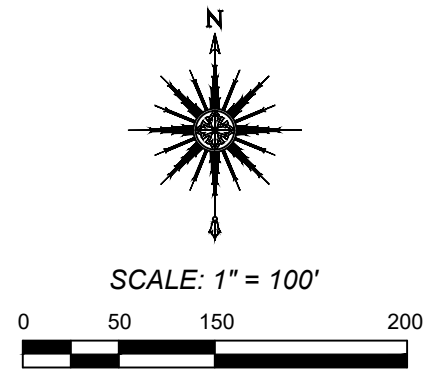
E. 116th ST. S.

POINT OF BEGINNING TRACT 'A'

POINT OF BEGINNING TRACT 'B'

N 00°57'59" W
211.00'

POINT OF COMMENCEMENT TRACT 'A' & 'B'
SE CORNER NW/4 SECTION 31



LEGEND

- LP = LIGHT POLE
- PP = POWER POLE
- X- = FENCE LINE
- OE- = OVERHEAD ELECTRIC

LINE	BEARING	DISTANCE
L1	N 88°47'36" E	60.00'
L2	N 00°57'03" W	52.60'
L3	N 86°23'48" E	39.49'
	S 86°23'48" W	
L4	N 55°04'52" W	53.29'
	S 55°04'52" E	
L5	N 45°34'22" W	12.31'
	S 45°34'22" E	
L6	N 37°44'32" W	63.84'
	S 37°44'32" E	

CURVE TABLE				
CURVE	RADIUS	ARC LENGTH	CHORD BEARING	CHORD LENGTH
C1	533.00'	76.70'	N 87°05'11" W	76.64'
C2	533.00'	34.95'	N 81°05'08" W	34.94'
C3	244.70'	127.70'	S 85°50'30" W	126.26'

LOT LINE ADJUSTMENT

PART OF THE E/2 SE/4 NW/4 OF SEC.31, T18N, R13E,
187 E. 116th ST. S., JENKS, TULSA COUNTY, OKLAHOMA 74037

SURVEY: MJL	DATE: 08.04.2025	PREPARED BY: FRITZ LAND SURVEYING, LLC 524 E. MAIN ST., JENKS, OK 74037 PH: 918-528-5121 FRITZLANDSURVEYING@GMAIL.COM C.A. # 5848 EXPIRES: 6-30-2026
DRAFT: GHM	DATE: 08.11.2025	
APPROVED: PLS	DATE: 08.11.2025	
SHEET 1 OF 3	PROJ. NO. 25234	



LEGAL DESCRIPTION - TRACT 'A'

A TRACT OF LAND THAT IS PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE/4 SE/4 NW/4) OF SECTION THIRTY-ONE (31), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NW/4 OF SAID SECTION 31;
THENCE NORTH 00°57'59" WEST ALONG THE EAST LINE THEREOF 211.00 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF EAST 116th STREET SOUTH;
THENCE SOUTH 88°47'50" WEST ALONG SAID RIGHT-OF-WAY LINE 123.54 FEET TO A POINT OF CURVATURE;
THENCE NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 533.00 FEET, AN ARC LENGTH OF 76.70 FEET, A CHORD BEARING OF NORTH 87°05'11" WEST AND A CHORD LENGTH OF 76.64 FEET TO THE POINT OF BEGINNING.

THENCE CONTINUING NORTHWESTERLY ALONG SAID RIGHT-OF-WAY LINE FOLLOWING A CURVE TO THE RIGHT HAVING A RADIUS OF 533.00 FEET, AN ARC LENGTH OF 34.95 FEET, A CHORD BEARING OF NORTH 81°05'08" WEST AND A CHORD LENGTH OF 34.94 FEET;
THENCE NORTH 79°13'24" WEST 29.70 FEET TO A POINT OF CURVATURE;
THENCE SOUTHWESTERLY AND CONTINUING ALONG SAID RIGHT-OF-WAY LINE FOLLOWING ALONG A CURVE TO THE LEFT HAVING A RADIUS OF 244.70 FEET, AN ARC LENGTH OF 127.70 FEET, A CHORD BEARING OF SOUTH 85°50'30" WEST AND A CHORD LENGTH OF 126.26 FEET;
THENCE NORTH 00°57'03" WEST AND DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE 233.82 FEET;
THENCE NORTH 88°47'36" EAST 60.00 FEET;
THENCE NORTH 00°57'03" WEST 52.60 FEET;
THENCE NORTH 86°23'48" EAST 39.49 FEET;
THENCE SOUTH 55°04'52" EAST 53.29 FEET;
THENCE SOUTH 45°34'22" EAST 12.31 FEET;
THENCE SOUTH 37°44'32" EAST 63.84 FEET;
THENCE SOUTH 00°57'59" EAST 202.37 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF EAST 116th STREET SOUTH AND THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 46,697.1 SQ. FEET OR 1.07 ACRES. BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83) USING THE EAST LINE OF THE NW/4 OF SEC.31, T18N, R13E AS NORTH 00°57'59" WEST.

LEGAL DESCRIPTION - TRACT 'B'

A TRACT OF LAND THAT IS PART OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (SE/4 SE/4 NW/4) OF SECTION THIRTY-ONE (31), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE NW/4 OF SAID SECTION 31;
THENCE NORTH 00°57'59" WEST ALONG THE EAST LINE THEREOF 211.00 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF EAST 116th STREET SOUTH AND THE POINT OF BEGINNING;

THENCE SOUTH 88°47'50" WEST ALONG SAID RIGHT-OF-WAY LINE 123.54 FEET TO A POINT OF CURVATURE;
THENCE NORTHWESTERLY ALONG A CURVE TO THE RIGHT HAVING A RADIUS OF 533.00 FEET, AN ARC LENGTH OF 76.70 FEET, A CHORD BEARING OF NORTH 87°05'11" WEST AND A CHORD LENGTH OF 76.64 FEET;
THENCE NORTH 00°57'59" WEST AND DEPARTING SAID NORTHERLY RIGHT-OF-WAY LINE 202.37 FEET;
THENCE NORTH 37°44'32" WEST 63.84 FEET;
THENCE NORTH 45°34'22" WEST 12.31 FEET;
THENCE NORTH 55°04'52" WEST 53.29 FEET;
THENCE SOUTH 86°23'48" WEST 39.49 FEET;
THENCE NORTH 00°57'03" WEST 155.88 FEET TO THE NORTH LINE OF THE SE/4 SE/4 NW/4 OF SAID SECTION 31;
THENCE NORTH 88°43'45" EAST 329.45 FEET ALONG SAID NORTH LINE TO THE NORTHEAST CORNER OF THE SE/4 SE/4 NW/4 OF SAID SECTION 31;
THENCE SOUTH 00°57'59" EAST ALONG THE EAST LINE THEREOF 453.99 FEET TO THE NORTHERLY RIGHT-OF-WAY LINE OF EAST 116th STREET SOUTH AND THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 114,148.5 SQ. FEET OR 2.62 ACRES. BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83) USING THE EAST LINE OF THE NW/4 OF SEC.31, T18N, R13E AS NORTH 00°57'59" WEST.



LOT LINE ADJUSTMENT

PART OF THE E/2 SE/4 NW/4 OF SEC.31, T18N, R13E,
187 E. 116th ST. S., JENKS, TULSA COUNTY, OKLAHOMA 74037

SURVEY: MJL	DATE: 08.04.2025	PREPARED BY: FRITZ LAND SURVEYING, LLC 524 E. MAIN ST., JENKS, OK 74037 PH: 918-528-5121 FRITZLANDSURVEYING@GMAIL.COM C.A. # 5848 EXPIRES: 6-30-2026
DRAFT: GHM	DATE: 08.11.2025	
APPROVED: PLS	DATE: 08.11.2025	
SHEET 2 OF 3	PROJ. NO. 25234	

LEGAL DESCRIPTION - PARENT TRACT - WD DOC. #2023002978

PART OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (E/2 SE/4 NW/4) OF SECTION THIRTY-ONE (31), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE UNITED STATES GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
COMMENCING AT THE SOUTHEAST CORNER OF THE NORTHWEST QUARTER (NW/4) OF SAID SECTION THIRTY-ONE (31); THENCE NORTHERLY ALONG THE EAST LINE OF THE NORTHWEST QUARTER (NW/4) OF SAID SECTION THIRTY-ONE (31), 196.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 89°51'00" WEST AND PARALLEL TO THE SOUTH LINE OF THE NORTHWEST QUARTER (NW/4) OF SAID SECTION THIRTY-ONE (31), 123.20 FEET TO A POINT OF CURVATURE; THENCE AROUND A CURVE TO THE RIGHT HAVING A RADIUS OF 548.00 FEET AND A CENTRAL ANGLE OF 12°00'00" 114.77 FEET TO A POINT OF TANGENCY; THENCE NORTH 78°09'00" WEST, 29.70 FEET TO A POINT OF CURVATURE; THENCE AROUND A CURVE TO THE LEFT HAVING A RADIUS OF 229.70 FEET AND A CENTRAL ANGLE OF 31°15'02" 125.28 FEET TO A POINT, SAID POINT BEING 60.00 FEET WEST OF THE EAST LINE OF THE WEST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (W/2 E/2 SE/4 NW/4) OF SAID SECTION THIRTY-ONE (31); THENCE NORTHERLY AND PARALLEL TO THE EAST LINE OF THE WEST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (W/2 E/2 SE/4 NW/4) OF SAID SECTION THIRTY-ONE (31), 249.66 FEET TO A POINT; THENCE EASTERLY AND PARALLEL TO THE SOUTH LINE OF THE NORTHWEST QUARTER (NW/4) OF SAID SECTION THIRTY-ONE (31), 60 FEET TO POINT ON THE EAST LINE OF THE WEST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (W/2 E/2 SE/4 NW/4) OF SECTION THIRTY-ONE (31); THENCE NORTHERLY ALONG THE WEST LINE OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (E/2 SE/4 SE/4 NW/4) OF SAID SECTION THIRTY-ONE (31), 204 FEET, MORE OR LESS, TO THE NORTHWEST CORNER THEREOF; THENCE EASTERLY ALONG THE NORTH LINE OF THE EAST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF THE NORTHWEST QUARTER (E/2 SE/4 SE/4 NW/4) OF SAID SECTION THIRTY-ONE (31), 330 FEET MORE OR LESS TO THE NORTHEAST CORNER THEREOF; THENCE SOUTHERLY ALONG THE EAST LINE OF THE NORTHWEST QUARTER (NW/4) OF SAID SECTION THIRTY-ONE (31), 464 FEET, MORE OR LESS, TO THE POINT OF BEGINNING.

SURVEYOR'S NOTES

PREPARED FOR: AARON JONATHAN & JULIE ALIZABETH KELKHOFF

PHYSICAL ADDRESS: 187 & 205 E. 116th ST. S. JENKS, TULSA COUNTY, OK 74037

BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83). MEASUREMENTS SHOWN ARE GRID DISTANCES IN U.S. SURVEY FEET.

EASEMENTS JUNE EXIST THAT ARE NOT SHOWN.

REFER TO CURRENT ZONING FOR NEW CONSTRUCTION GUIDELINES.
187 E. 116th ST. S. IS ZONED RE AND 205 E. 116th ST. S. IS ZONED AG PER INCOG TULSA AREA ZONING MAP.

SET 3/8" IRON PIN W/ GREEN "FRITZ CA5848" CAP OR MAG NAIL W/ "FRITZ CA5848" WASHER AT ALL CORNERS UNLESS OTHERWISE NOTED AND SHOWN HEREON.

TRACT 'A' GROSS LAND AREA: 46,697.1 SQ. FEET OR 1.07 ACRES.
TRACT 'B' GROSS LAND AREA: 114,148.5 SQ. FEET OR 2.62 ACRES

WE HAVE EXAMINED A MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, CITY OF JENKS, OKLAHOMA, COMMUNITY PANEL NO. 40143C0427L - OCTOBER 16, 2012, WHICH INDICATES THE SUBJECT PROPERTY TO BE WITHIN UNSHADED ZONE X (AREAS DETERMINED TO BE OUTSIDE THE 0.2% ANNUAL CHANCE FLOODPLAIN).

LAST SITE VISIT: AUGUST 4, 2025.

UNDERGROUND UTILITIES SHOWN HEREON WERE DERIVED FROM OBSERVABLE FIELD EVIDENCE.
ALL UTILITIES JUNE NOT BE SHOWN - CALL OKIE 1-800-522-6543!

CERTIFICATE OF SURVEY

FRITZ LAND SURVEYING, LLC AND THE UNDERSIGNED PROFESSIONAL LAND SURVEYOR, UNDER CERTIFICATE OF AUTHORIZATION CA #5848, DO HEREBY STATE THAT THIS PLAT OF SURVEY IS A TRUE AND ACCURATE REPRESENTATION OF THE SURVEY MADE ON THE GROUND AND OF THE FACTS AS FOUND AT THE TIME OF THE SURVEY AND THAT THIS PLAT MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

WITNESS MY HAND AND SEAL THIS 11th DAY OF AUGUST, 2025.

ANDY FRITZ, PLS
OK LIC. 1694
CA #5848



LOT LINE ADJUSTMENT

PART OF THE E/2 SE/4 NW/4 OF SEC.31, T18N, R13E,
187 E. 116th ST. S., JENKS, TULSA COUNTY, OKLAHOMA 74037

SURVEY: MJL	DATE: 08.04.2025	PREPARED BY: FRITZ LAND SURVEYING, LLC 524 E. MAIN ST., JENKS, OK 74037 PH: 918-528-5121 FRITZLANDSURVEYING@GMAIL.COM C.A. # 5848 EXPIRES: 6-30-2026
DRAFT: GHM	DATE: 08.11.2025	
APPROVED: PLS	DATE: 08.11.2025	
SHEET 3 OF 3	PROJ. NO. 25234	



To Chair Dr. Scott West and Planning Commission
Hearing Date October 09, 2025
Case Number JL 25-412 | 2300 W 91
Request Lot Split
Location South of West 91st Street and West of South Union Avenue
Applicant Chris Zemanek

Staff Report

Preparer | Marcaé Hilton

Attachments

Lot Split Documents

Preparer

Bennett Surveying, Inc.

Background Information

CC & PC COMMENTARY | November 10, 2020 | This parcel had a lot split request before the Jenks Planning Commission on November 05, 2020, submittal of this item for the City Council agenda took place prior to the Planning Commission hearing. The original lot split was a different configuration and was never filed.

STAFF COMMENTARY | This Lot Split request as presented does not meet the requirements of the AG zoning bulk and area standards, the applicant has provided a zoning request to provide zoning compliance with the lots as drawn. This is a family redivision of land for the purpose of creating individual lots for each family member, the parent tract was over 9 (nine) acres. This request can only be conditionally approved. The deeds cannot be filed until the zoning has been advertised and approved by Planning Commission and City Council.

PLANNING DATA

Public Comment None | No notice is given to public for Lot Splits

Parcel ID 98222-822-209710

Property Address 2300 W 91 ST S

Legal BEG 1825.3W NEC NE TH W326.64 S660 E326.4 N660 POB & E330 W495 NW
NW NE LESS E25 THEREOF FOR RD

Gross Acres 9.561

Plat Data Minor Subdivision, Unplatted

STR Section 22, Township 18, Range 12

Lot Split Data Parent Trace | 9.561 +/-
 Lot One | 5.63 Acres
 Lot Two | 2.39 Acres
 Lot Three | 1.55 Acres

TAC 09/22/2025 AARON N SMITH | PSO | TRANS RIGHT OF WAY AGENT
 Good Morning,
 I don't see any PSO Transmissions on the proposed areas or any issues.
 If you have any questions, please let me know.
 Thank you, Aaron Smith
 Carah Vallely, CMS, Title Research Specialist, Under the direction of John A. Wright,
 Assessor, Tulsa County Assessor's Office
 Marcae,
 Mr. Rackley filed deeds to split his parcel 3 ways back in 2021, but we were unable to
 work them because the legal descriptions were missing the Township and Range. The
 new lot split legals provided are much different than the original - are these going to be
 corrective deeds? NO, this is a new lot split.
 Angels, Cox Communications
 Hi Marcae!
 Cox concurs with the lot split for 187 E. 116th St.
 Thank you!

Zoning AG | Agriculture (Zoning Application has been received.)

Special District None

General Location West of Harvard and north of 141st

Table 16-3-1(B): Nonresidential District Bulk and Dimensional Standards					
Standard	AG / Parent tract	Lot 1	Lot 2	Lot 3	RS1
Lot Standards (Minimum)					
Lot Area (acres)	2	5.63	2.39	1.55	10,000
Lot Width (ft)	150	371.64	260	260	70
Yard Setbacks (Minimum, unless otherwise stated)					
Front (ft)	25	25	25	TBD	25
Exterior Side (ft) (3)	25	25	25	TBD	20
Interior Side (ft) (3)	10				15 (1)
Rear (ft) (3)	40				25
Building Standards (Maximum)					
Height (ft)	35				35
Impervious Surface Coverage	n/a				45
(1) Add one additional foot of setback for each one foot of building height exceeding 18 feet, if the abutting property is within an RE, RS, or RD District.					
(2) Minimum setback shall be 75 feet if the abutting property is within an AG, R, or O District.					
(3) Transition yards, as specified in section 16-6-3(F), may apply and may result in greater yard setback requirements than specified in this table.					
(4) Minimum setback shall be 75 feet if the abutting property is within an AG, R, or O District.					

(5) This minimum setback only applies to new construction. Setbacks for existing structures shall be those established under the governing zoning code at the time of construction or an approved development plan, as applicable.

Staff Evaluation & Recommendation

EVALUATION | Staff and TAC believe the lot split JL 25-412 should be approved for the purpose of creating 3 (three) lots, two of the lots will remain zoned as AG (Agriculture) while one lot will be rezoned to RS1.

Sec. 16-8-4. Subdivision Procedures.

(A) Types of Subdivision of Land.

(1) Lot Split.

(2) Minor Subdivisions.

(a) Lot Combination.

(b) Other Subdivision Corrections.

(3) Major Subdivisions.

(a) Preliminary Plat.

(b) Final Plat

(B) General Subdivision Procedures.

(1) Application Submittal.

(a) All land subdivision applications shall be submitted to the City Planner and be accompanied by a fee as set forth in the Master Fee Schedule.

(b) After the receipt of the application, the City Planner shall review the application to determine that all required information has been submitted and notify the applicant of completeness or deficiencies.

(c) Failure to cure the deficiencies within six months from notification of such deficiencies shall be deemed abandonment of the application without further notice from the City.

(d) A pre-platting conference shall be required before the submittal of any Major Subdivision application.

(2) City Planner Report.

(a) After the determination of completeness, the subdivision application shall be reviewed by the City Planner pursuant to the criteria set forth in this article per application type.

(b) The City Planner shall meet with the Technical Advisory Committee as needed to review the subdivision application.

(c) The City Planner shall prepare and issue a report to the applicant identifying issues of concern to be addressed as well as a recommendation for approval, approval with conditions, or denial.

(d) The City Planner shall forward their report to the applicant for review.

(3) Revised Application.

(a) The applicant shall revise the application as necessary based on the issues of concern identified by the City Planner in their report.

(b) The revised application shall be accompanied by a letter explaining how all of the issues of concern have been addressed and detailing any other changes that have been made to the application.

(c) The applicant shall submit the revised application to the City Planner who shall review the revised application for the purpose of ensuring that all required information has been provided and that all issues of concern have been addressed. Once it is determined that all required information has been submitted and all issues of concern addressed, the application shall be

referred to the next step in the process. If the City Planner determines that the required information and/or issues of concern have not been addressed, the City Planner shall notify the applicant of such deficiencies.

(d) Failure to cure the deficiencies within six months from notification of such deficiencies shall be deemed abandonment of the application without further notice from the City.

(4) Next Steps. Once the City Planner has determined that all required information has been submitted and all issues of concern have been addressed, the application subdivision application shall proceed to the next steps in the review process. The review procedures for lot splits are established in section 16-8-4(C), the review procedures for Minor Subdivisions are established in section 16-8-4(D), and the review procedures for Major Subdivisions are established in section 16-8-4(E).

(C) Lot Splits. Subdivisions containing three or fewer lots defined as "lot splits" in these regulations, may be excepted by City Council from all or part of the procedural provisions applicable for Major or Minor Subdivisions. The number of lots for purposes of determination of status as a lot split shall be counted cumulatively from the date of adoption of these regulations with respect to each parcel, provided that for the preservation of the spirit of these regulations, any and all parcels that have been similarly divided upon review of the Planning Commission under the provisions of previous subdivision regulations shall be counted into the cumulative total for the determination of eligibility for consideration of a request for treatment as a lot split.

(1) Lot Split Review Requirements.

Lot split application is complete.

Lot split fees paid.

Scaled drawing of lot split(s) provided.

Drawing shows all existing and proposed lot lines.

Drawing shows adjacent streets and street widths.

Drawing shows existing access limitations.

Drawing shows a north arrow and map scale.

Lot dimensions and area either conform with UDO requirements of Variance of zoning code requirements have been obtained by Jenks Board of Adjustment.

Public water and/or sanitary sewer is not available (appropriate tests shall be conducted by health department of its assigns to determine the proposed lots' suitability for a private sewer disposal device).

If the lot split results in inadequate access to utility easements, dedication of easement has been provided.

If the lot split results in inadequate access to public street, dedication of right-of-way has been provided.

(2) Procedure.

(a) Application for Lots Splits. Applications for lots splits shall include a scaled drawing showing:

All existing and proposed lot lines,

All existing buildings, and

All improvements and their distances from lot lines, adjacent streets and street widths, existing access limitations,

A north arrow, and map scale.

(b) City Action on Lot Splits. The City Planner, upon receiving a lot split application shall visually inspect the tract being split, notify the Planning Commission of the proposed lot split, review the proposed lot split in regard to the requirements of this UDO, prepare a recommendation concerning the proposed lot split and submit the matter for Planning Commission review and approval. If the lot split is approved by the Planning Commission and if a conveyance of interest

of the created parcels is presented, the "Lot Split Approval Stamp" shall be affixed to the instrument of the transfer of interest and signed by the City Planner. Should the Planning Commission recommend that a lot split proposal be denied, the applicant may appeal to the Board of Adjustment for relief. Such appeal shall be by written petition and shall be accompanied by a fee as prescribed by ordinance.

(3) Approval Guidelines. Approval or denial of lot splits shall be based on the following conditions:

(a) Lot Characteristics.

- Lot dimensions and area shall either conform with UDO requirements or a Variance must be obtained from the Board of Adjustment.*
- Where public water and/or public sanitary sewer is not available, appropriate tests shall be conducted by the health department or its assigns to determine the proposed lots suitability for a private sewage disposal device. Each proposed lot shall meet the minimum standards of the health department.*

(b) Easements. Where a lot split will result in a lot having inadequate access to utility easements, dedication of easements will be required in accordance with the requirements of the Planning Commission.

(c) Access and Streets.

- Where a tract to be split is controlled by non-access provisions, no lot shall be approved where such provision will preclude access for said lot.*
- The splitting of land shall provide each lot with access to a public street or highway, so that the convenience of the lot owner or user is assured.*
- Where land to be split contains, within its boundaries, areas designated for street right-of-way on the Jenks City-County Major Street and Highway Plan, the split shall not be approved where street rights-of-way fail to conform to said plan except, upon a finding that:*
 - (i) All utilities are in place and the additional right-of-way is not required for utility placement and,*
 - (ii) The public has, by virtue of statutory easement suitable roadway dedication, right-of-way sufficient to allow the placement of pavement of a width necessary to meet the standards of the street plan for the particular street involved.*

CONDITIONS | Submit the following to Planning Staff before filing with Tulsa County:

1. NO Deeds will be stamped prior to approval of rezoning.
2. Deeds to be stamped by City Planner
 - i. Deeds to be recorded in Tulsa County by applicant
3. Provide City Planner with copy of recorded Deeds
4. Continue to work with City Staff regarding water and sewer options

RECOMMENDATION | *Staff and TAC recommend conditional approval of the Lot Split; applicant must provide requested information and meet any conditions of approval by PC, TAC, and staff.*



Figure 1: Aerial View of 9+ Acres

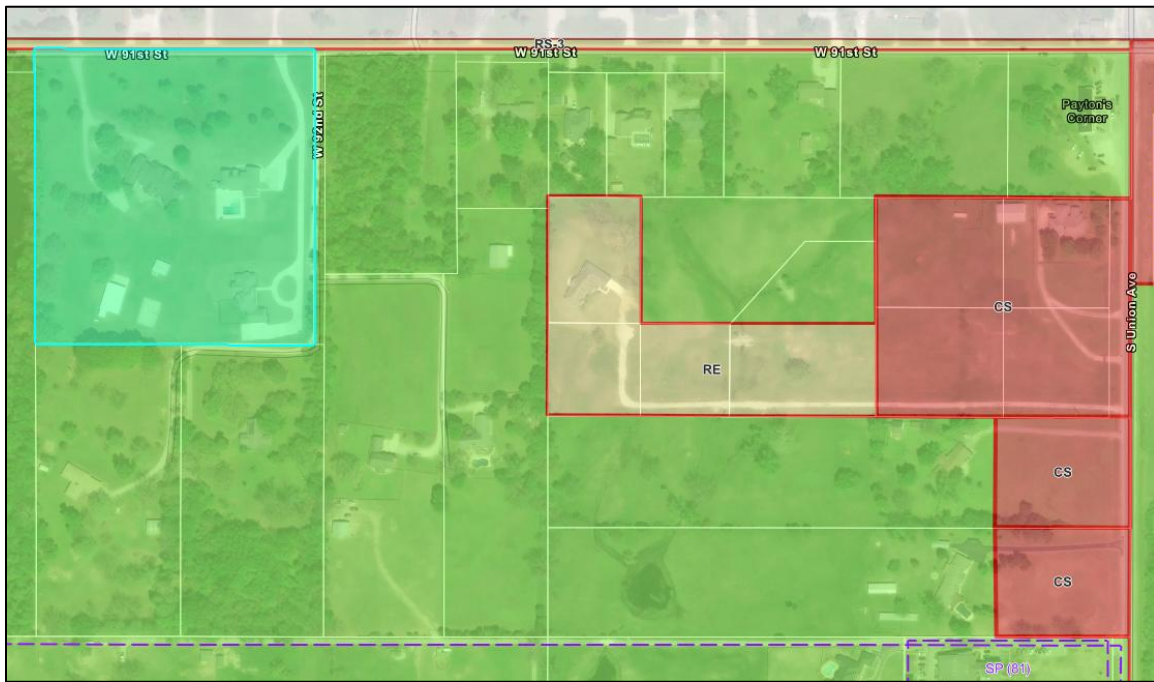
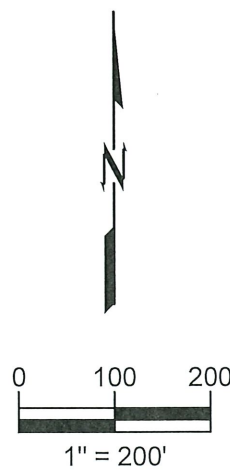
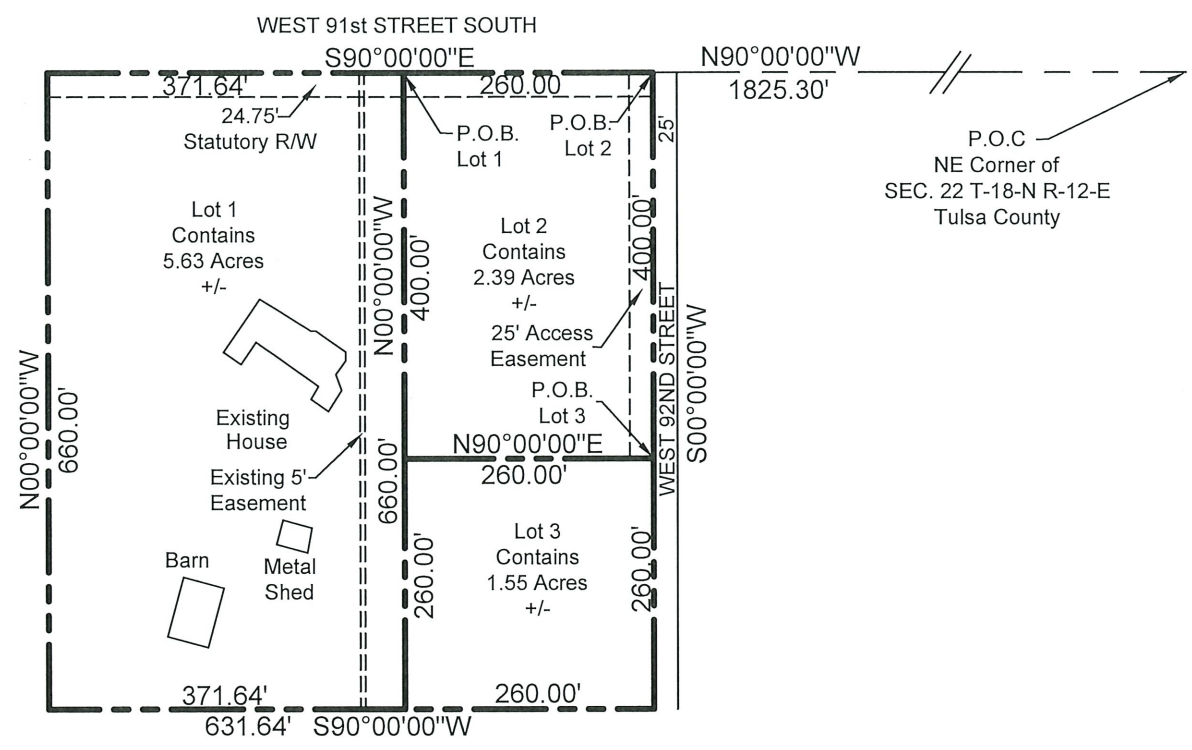


Figure 2: Zoning Map

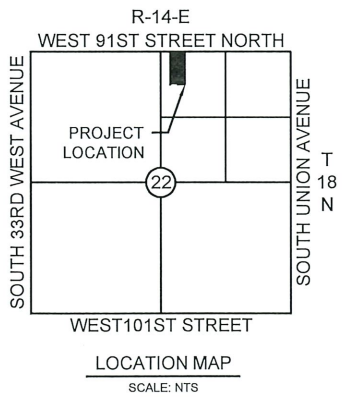
ORIG SIZE: 11"X17"

PLOT: 8/26/2025 12:27:24 PM

\\Chouteau-Server\Root\Jobs\2540399-Rackley Lot Split-Zemankel A+D\Final Drawing\2540399 Lot Split.dwg



LEGEND	
P.O.B.	= POINT OF BEGINNING
P.O.C.	= POINT OF COMMENCEMENT
N	= NORTH
E	= EAST
S	= SOUTH
N	= NORTH



- SURVEY NOTES:**
1. THE BEARINGS SHOWN HEREON ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, NORTH ZONE (3501), NORTH AMERICAN DATUM 1983 (NAD83); SAID BEARINGS ARE BASED ON THE NORTH LINE OF THE NORTHEAST QUARTER OF SECTION 22, T-18-N, R-12-E, TULSA COUNTY, STATE OF OKLAHOMA AS BEING N90°00'00"W
 2. A TITLE COMMITMENT, INDICATING APPLICABLE EASEMENTS, HAS NOT BEEN PROVIDED, THEREFORE ALL EASEMENTS MAY NOT BE SHOWN HEREON. THIS FIRM WAS NOT CONTRACTED TO RESEARCH EASEMENTS OR ENCUMBRANCES OF RECORD, THEREFORE THE SUBJECT PROPERTY MAY HAVE EASEMENTS NOT SHOWN HEREON.
 3. ALL UNDERGROUND UTILITIES MAY NOT BE SHOWN. (CALL "OKIE" BEFORE DIGGING!!)
 4. THE LAST SITE SURVEY VISIT WAS 08-16-2025.

LEGAL DESCRIPTION (PARENT)

THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (W/2 E/2 NW/4 NW/4 NE/4) AND THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (E/2 W/2 NW/4 NW/4 NE/4) OF SECTION TWENTY-TWO (22), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, AND A TRACT BEGINNING 1825.3 FEET WEST OF THE NORTHEAST CORNER OF SECTION TWENTY-TWO (22), TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF; THENCE WEST 326.64 FEET; THENCE SOUTH 660 FEET; THENCE EAST 326.61 FEET THENCE NORTH 660 FEET TO THE POINT OF BEGINNING, LESS THE EAST 25 FEET FOR ROADWAY.

LEGAL DESCRIPTION (LOT 1)

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION TWENTY-TWO (22); THENCE DUE WEST 2085.30 FEET TO THE POINT OF BEGINNING; THENCE DUE SOUTH FOR A DISTANCE OF 660.00 FEET TO THE SOUTH LINE OF THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (W/2, E/2, NW/4, NW/4, NE/4); THENCE DUE WEST ALONG THE SOUTH LINE OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (NW/4, NW/4, NE/4) OF SECTION TWENTY-TWO (22) FOR A DISTANCE OF 371.64 FEET; THENCE DUE NORTH ALONG THE WEST LINE OF THE EAST HALF OF THE WEST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (E/2, W/2, NW/4, NW/4, NE/4) OF SECTION TWENTY-TWO (22) FOR A DISTANCE OF 660.00 FEET TO THE SECTION LINE; THENCE DUE EAST ALONG THE SECTION LINE FOR A DISTANCE OF 371.64 FEET TO THE POINT OF BEGINNING. AREA CONTAINING 5.63 ACRES, MORE OR LESS.

LEGAL DESCRIPTION WAS PREPARED ON AUGUST 26TH, 2025 BY CLIFF BENNETT, PLS #1815.

LEGAL DESCRIPTION (LOT 2)

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION TWENTY-TWO (22); THENCE DUE WEST FOR A DISTANCE OF 1825.30 FEET TO THE POINT OF BEGINNING; THENCE DUE SOUTH ALONG THE EAST LINE OF THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (W/2, E/2, NW/4, NW/4, NE/4) OF SECTION TWENTY-TWO (22) FOR A DISTANCE OF 400.00 FEET; THENCE DUE WEST FOR A DISTANCE OF 260.00 FEET; THENCE DUE NORTH FOR A DISTANCE OF 400.00 FEET TO THE SECTION LINE; THENCE DUE EAST FOR A DISTANCE OF 260.00 FEET TO THE POINT OF BEGINNING. AREA CONTAINING 2.39 ACRES, MORE OR LESS.

LEGAL DESCRIPTION WAS PREPARED ON AUGUST 26TH, 2025 BY CLIFF BENNETT, PLS #1815.

LEGAL DESCRIPTION (LOT 3)

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION TWENTY-TWO (22); THENCE DUE WEST FOR A DISTANCE OF 1825.30 FEET; THENCE DUE SOUTH ALONG THE EAST LINE OF THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (W/2, E/2, NW/4, NW/4, NE/4) OF SECTION TWENTY-TWO (22) FOR A DISTANCE OF 400.00 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING DUE SOUTH FOR A DISTANCE OF 260.00 FEET; THENCE DUE WEST ALONG THE SOUTH LINE OF THE WEST HALF OF THE EAST HALF OF THE NORTHWEST QUARTER OF THE NORTHWEST QUARTER OF THE NORTHEAST QUARTER (W/2, E/2, NW/4, NW/4, NE/4) OF SECTION TWENTY-TWO (22) FOR A DISTANCE OF 260.00 FEET; THENCE DUE NORTH FOR A DISTANCE OF 260.00 FEET; THENCE DUE EAST 260.00 FEET TO THE POINT OF BEGINNING. AREA CONTAINING 1.55 ACRES, MORE OR LESS.

LEGAL DESCRIPTION WAS PREPARED ON AUGUST 26TH, 2025 BY CLIFF BENNETT, PLS #1815.

BOUNDARY SURVEY CERTIFICATION:

THIS BOUNDARY SURVEY MEETS OR EXCEEDS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE OF LAND SURVEYING AS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

WITNESS MY HAND AND SEAL THIS 26TH DAY OF AUGUST, 2025.

BY: 
 CLIFF BENNETT
 REGISTERED PROFESSIONAL LAND SURVEYOR
 OKLAHOMA NO. 1815



wallace design collective, pc
 structural · civil · landscape · survey
 123 north martin luther king jr. blvd.
 tulsa, oklahoma 74103
 918.584.5858
 oklahoma ca1460
 exp: 6-30-27



RACKLEY

**2300 W. 91ST
 TULSA, OK**

DATE 08/26/25

PROJECT NO. 2540399

DRAWN BY QTA

SHEET NAME

LOT SPLIT

SHEET NO.

1 of 1

To Chair Dr. Scott West & Planning Commission
Hearing Date October 09, 2025
Case Number PA 24-43
Location City Initiated Minor Amendments to the Comprehensive Land Use Plan
Request *Approval of multiple minor amendments across the City of Jenks.*

Staff Report

Preparer | Marcaé Hilton

Attachments	Preparer
Land Use Map	Houseal Lavigne
Amended Land Use Map	Jenks GIS
Proposed Amendment Exhibits	Jenks GIS

Background Information

STAFF COMMENTARY

These amendments were first heard at the October 14, 2024 Planning Commission hearing. There were several questions from the public and staff pulled the item from the agenda for further clarification. The Comprehensive Plan “Horizon Jenks was adopted in 2020. Staff has brought amendments to City Council leadership for various purposes in the past 5 years. This request is for several minor amendments as well as text amendments.

REQUEST Amend the Comprehensive Land Use Plan
COMMENT No Public Comment at the time of this report, Minor Amendments are not advertised

LOCATION(S) REQUESTS

Page 1 of 6 West of HWY 75 and South of 91st to Creek Turnpike W.
➤ Regional Commercial to Low Intensity Single-family
➤ Parks and Open Space to Regional Commercial

Page 2 of 6 East of Railroad tracks and south of Simon Outlet Mall
➤ Parks and Open Space to Regional Commercial

Page 3 of 6 North of 131st St. S and west of Elm/Peoria Avenue
➤ Business Park & High Intensity Single family to Medium Intensity Single Family
➤ Local Commercial to High Intensity Single-family

- Page 4 of 6 North of 131st at Lewis & west of Harvard
 - Medium Intensity Single-family to Low Intensity Single-family
- Page 5 of 6 South of 131st and west of Lewis
 - Medium Intensity Single-family to Low Intensity Single-family
- Page 6 of 6 North of 141st and east of Elm/Peoria
 - Medium Intensity Single-family to Low Intensity Single-family

Staff Evaluation & Recommendation

Land Use Plan

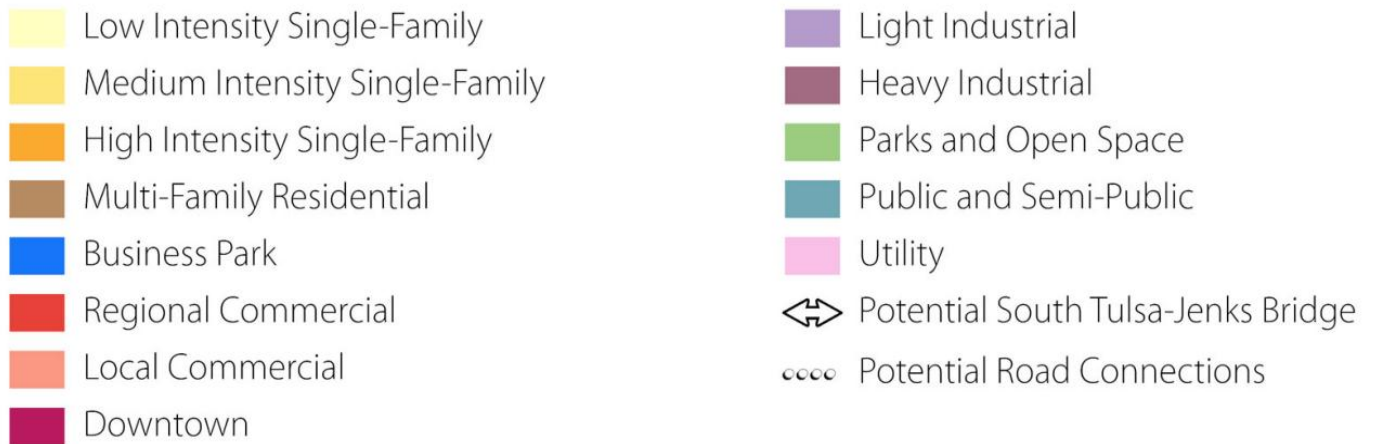
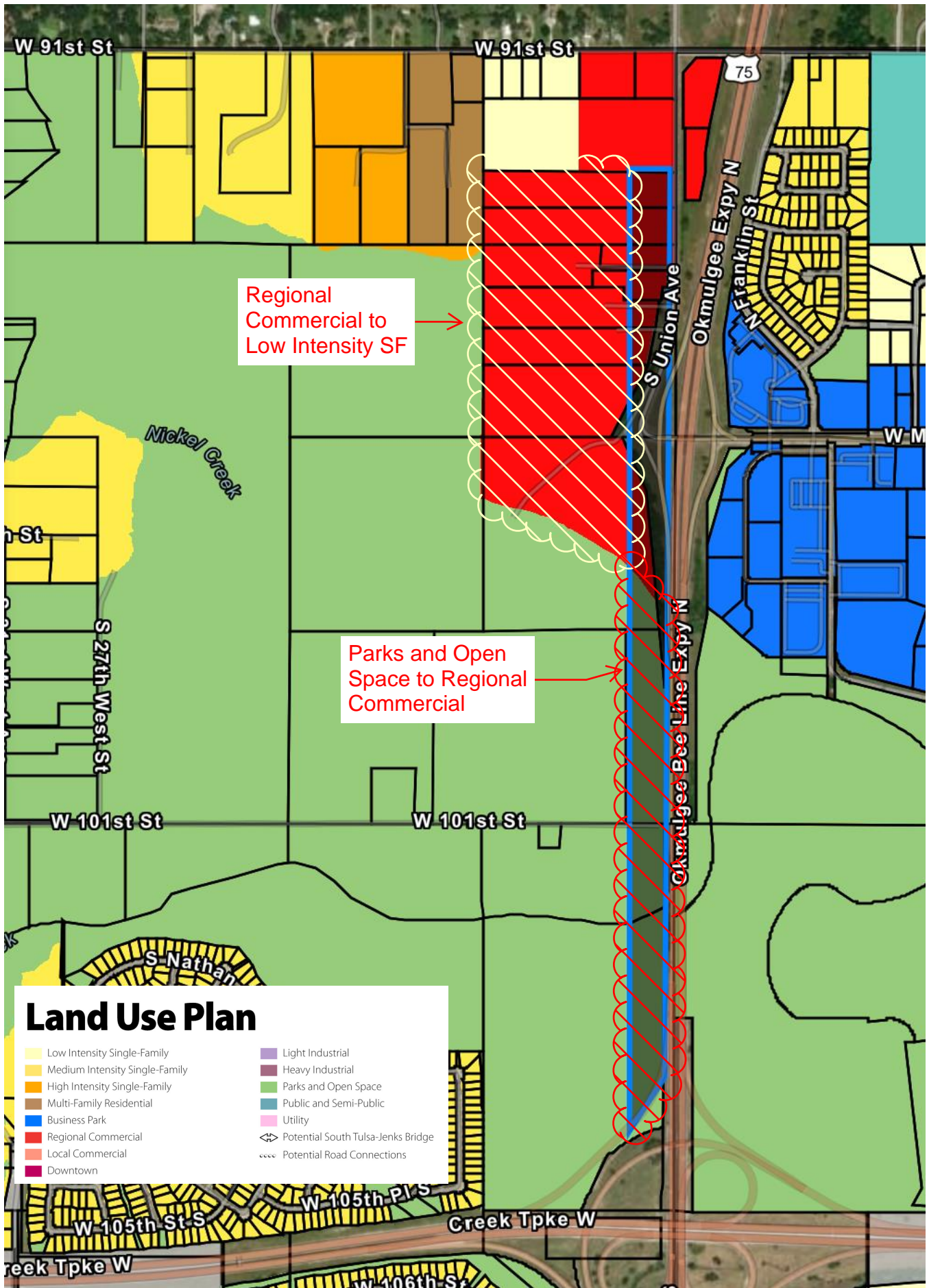
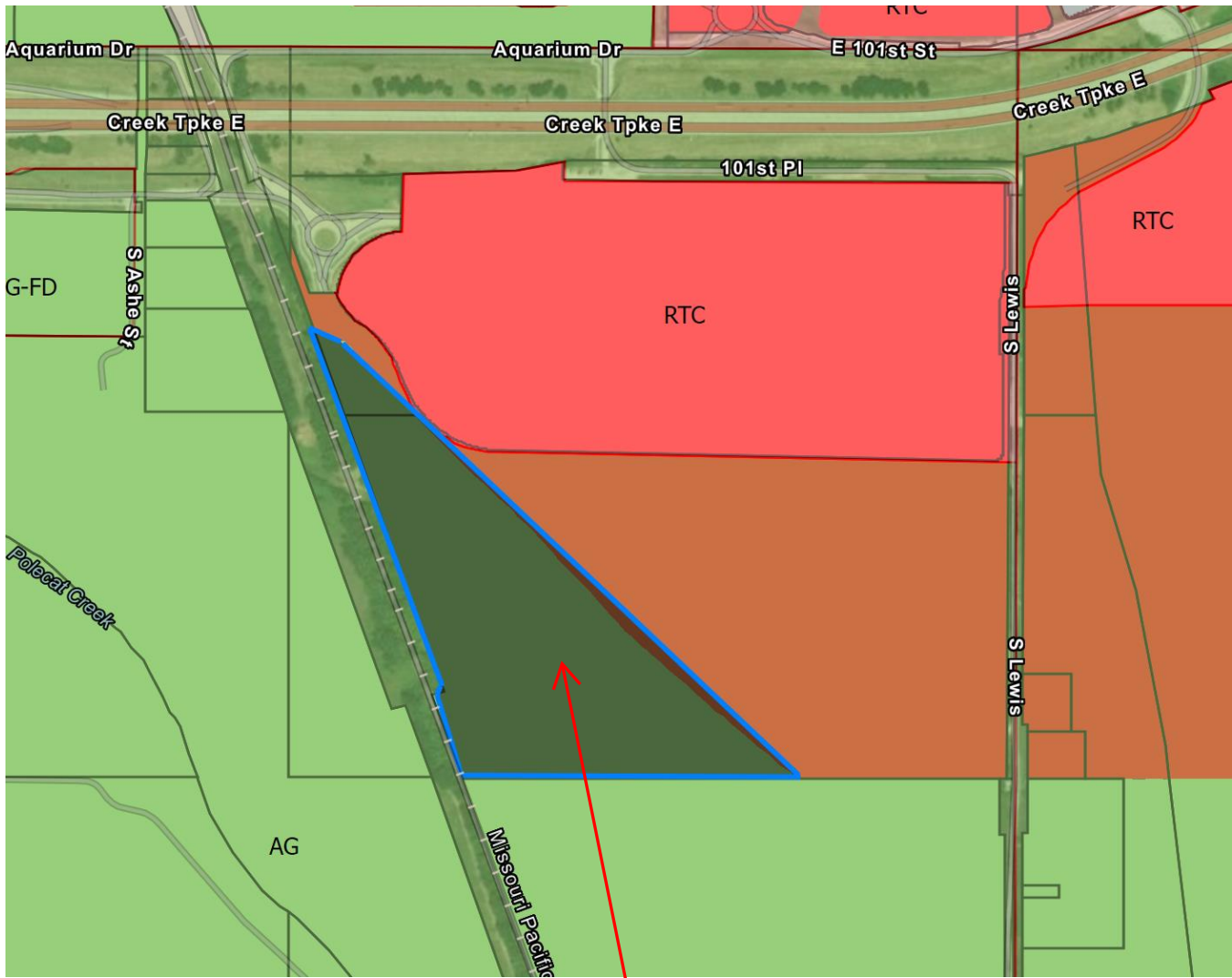


Figure 1: Jenks Land Use Plan Zoning Districts

Evaluation







RECOMMENDATION | Staff recommends approval of the minor amendments to the Land Use Plan.





Parks and Open Space to Regional Commercial request is in line with (Owner: River District) plans.

Land Use Plan

- | | |
|--|--|
|  Low Intensity Single-Family |  Light Industrial |
|  Medium Intensity Single-Family |  Heavy Industrial |
|  High Intensity Single-Family |  Parks and Open Space |
|  Multi-Family Residential |  Public and Semi-Public |
|  Business Park |  Utility |
|  Regional Commercial |  Potential South Tulsa-Jenks Bridge |
|  Local Commercial |  Potential Road Connections |
|  Downtown | |

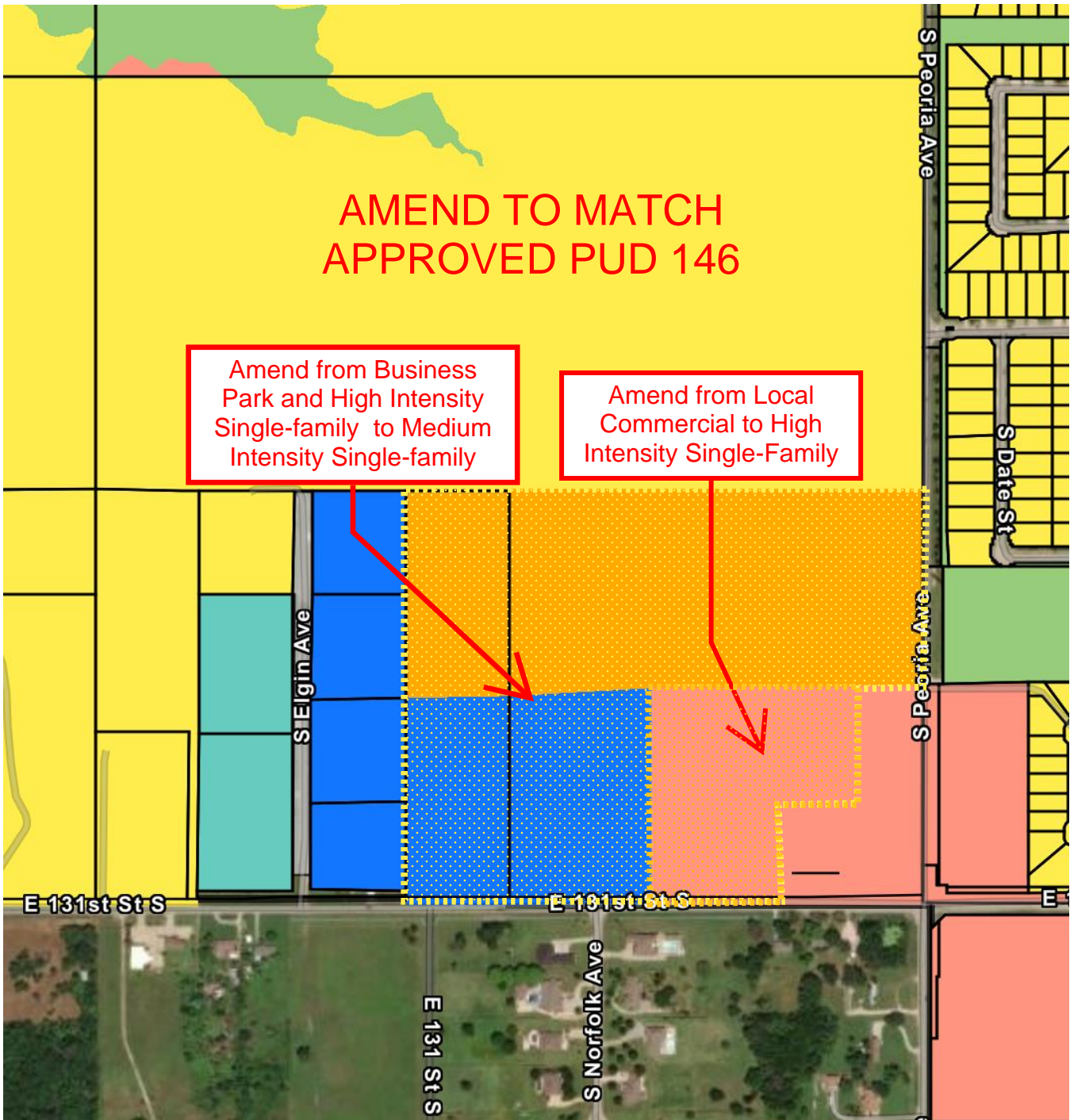
Land Use Plan

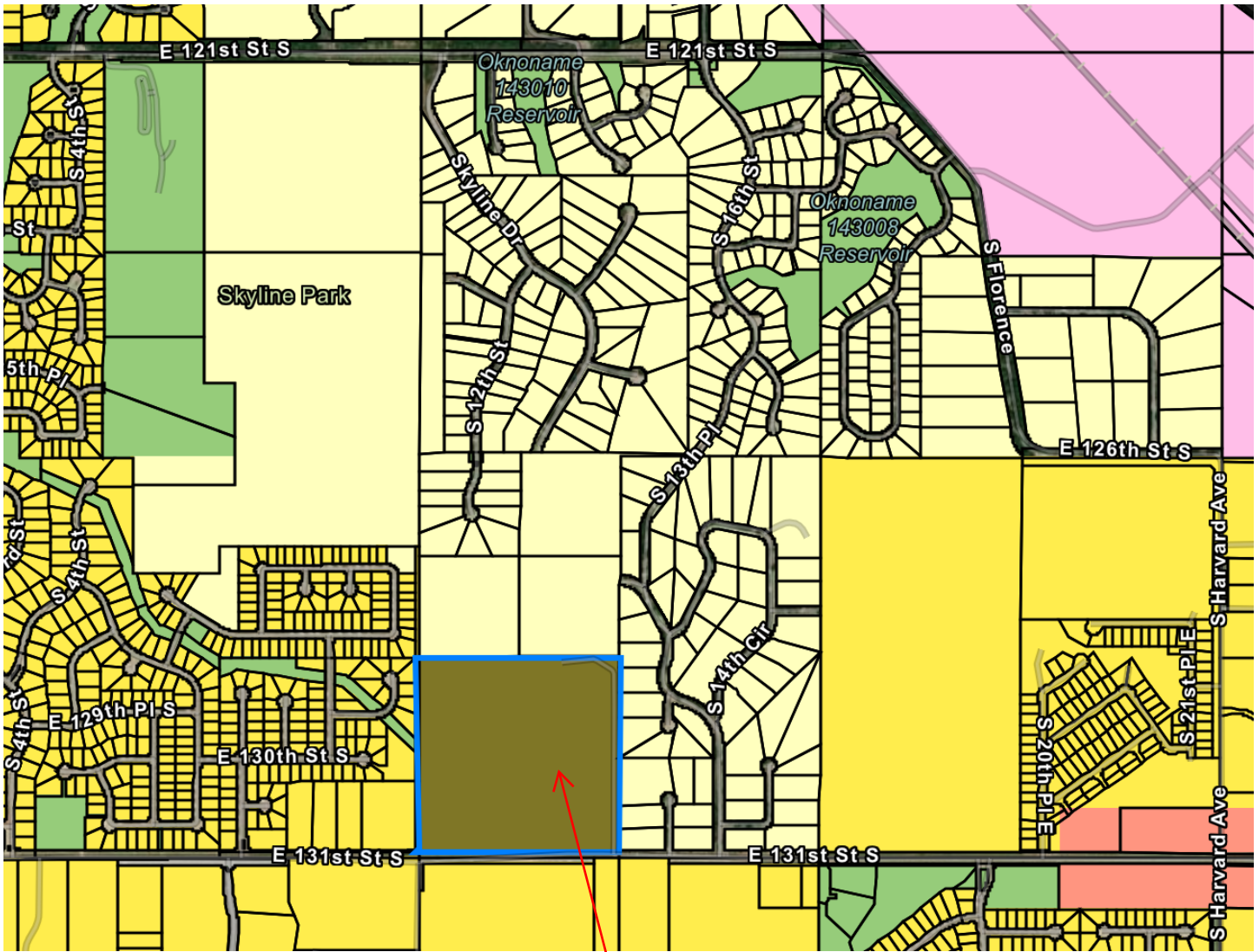
- Low Intensity Single-Family
- Medium Intensity Single-Family
- High Intensity Single-Family
- Multi-Family Residential
- Business Park
- Regional Commercial
- Local Commercial
- Downtown
- Light Industrial
- Heavy Industrial
- Parks and Open Space
- Public and Semi-Public
- Utility
- Potential South Tulsa-Jenks Bridge
- Potential Road Connections

Legend


















Existing Comp Plan

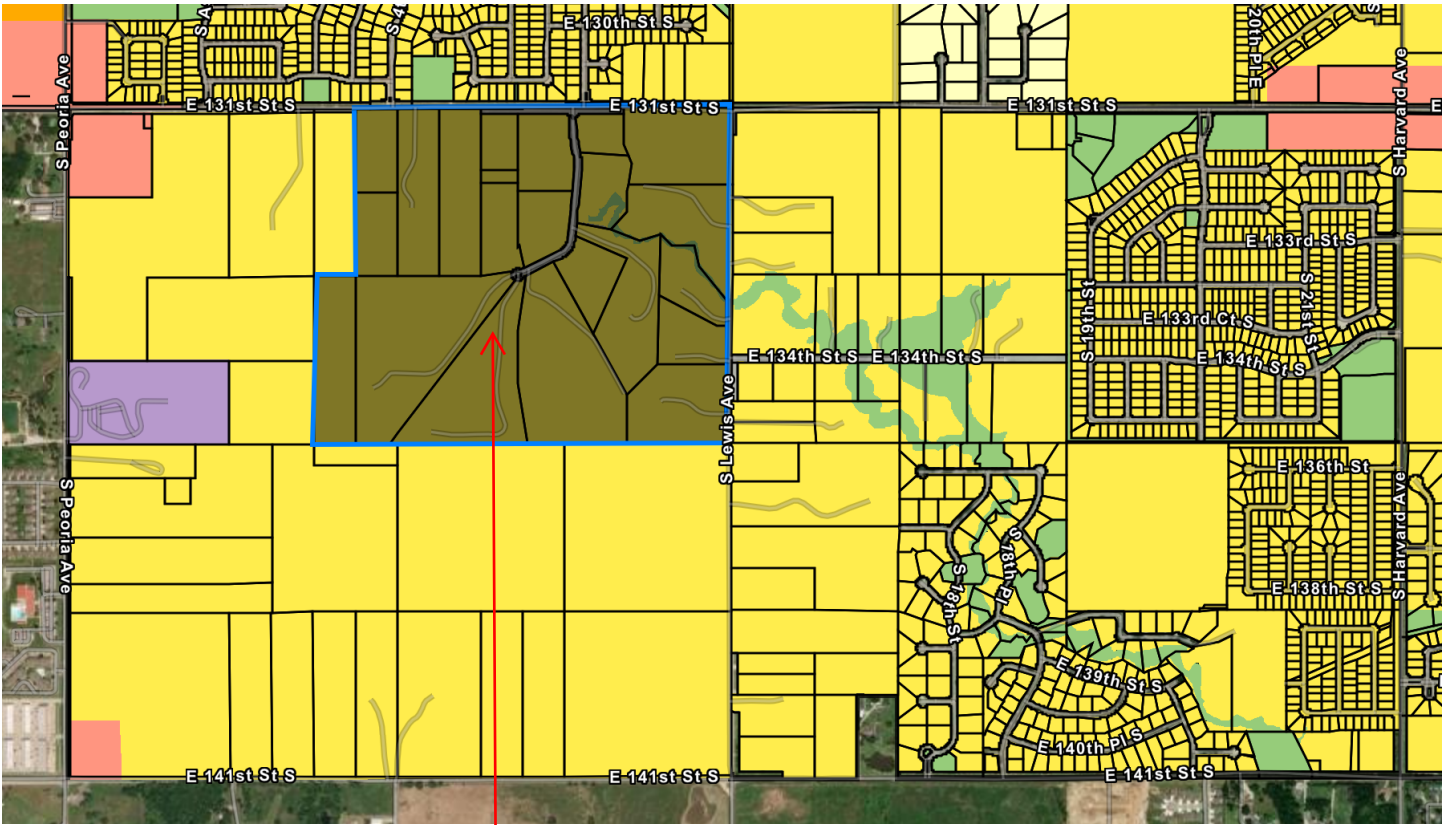




Amend from Medium Intensity Single-family to Low Intensity Single-family.





Land Use Plan

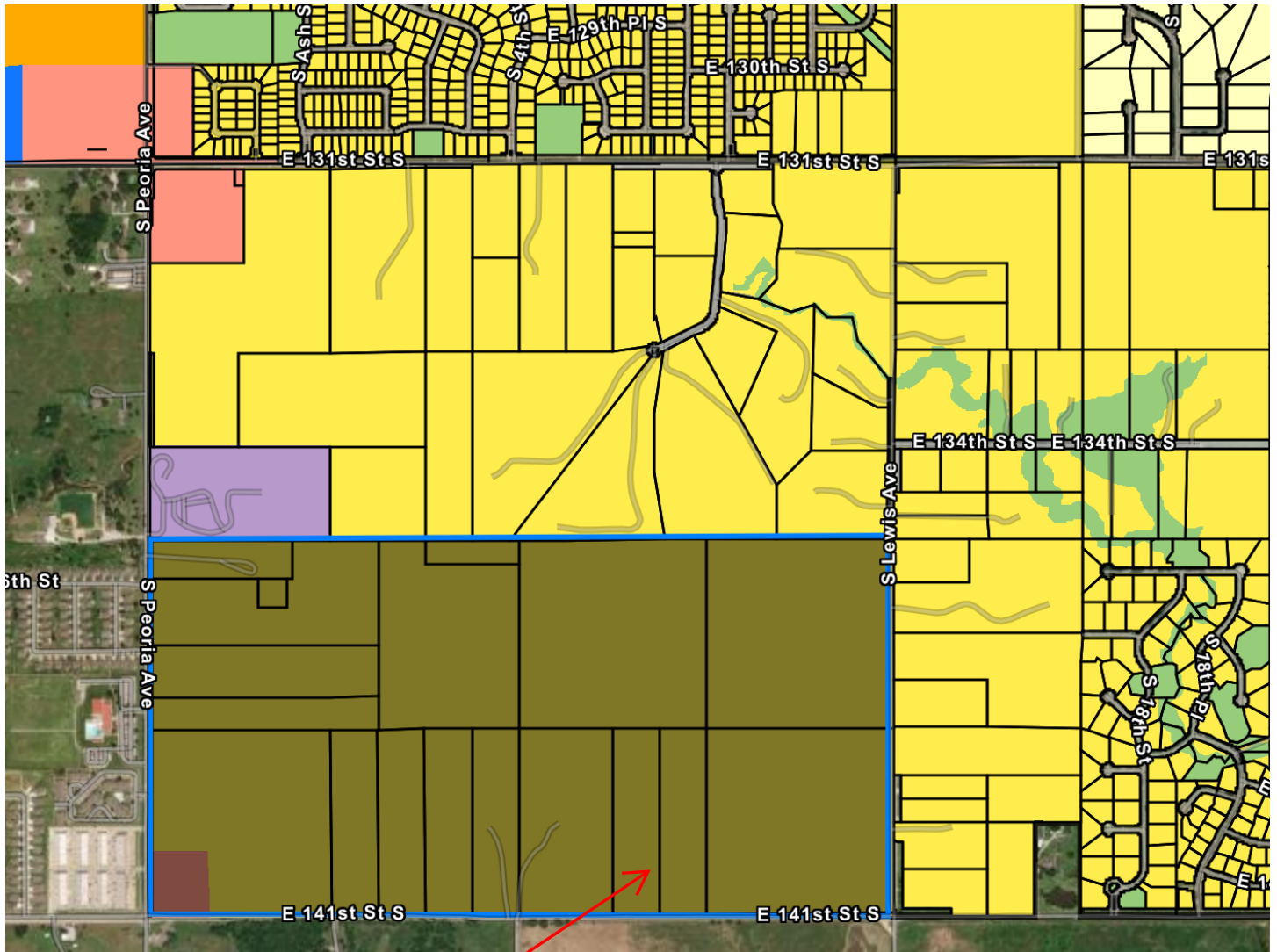
- | | |
|--|--|
|  Low Intensity Single-Family |  Light Industrial |
|  Medium Intensity Single-Family |  Heavy Industrial |
|  High Intensity Single-Family |  Parks and Open Space |
|  Multi-Family Residential |  Public and Semi-Public |
|  Business Park |  Utility |
|  Regional Commercial |  Potential South Tulsa-Jenks Bridge |
|  Local Commercial |  Potential Road Connections |
|  Downtown | |



Amend from Medium Intensity Single-family to Low Intensity Single-family.

Land Use Plan

- | | |
|--|--|
|  Low Intensity Single-Family |  Light Industrial |
|  Medium Intensity Single-Family |  Heavy Industrial |
|  High Intensity Single-Family |  Parks and Open Space |
|  Multi-Family Residential |  Public and Semi-Public |
|  Business Park |  Utility |
|  Regional Commercial |  Potential South Tulsa-Jenks Bridge |
|  Local Commercial |  Potential Road Connections |
|  Downtown | |



Amend from Medium Intensity Single-family to Low Intensity Single-family.

Land Use Plan

- Low Intensity Single-Family
- Medium Intensity Single-Family
- High Intensity Single-Family
- Multi-Family Residential
- Business Park
- Regional Commercial
- Local Commercial
- Downtown
- Light Industrial
- Heavy Industrial
- Parks and Open Space
- Public and Semi-Public
- Utility
- Potential South Tulsa-Jenks Bridge
- Potential Road Connections

To	Chair, Dr. Scott West and Planning Commission
Hearing Date	October 9, 2025
Case Number	JZ 24-PUD 146 Major Amendment No. 2 “Glenwood Plaza”
Request	Approval of Major Amendment II to PUD 146 (Planned Unit Development) overlay and a partial rezoning request from CS to RS3 (Single-family Residential)
Applicant	Robert Bell, Bell Land Use
Location	North of 131 st Street and west of Elm

Staff Report

Preparer | Marcaé Hilton

Attachments

PUD Documents

Preparer

Robert Bell, Bell Land Use

Background Information

PC Summary | This item was continued from the September 04, 2025 Planning Commission meeting to allow the developer time to finalize the amenities plan.

SITE SUMMARY | PUD 146 overlay was approved with three phases for a 120-acre parcel located within the Jenks fence line in south Jenks. This parcel was previously part of a land allotment with many descendants. The property was annexed on December 05, 2023, by City Council for the purpose of 3 residential subdivisions and a hard commercial corner. Following annexation, the ownership gifted the Elm Street ROW (Right of Way) for the City street expansion project. Originally *Phase 3* would include Multi-family buffering the future commercial development on the hard corner. Approval of PUD 146 MA2 Phase III (21.8 Acres) will allow the applicant to rezone the Multi-family portion to allow for RS3 single-family residential while keeping the hard corner for commercial purposes.

PUD 146 MA2 Requests

- 21.8 Acres of 115.72 Acres
- 20.27 Acres with ROW dedication
- Rezone to RS3 | Exhibit “B” in PUD
 - 12 Acres High Density Residential Development
 - 4.75 lots per acre (Land Use Plan)
- Existing CS | Reduced to 4 Acres

PUD 146 Overlay Details

- MA1 | CC | Approved | September 03, 2024
- MA1 | PC | Approved | August 22, 2024
- CC | Approved | December 19, 2023

- PC | Approved | December 13, 2023
- ANNEXATION | CC | Approved | December 05, 2023

PUBLIC COMMENT: Staff has not received any comments on this request.

PUD 146 PROJECT DETAILS INCLUDING MAJOR AMENDMENT NO. 1 & 2

SCHOOL DIST. Glenpool

REQUEST [Major Amendment No. 2 to PUD 146 Overlay District](#)

Three Phases/Project Areas in PUD 146

- Phase 1 | RS3 (Residential Single-family)
 - Glenwood Ridge | Starter Homes | Approved
 - PUD 146
 - 43.52 Acres
 - 50 Foot Lots
 - \$300,000
- Phase 2 (MA1) | RS3 (Residential Single-family)
 - Crossvine | Gated Patio Homes | Approved
 - PUD 146 Major Amendment No. 1
 - 55.27 Acres
 - 55 Foot Lots
- Phase 3 ([MA2](#)) | CS (Commercial Shopping) | Shopping and possible future amendment to ask for High Density Residential
 - Phase 3 | 21.81 Acres
 - High Intensity Residential | 12 Acres
 - [MA2 Request | 12 Acres RS3 Single-family](#)
 - Commercial 8 Acres
 - [4 Acres along S Elm](#)
 - [4 Acres along 131st](#)

ZONING CS (Commercial Shopping) & PUD 146 Overlay

Acres 21.85

Ordinance 1634

ZCase # JZ 23 PUD-146

STR Section Township and Range |01-T17N-R12E

COMP PLAN Land Use Plan | Local Commercial and Medium Intensity Single-family Residential and Business Park.

COUNCILOR Ward 3 | Craig Murray

ASSESSOR DATA

PARCEL 97201720168210 | Phase II and Phase III | Southern Portion

LEGAL N/2 SE & SE SE SEC 1 17 12 120ACS

OWNER 131 ELM LLC

TR_SEC 7201

ACRES 120.00

UDO 16-9-8
 FOCAL POINTS
 AMENITIES
 OIL WELLS

C.1.b | C.2. Qualification and exception
 Natural Landscaping
 See Chart below
 Identify active/inactive wells and follow the standards of the UDO other regulations.

PROJECT PHASE & NAME	Phase 1 "Glenwood Ridge" "Middle"	N/A	Phase 2 "Crossvine" "Top"	Phase 3 "Glenwood Ridge" "S" "Hard Corner"		
UDO Language	Original PUD 146 Standards	UDO Standards	MA1 PUD Standards	MA2 RS3 PUD Standards	MA2 CS PUD Standards	
Project Area (Acres)	43.52	NA	55.27	12 of 20.27**	of 20.27**	
Lot Area (sqft)	5,000	5,000 \ 5,500	5,200	5,000	N/A	(174,2404)
Lot Area/DU (sqft)	5,000	5,000 \ 5,500	?	5,000	N/A	N/A
Lot Width (ft)	50	45	50	50	0	0
Front (ft)	25	20 (3)	20, 25, 15	25	0	25
Exterior Side (ft)	10	15 (3)	NA	10	0	17.5
Interior Side (ft)	5/5	5	1 & 9	5/5	10	0
Rear (ft)	20	20	20	20	10	20
Height (ft)	35	35	35	35	60	35
Impervious Surface Coverage	60%	60%	60%	60%	70%	?
Amenities	^To be approved	See UDO	^^See Below	^^^To be approved	^^^To be approved	
Uses	Single-family	Single-family	Single-family	Single-family	CS and OM	
Parking	N/A	N/A	N/A	N/A	Cross/Parking allowed	
NON-UDO SPECIFICATIONS						
Minimum House Size	1400 sq ft	N/A	1600 sq ft	1400 sq ft	N/A	
Masonry	100%	N/A	100%	100%	N/A	
Number of Homes	154 PP	N/A	180	57=4.75 x 12 acres	N/A	
Owners Association	HOA	No	HOA	HOA	POA	
^Original Amenities Amenities required to be presented and approved at time of platting.						
^^Crossvine Amenities Gated Entry, Entry monuments, Security gate house, Clubhouse, Recreational facilities, Food Prep facilities, Meeting Rooms, Park and open space, Playground, Recreational facilities, Court gates, Pool, Pickle ball court, Common parking areas, trails, picnic shelters, facilities, gazebos.						

^^Glenwood Ridge “Middle and Hard Corner” | Amenities required, this item will not be approved and/or moved forward without amenity package approved by PC and CC.

**Acres | Original Tract 21.81 less ROW = 20.27 Acres

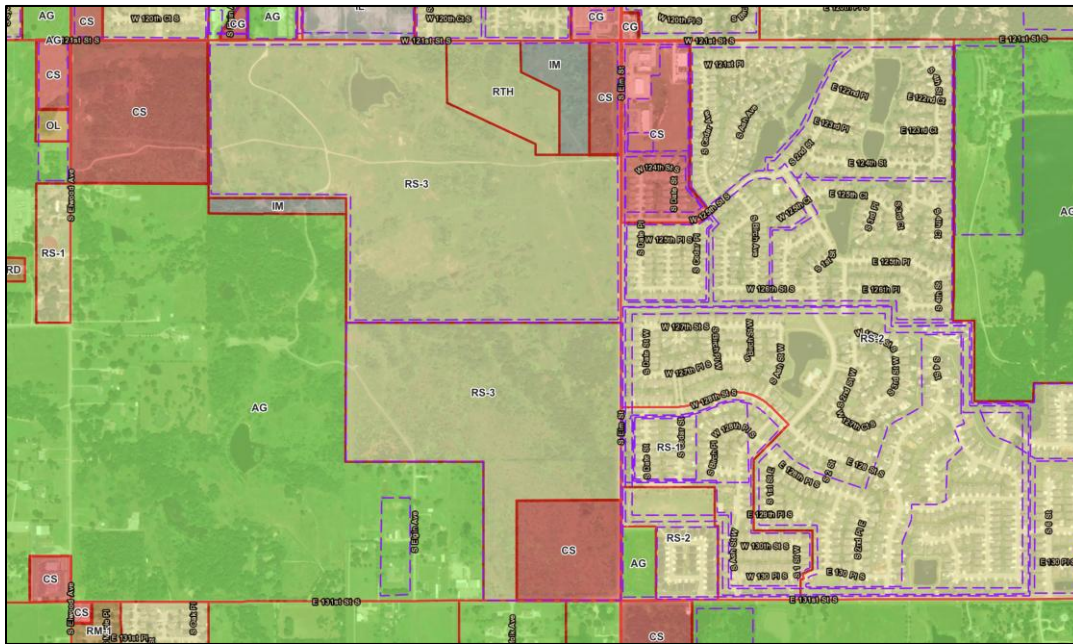


Figure 1" INCOG Zoning Map

Zoning:

North: (RS3) Residential Single-family & PUD 146 Overlay

South: (AG) Agriculture & (RS3) Residential Single-family & PUD 146 Overlay

West: (RS3) Residential Single-family & PUD 146 Overlay

East: Yorktown Subdivision(s) | Single-Family Residential

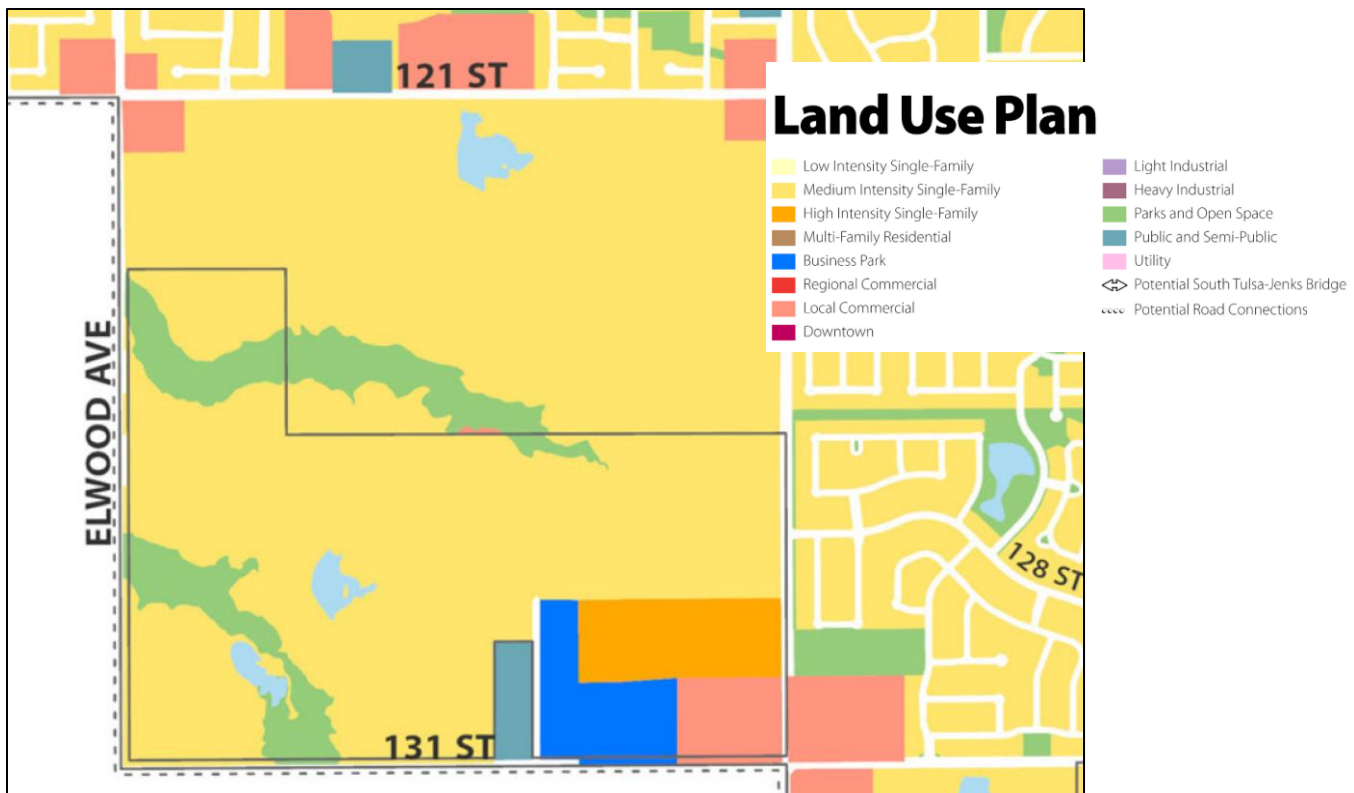


Figure 2: Horizon Jenks Land Use Plan | Medium Intensity Single Family + High Intensity Single Family + Local Commercial

Staff Evaluation, Comments & Recommendations

STAFF COMMENTS | PUD 146 as originally submitted was approved and met the intent and spirit of the UDO. (TAC) Technical Advisory Committee provided no initial comments. The developer and applicant have worked to establish a mix of uses that will provide starter homes, high end retirement homes and space for future residential and commercial development on the hard corner, as stated in the PUD there is a plan for high intensity residential. The PUD Overlay District (PUD 146) did not provide Phase 2 and Phase 3 with a detailed site plan or standards, which was an intentional choice. City Council approved the project and the PUD as presented. *This amendment is for Phase 3 and requires a Major Amendment to PUD 146, as was stated in the original approval (staff report). This is a land use decision, is it appropriate to reduce the amount of Commercial Shopping and to further define the residential as high density single-family in lieu of the multi-family that was previously considered?*

Sec. 16-9-8. Planned Unit Development.

- (A) *Purpose. In order to establish an alternate zoning procedure under which land can be developed or redeveloped with innovation, imagination, and creative architectural design when sufficiently justified under the provisions of this UDO, the Planned Unit Development process is established. The objective of the Planned Unit Development process is to encourage a higher level of design and amenity than is possible to achieve under otherwise applicable UDO regulations. The end result can be a product which fulfills the objectives of the Comprehensive Plan and planning policies of the City while departing from the strict application of the regulations as detailed in this UDO. The Planned*

Unit Development process is intended to permit and encourage such flexibility and to accomplish the following purposes:

- (1) To stimulate creative approaches to the commercial, residential, and mixed-use development of land,
- (2) To provide more efficient use of land,
- (3) To preserve natural features and provide open space areas and recreation areas in excess of that required under conventional zoning regulations,
- (4) To develop new approaches to the living environment through variety in type, design, and layout of buildings, transportation systems, and public facilities,
- (5) To unify building and structures through design,
- (6) To promote long-term planning pursuant to the City of Jenks' Comprehensive Plan, which will allow harmonious and compatible land uses or combinations of uses with surrounding areas.

(B) General Provisions.

- (1) Any residential development greater than 20 acres shall be approved as a Planned Unit Development.
- (2) Developments including only single-family detached residential uses, are discouraged, and may not be approved. Amenity packages may be used to offset "only" single-family.
- (3) Each Planned Unit Development should be presented and judged on its own merits. It shall not be sufficient to base justification for approval of a Planned Unit Development solely upon an already existing Planned Unit Development.
- (4) The burden of providing evidence and persuasion that any planned unit development is necessary and desirable shall rest with the applicant.
- (5) The planned unit development application shall specify the rules by which the parcel or parcels shall be developed and the site plan that specifies the development proposed.

(C) Site Development Allowances and Modification Standards.

(1) Site Development Allowances.

- (a) Site development allowances are deviations from the standards of the underlying zoning district set forth outside of this article.
- (b) Notwithstanding any limitations on variations which can be approved as contained elsewhere in this UDO, site development allowances may be approved provided the applicant specifically identifies each site development allowance on the approved site plan and demonstrates how each site development allowance would be compatible with surrounding development; is necessary for proper development of the site; and is aligned with a minimum of one of the modification standards detailed in section 16-9-8(C)(2) below.

(2) Modification Standards. In addition to the Standards for Review established in section 16-9-8(D), the following modification standards shall be utilized in the consideration of site development allowances. These standards shall not be regarded as inflexible but shall be used as a framework by the City to evaluate the quality of amenities, benefits to the community, and design and desirability of the proposal.

- (a) **Public Gathering Space.** The Planned Unit Development includes public gathering space, the amount of which is proportional to the size of buildings or number of dwelling units. The public gathering space is activated through the use of moveable tables and chairs, a fountain or other water feature, a sculpture or other public art feature, benches, seat walls, raised landscape planters, pedestrian scale, and celebratory lighting such as string or Tivoli lights, and/or other features. The public gathering space is integrated into the overall design of the Planned Unit Development and has a direct functional or visual relationship to the main building(s) and is not of an isolated or leftover character.
- (b) **Sustainable Design.** The Planned Unit Development is designed with consideration given to various methods of site design and building location, architectural design of individual buildings, and landscaping design capable of reducing energy consumption and improving onsite stormwater management.
- (c) **Landscape Conservation and Visual Enhancement.** The Planned Unit Development preserves and enhances existing landscape, trees, and natural features such as rivers, streams, ponds, groves, and landforms.
- (d) **Mix of Uses.** The Planned Unit Development is comprised of a mix of nonresidential uses and a mix of housing types.

- (e) *Affordability. The Planned Unit Development includes residential dwellings that are deed restricted for households that make less than or equal to 80 percent of the area median income.*
 - (f) *Universal Design. The Planned Unit Development includes buildings designed with accessible features such as level access from the street and/or zero entry thresholds.*
 - (g) *High Quality Building Materials. The Planned Unit Development utilizes time and weather tested building materials that are of a higher quality than what is otherwise required by this UDO, including, but not limited to, masonry or wood.*
- (D) *Standards for Review. Approval of development through the use of the Planned Unit Development process will be considered by the City only in direct response to the accrual of tangible benefits from the Planned Unit Development to the City or the neighborhood in which it would be located. These benefits shall be in the form of exceptional amenities; outstanding environmental, landscape, architectural, and/or site design; or the conservation of special man-made or natural features of the site. Modifications to the conventional zoning and subdivision regulations shall be considered a privilege except when encouraged by the modification standards in section 16-9-8(C)(2). No application for a Planned Unit Development shall be approved unless the City Council finds that the application meets all of the following standards:*
- (1) *Comprehensive Plan Alignment. The Planned Unit Development is consistent with the goals, objectives, and policies set forth in the Comprehensive Plan and other adopted plans and policy documents of the City.*
 - (2) *Placemaking. The Planned Unit Development has a distinctive identity and brand that is utilized in the signs, streetscape, architecture, public gathering spaces, open spaces.*
 - (3) *Integrated Design with Identifiable Centers and Edges. The Planned Unit Development shall be laid out and developed as a unit in accordance with an integrated overall design, in which the various land uses included function as a cohesive whole and support one another. The design shall provide identifiable centers, which form focus areas of activity in the development, and edges, which define the outer borders of the development, through the harmonious grouping of buildings, uses, facilities, public gathering spaces, and open space.*
 - (4) *Public Welfare. The Planned Unit Development is designed, located, and proposed to be operated and maintained so that it will not impair an adequate supply of light and air to adjacent property and will not substantially increase the danger of fire or otherwise endanger the public health, safety, and welfare.*
 - (5) *Compatibility with Adjacent Land Uses. The Planned Unit Development includes uses which are generally compatible and consistent with the uses of adjacent parcels. If the uses are not generally compatible, all adverse impacts have been mitigated through screening, landscaping, public open space, and other buffering features that protect uses within the development and surrounding properties.*
 - (6) *Impact on Public Facilities and Resources. The Planned Unit Development is designed so that adequate utilities, road access, drainage, and other necessary facilities will be provided to serve it. The planned unit development shall include such impact fees as may be reasonably determined by the City Council or the City Engineer. These required impact fees shall be calculated in reasonable proportion to impact of the planned development on public facilities and infrastructure.*
 - (7) *Archaeological, Historical or Cultural Impact. The Planned Unit Development does not substantially adversely impact an archaeological, historical, or cultural resource, included on the local, state, or federal register, located on or off the parcel(s) proposed for development.*
 - (8) *Drives, Parking and Circulation. The Planned Unit Development has or makes adequate provision to provide necessary parking. Principal vehicular access is from dedicated public streets, and access points shall be designed to encourage smooth traffic flow with controlled turning movements and minimum hazards to vehicular or pedestrian traffic. With respect to vehicular and pedestrian circulation (including walkways, interior drives, and parking), special attention has been given to the location and number of access points to public streets, the width of interior drives and access points, general interior circulation, separation of pedestrian and vehicular traffic, adequate provision for service by emergency vehicles, and arrangement of parking areas that are safe, convenient, and do not detract from the design of proposed buildings and structures and the neighboring properties. Access points are limited through the use of cross access connections.*
- (E) *Pre-Application Public Meeting. The applicant, after conducting the required pre-application conference, as detailed in section 16-9-4(C)(1), and prior to application submittal, as detailed in section 16-9-4(C)(2), is encouraged to conduct a public meeting to discuss the proposed Planned Unit Development and its impact on adjoining properties*

and area residents. If held, the applicant is encouraged to submit a written summary of comments made at the meeting with the application.

- (F) *Hearing and Recommendation by the Planning Commission. The Planning Commission shall hold a public hearing on the proposed Planned Unit Development, and, at the close of the public hearing and after consideration of the City planner report and public comment, make a recommendation to the City Council to approve, approve with modifications, or deny the Planned Unit Development based on the applicable review criteria. The City Planner, on behalf of the Planning Commission, shall transmit a report containing its recommendation to approve, approve with modifications, or deny the PUD application to the City Council.*
- (G) *Action by the City Council. The City Council shall hear the proposed Planned Unit Development, and, at the close of the meeting and after consideration of the recommendation of the Planning Commission, City Planner Report, and public comment either:
 - (1) *Approve the application,*
 - (2) *Approve the application with modifications,*
 - (3) *Deny the application,*
 - (4) *Refer the application back to the Planning Commission for further review, or*
 - (5) *Postpone further consideration pending the submittal of additional information, including any application requirement previously waived.**
- (H) *Zoning Map Amendment. Upon approval of the Planned Unit Development by the City Council, the zoning map shall be amended to reflect the PUD Overlay.*
- (I) *Additional Application Requirements. A Planned Unit Development application shall satisfy the application requirements and review criteria for other review procedures established in this chapter, as applicable to the application, including those for Site Plan Review in section 16-9-3(C), Conditional Use Permits in section 16-9-3(D), Specific Use Permits in section 16-9-7, and Sign Permits in section 16-9-3(F).*
- (J) *Amendments to Approved Planned Unit Development.
 - (1) *Determination of Level of Change. Upon receiving a Planned Development Amendment application, the City Planner shall determine whether the amendment is a major amendment, or a minor amendment based on the criteria detailed in section 16-9-8(J)(2) and section 16-9-8(J)(3) below.*
 - (2) *Major Amendment. A major amendment is any proposed change to an approved major or minor planned development that results in one or more of the following changes:
 - (a) *Increase density,*
 - (b) *Increase the height of buildings,*
 - (c) *Reduce open space by more than five percent,*
 - (d) *Modify the proportion of housing types,*
 - (e) *Change parking areas in a manner that is inconsistent with this UDO,*
 - (f) *Increase the approved gross floor area by more than 500 square feet,*
 - (g) *Alter alignment of roads, utilities, or drainage, or*
 - (h) *Result in any other change inconsistent with any standard or condition imposed by the City Council in approving the Planned Unit Development and/or the approved site plan, as determined by the City Planner.**
 - (3) *Minor Amendment. A minor amendment is any proposed change to an approved Planned Unit Development that is consistent with the standards and conditions upon which the Planned Unit Development was approved, which does not alter the concept or intent of the Planned Unit Development and is not considered a major amendment as detailed in section 16-9-8(J)(2).*
 - (4) *Approval Processes. A major amendment to an approved Planned Unit Development shall follow the procedure set in section 16-9-8(E)(F), and (G). A minor amendment to an approved Planned Unit Development may be approved by the Planning Commission.**
- (K) *Expiration. For any Planned Unit Development in which there has been no Building Permit issued nor any portion of the property platted after five years since approval by the City Council, the Planned Unit Development shall be considered null and void and shall be brought back before the Planning Commission and the City Council for consideration prior to any development on the property. The underlining zoning of the PUD shall not expire, only the PUD overlay shall expire.*

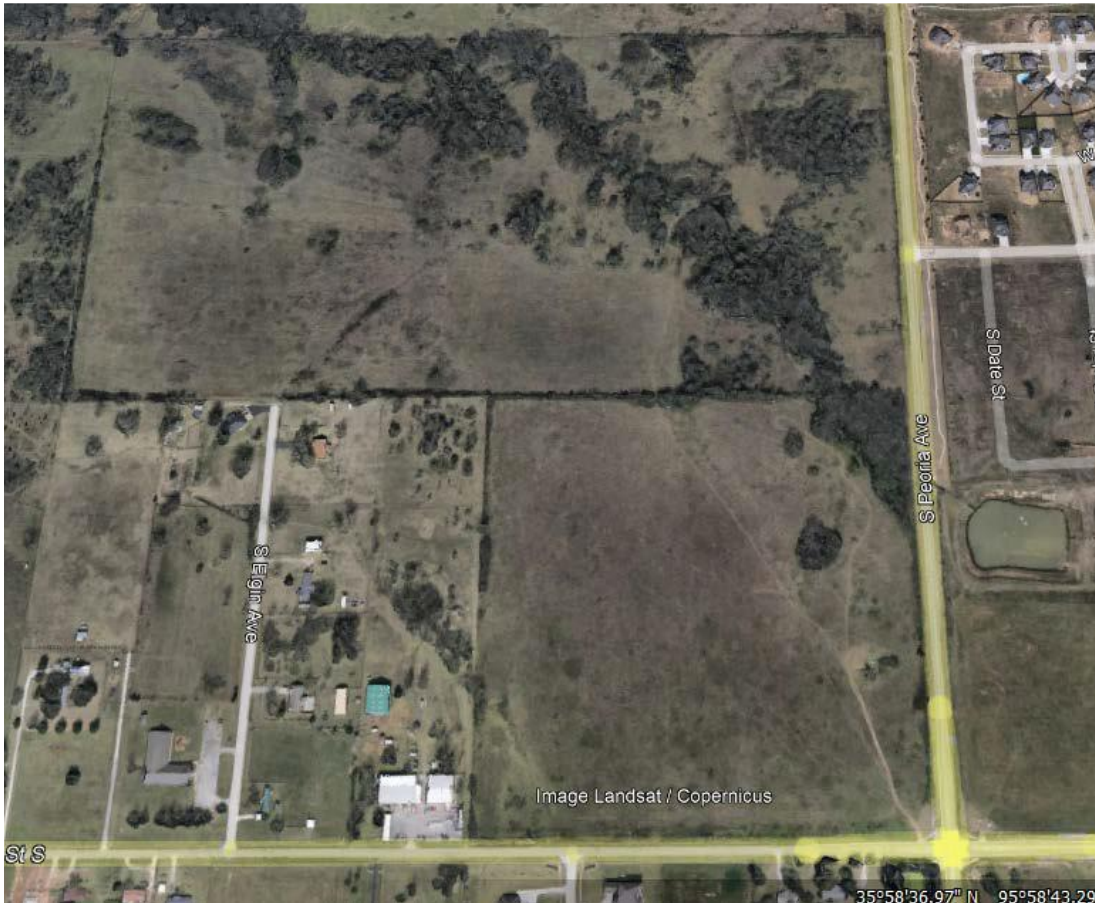
- (1) *Conformance with Current Regulations. Expired Planned Unit Developments are required to meet the most recently adopted regulations, ordinances, and development standards.*

RECOMMENDATION | *Staff recommends conditional approval of the request for a Major Amendment to PUD 146. Approval does amend part of the underlying zoning to RS-3 (Residential Single-family) for Phase III.*

1. *Follow the UDO and City Code as related to Oil and Gas wells and drilling*
 - a. *Sec. 16-9-7. - Specific Use Permit*
 - b. *ARTICLE 7. - OIL AND GAS*
 - c. *Other Requirements.*
2. *Exceptions to the UDO and Staff comments:*
 - a. *Make yourself very familiar with the standards of the UDO specifically but not exclusively as follows:*
 - i. *ARTICLE 6. - DEVELOPMENT STANDARDS*
 - ii. *ARTICLE 7. - SIGN STANDARDS*
 - iii. *ARTICLE 8. - SUBDIVISION STANDARDS*
3. *Staff is not responsible for UDO standards that were not considered during the layout or design of the project. UDO, Engineering, Building Inspections, Fire standards are enforceable even if not identified at this level of review.*
 - a. *Follow the Subdivision Regulations for development.*
 - b. *Section 6 of the UDO will lay out additional details of development unless specified in PUD 146, the applicant must meet all the elements of the UDO with the exceptions listed in the PUD.*
 - c. *Police, Fire, Inspections and engineering have not reviewed this project. It would not be appropriate at this time, this is a land use decision.*
4. *Consider addressing accessory Dwelling Units in the private covenants, the City of Jenks does allow for them, but does not regulate private covenants.*
5. *Amenities, Amenities, Amenities??? Add a section to the PUD for Amenities.*
6. *The setbacks established on Page 6 of the PUD are conceptual at best, staff cannot approve an easement as a fire access at this level of concept. Strike this from the PUD.*
7. *Shared Access and Parking are spelled out in the UDO. The review committee can have an approval process in addition to the UDO requirements, but they must follow the process spelled out in the UDO. Revise this statement(s) on page 6 of the PUD.*

Glenwood Plaza
Amendment to Glenwood Ridge Phase III
A Single-Family Residential and Commercial
Development
Jenks Oklahoma

Amendment 1 to Planned Unit Development Number 146
Northwest Corner of East 131st Street South and South Elm Avenue



📍 Bell Land Use LLC
918-902-0462

TABLE OF CONTENTS

	Page
I. Development Concept	3
II. Development Standards - Residential	4
III. Development Standards – Commercial	5
Exhibit A	Planned Unit Development Legal
Exhibit B	Phase III Residential Legal
Exhibit C	Phase III Commercial Legal
Exhibit D	Site and Plat Design
Exhibit E	Comprehensive Plan
Exhibit F	Comprehensive Plan
Exhibit G	Existing Area Zoning

Glenwood Ridge

I. Development Concept

Glenwood Ridge is an approximate 120.50-acre planned unit development that is designed to meet the housing needs specified by the Jenks Comprehensive Plan and is intended to address some of the areas of the housing market deficiencies identified within the city.

Glenwood Ridge was created with three distinct phases. Each phase is designed to address the development specifications as outlined by the Development Concept of the PUD and ultimately the Jenks Comprehensive Plan.

The Jenks Comprehensive Plan specifies the south 10 acres of the PUD should be developed for local commercial and approximately 15 acres adjacent to the north as High Intensity Residential. The remaining 95 acres are designated by the Plan as medium density residential. The PUD specifies the following about Phase 3.

Phase 3 presents a diverse set of challenges. As previously identified, the Comprehensive Plan designates approximately 10 acres for local commercial and 15 acres for High Density residential. The challenge, at this time, is identifying what the commercial product is and the proper higher density residential that should be located adjacent to it. These limitations make it difficult to establish the underlying zoning for a specific use. Recognizing the limitations related to the natural characteristics of the land, a legal description of a 21.81-acre parcel has been provided as Exhibit D and is identified as Phase 3. The Planned Unit Development is requesting to establish Phase 3 with an underlying zone of CS (Commercial Shopping) with the understanding that an amendment to the PUD will be submitted that identifies up to 12 acres of phase 3 to a High-Density Residential Development. The amendment will establish criteria related to residential development and propose the type of housing to be approved for the area. Exhibit E provides for a conceptual layout for Phase 3 of the development.

This Amendment to PUD 146 is to finalize the development characteristics for Phase 3 as was required in PUD 146. The size of Phase 3 was reduced with the dedication of road right of way to 20.27 acres. See Attached Exhibit "A" for the revised legal description.

The Jenks Comprehensive Plan specifies the High Intensity Single Family Residential land use designation includes areas that should have a combination of single-family detached homes, duplexes, brownstones, and limited intensity multifamily buildings integrated in a seamless and complimentary manner. These neighborhoods should be comprised of small lots that average six to ten homes per acre. The City should promote the development of this land use type in areas near higher intensity multi-family and non-residential uses. The Jenks Zoning Code highest intensity designation is RS-3. This zoning classification will provide 4.75 lots per acre of the 12 acres of residential.

The proposed development will be established as an RS-3 district and will be 12 acres in size as identified by Exhibit B – Residential Legal Description. To help facilitate the high intensity identified by the Comprehensive Plan the land area per dwelling unit will be reduced from

5500 square feet to 5000 and the exterior lot side setback will be reduced from 15 feet to 10 feet. All other criteria complies with the RS-3 Zone.

II. Development Standards Phase III Residential

Permitted Uses:

The following uses shall be permitted:

Use Unit

Single Family Residential and customary accessory uses

Minimum Lot Width:	50 Feet
Setback front yard:	25 Feet
Setback side yards:	5/5 Feet
Rear Yard Setback:	20 Feet
Exterior Side yard setback:	10 Feet
Side entry garage from exterior side shall be 25 feet from the Property line.	
Minimum Lot Area	5000 sq. ft.
Non Pervious Coverage	60%
Maximum Permitted Building Height:	35 Feet

Minimum House Size: Single-Family Dwelling Units shall have a minimum of 1400 square feet of finished heated living area.

Masonry: The first floor of each dwelling will have 100% masonry, not including windows and beneath covered porches. No Steel, Aluminum or Plastic Siding shall be permitted on any Building or any Residential Lot.

Foundation/Stem walls: Foundation and stem walls shall be covered with brick, stone, stucco. No exposed stem walls.

Interior fencing: Interior fencing or walls shall not extend beyond each end corner of the residence. Corner lots shall be permitted to extend fencing in a side yard abutting a public street to a point no closer than 7.5' of the property line.

Minimum Landscape: Each lot shall be sodded and Landscaped to include the planting of a minimum of one 2" caliper tree (measured six inches from the base of the tree). Sodding and landscaping shall be completed within 30 days of occupancy or final inspection.

The development will have a mandatory Homeowners Association for maintenance of common areas.

The development will be required to submit a detailed drainage plan to the City Engineer for review and approval with the required subdivision plat.

The drainage plan will require a hydrology report to determine the existing conditions of the area, detention facility needs of the tract and the effect of full development of the site.

I. Existing Zoning and Comprehensive Plan

Phase 3 was rezoned to CS and established with a requirement that a PUD amendment shall be submitted to address the development characteristics of the phase.

2. Utilities and Storm Water

Platting of the property will require submittal of a detailed drainage and utility plan to the City Engineer for Review and Approval.

3. Perimeter Fencing

The development will incorporate a masonry column every 100 feet and a perimeter fence to match the required internal fencing with a concrete footing for preservation.

III. Development Standards Phase III Commercial

1. The property is currently established with a Commercial Shopping (CS) Zoning. The amendment will change the commercial area to 4 acres along 131st Street and 4 acres along S Elm The 8 acres are defined and described in Exhibit C.
2. The two four acre lots will be established in a subdivision plat that will have a mandatory owners association that outlines the criteria for mutual access and landscaping. The Planned Unit Development will be designed with zero lot lines on interior side lot lines and will establish a lot split procedure to create 3 separate parcels within each 4-acre lot.

3. A development review committee shall be established that is controlled by the developer and which shall be turned over to the Owners Association once the developer no longer has ownership of a commercial lots, The review committee will be established to review all building, parking, landscaping and access plans. The review committee will work with the City of Jenks Planning, Engineering and Fire Departments with the approval of each structure.

4. Permitted Uses:

Those uses allowed by the CS (Commercial Shopping Center) and OM (Medium Office) Zoning Districts and customary accessory uses.

5. Setbacks

Minimum Lot Width:	N/A
Setback front yard:	25 Feet
Setback side yards	Zero Lot Line (Interior Lots) 17.5 Feet (Fire Access on Exterior Lots)
Rear Yard Setback:	20 feet (Fire Access)
Maximum Permitted Building Height:	35 Feet

6. Each individual lot owner is responsible for meeting the parking standards for the use that is located in the structure on their property. Cross Parking can be established if the Parking Standard for that use is met with agreement by both owners.

7. Landscaping shall be established and maintained in accordance with the Jenks Zoning Code.

8. Two access points shall be established from Elm Street and two access points shall be established from 131st Street.

a. The access points shall be identified as mutual access for all lots within Glenwood Plaza.

b. The review committee approve all interior roads, parking and landscaping for compliance with the City of Jenks and conformance to the goals of Glenwood Plaza Commercial.

9. Signs shall be allowed in accordance with multi-tenant criteria with each subdivision lot to stand alone in accordance with the criteria.

EXHIBIT 'A'

LEGAL DESCRIPTION – PHASE III

A TRACT OF LAND THAT IS PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SE/4 OF SAID SECTION 1;

THENCE SOUTH 88°37'10" WEST ALONG THE SOUTH LINE THEREOF 94.81 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 88°37'10" WEST ALONG SAID SOUTH LINE 905.73 FEET;

THENCE NORTH 01°22'12" WEST AND DEPARTING THE SOUTH LINE OF THE SE/4 OF SAID SECTION 1 A DISTANCE OF 949.58 FEET;

THENCE NORTH 88°49'21" EAST 934.47 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH ELM STREET;

THENCE SOUTH 01°07'57" EAST ALONG SAID RIGHT-OF-WAY LINE 896.62 FEET;

THENCE SOUTH 43°44'56" WEST AND CONTINUING ALONG SAID RIGHT-OF-WAY LINE 35.31 FEET;

THENCE SOUTH 01°22'50" EAST 24.75 FEET TO THE SOUTH LINE OF THE SE/4 OF SAID SECTION 1 AND THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 883,021.4 SQ. FEET OR 20.27 ACRES.

BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83) USING THE SOUTH LINE OF THE SE/4 OF SEC.01, T17N, R12E AS SOUTH 88°37'10" WEST.

EXHIBIT 'B'

LEGAL DESCRIPTION – RESIDENTIAL

A TRACT OF LAND THAT IS PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF 1/4 OF SAID SECTION 1;

THENCE SOUTH 88°37'10" WEST ALONG THE SOUTH LINE THEREOF 660.00 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 88°37'10" WEST ALONG SAID SOUTH LINE 340.54 FEET;

THENCE NORTH 01°22'12" WEST AND DEPARTING THE SOUTH LINE OF THE SE/4 OF SAID SECTION 1 A DISTANCE OF 949.58 FEET;

THENCE NORTH 88°49'21" EAST 644.47 FEET;

THENCE SOUTH 01°07'57" EAST 587.30 FEET;

THENCE SOUTH 88°37'10" WEST 300.00 FEET;

THENCE SOUTH 01°07'57" EAST A DISTANCE OF 360.00 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 501,375.23 SQ. FEET OR 11.51 ACRES.

BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83) USING THE SOUTH LINE OF THE SE/4 OF SEC.01, T17N, R12E AS SOUTH 88°37'10" WEST.

EXHIBIT 'C'

LEGAL DESCRIPTION – COMMERCIAL

A TRACT OF LAND THAT IS PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SE/4 OF SAID SECTION 1;

THENCE SOUTH 88°37'10" WEST ALONG THE SOUTH LINE THEREOF 94.81 FEET TO THE POINT OF BEGINNING;

THENCE CONTINUING SOUTH 88°37'10" WEST ALONG SAID SOUTH LINE 565.19 FEET;

THENCE NORTH 01°07'57" WEST AND DEPARTING THE SOUTH LINE OF THE SE/4 OF SAID SECTION 1 A DISTANCE OF 360.00 FEET;

THENCE NORTH 88°37'10" EAST 300.00 FEET;

THENCE NORTH 01°07'57" WEST 587.30 FEET;

THENCE NORTH 88°49'21" EAST TO THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH ELM STREET 290.00 FEET;

THENCE SOUTH 01°07'57" EAST ALONG SAID RIGHT-OF-WAY LINE 896.62 FEET;

THENCE SOUTH 43°44'56" WEST AND CONTINUING ALONG SAID RIGHT-OF-WAY LINE 35.31 FEET;

THENCE SOUTH 01°22'50" EAST 24.75 FEET TO THE SOUTH LINE OF THE SE/4 OF SAID SECTION 1 AND THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 381,644.15 SQ. FEET OR 8.76 ACRES.

BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83) USING THE SOUTH LINE OF THE SE/4 OF SEC.01, T17N, R12E AS SOUTH 88°37'10" WEST.

EXHIBIT “E”

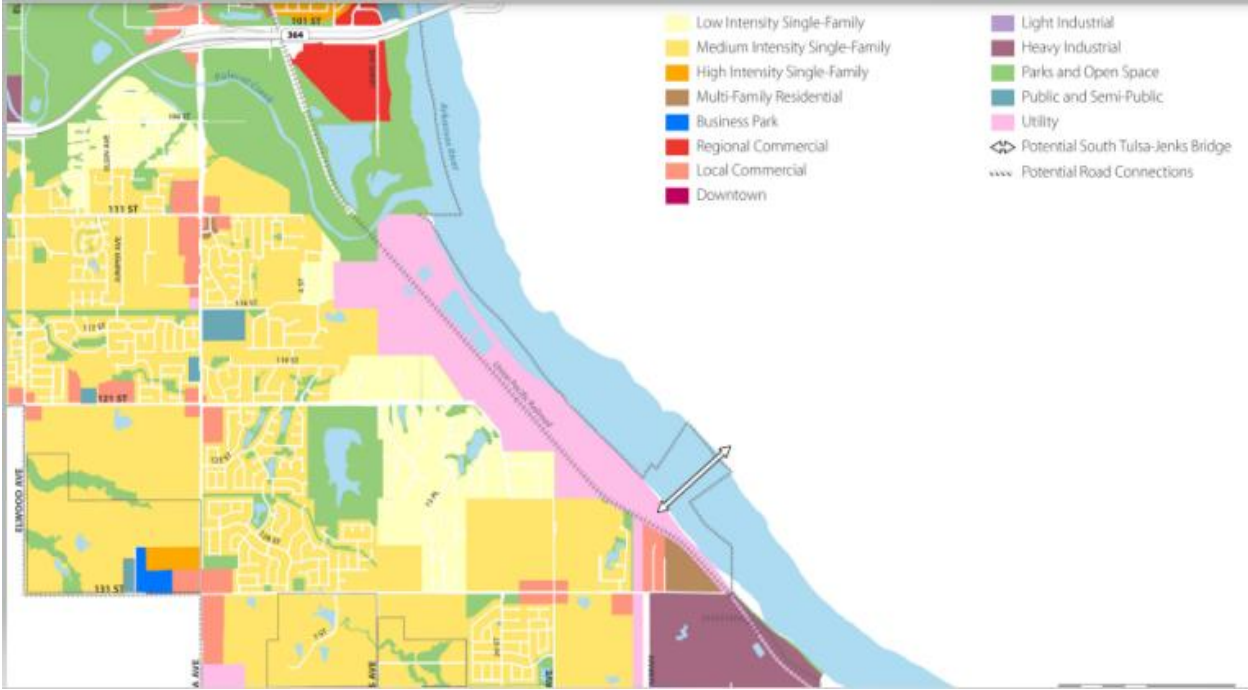


EXHIBIT “F”

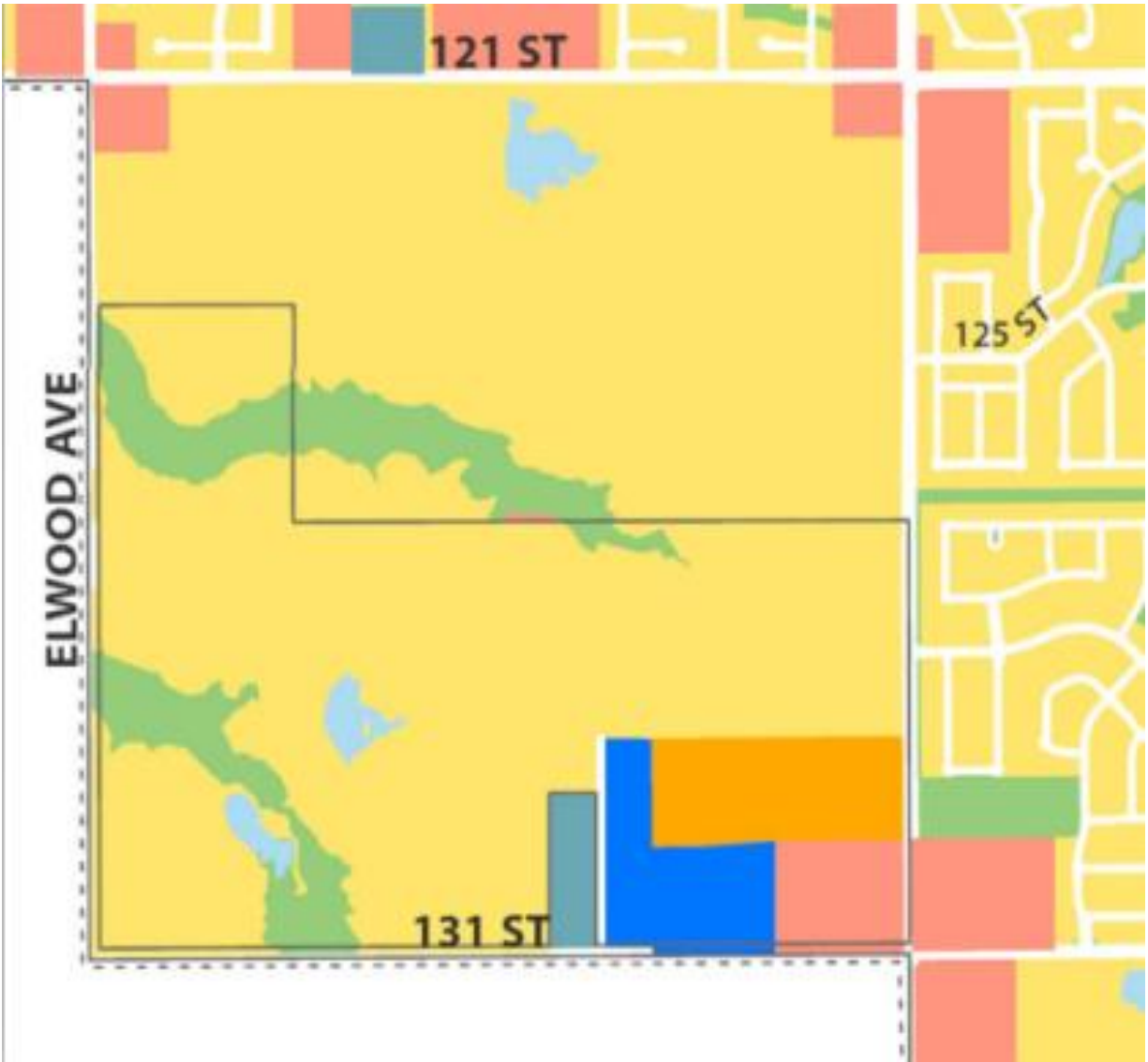


EXHIBIT "G"

EXHIBIT "A"

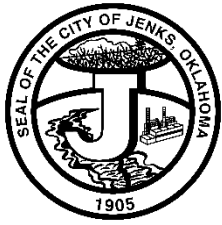
LEGAL DESCRIPTION – PHASE III

A TRACT OF LAND THAT IS PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF THE SE/4 OF SAID SECTION 1;
THENCE SOUTH 88°37'10" WEST ALONG THE SOUTH LINE THEREOF 94.81 FEET TO THE POINT OF BEGINNING;
THENCE CONTINUING SOUTH 88°37'10" WEST ALONG SAID SOUTH LINE 905.73 FEET;
THENCE NORTH 01°22'12" WEST AND DEPARTING THE SOUTH LINE OF THE SE/4 OF SAID SECTION 1 A DISTANCE OF 949.58 FEET;
THENCE NORTH 88°49'21" EAST 934.47 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH ELM STREET;
THENCE SOUTH 01°07'57" EAST ALONG SAID RIGHT-OF-WAY LINE 896.62 FEET;
THENCE SOUTH 43°44'56" WEST AND CONTINUING ALONG SAID RIGHT-OF-WAY LINE 35.31 FEET;
THENCE SOUTH 01°22'50" EAST 24.75 FEET TO THE SOUTH LINE OF THE SE/4 OF SAID SECTION 1 AND THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 883,021.4 SQ. FEET OR 20.27 ACRES.

BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83) USING THE SOUTH LINE OF THE SE/4 OF SEC.01, T17N, R12E AS SOUTH 88°37'10" WEST.



CITY OF JENKS
211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
PHONE (918) 299-5883 • FAX (918) 299-4489

**NOTICE OF A PUBLIC HEARING
LOCATED IN THE CITY OF JENKS, OKLAHOMA**

Case Number: JZ 25 PUD 146.MA2

Request: Request for a Major Amendment to PUD 146, rezoning a portion to RS-3, and redefining the Commercial Shopping development.

Legal Description: A TRACT OF LAND THAT IS PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: COMMENCING AT THE SOUTHEAST CORNER OF THE SE/4 OF SAID SECTION 1; THENCE SOUTH 88°37'10" WEST ALONG THE SOUTH LINE THEREOF 94.81 FEET TO THE POINT OF BEGINNING; THENCE CONTINUING SOUTH 88°37'10" WEST ALONG SAID SOUTH LINE 905.73 FEET; THENCE NORTH 01°22'12" WEST AND DEPARTING THE SOUTH LINE OF THE SE/4 OF SAID SECTION 1 A DISTANCE OF 949.58 FEET; THENCE NORTH 88°49'21" EAST 934.47 FEET TO THE WESTERLY RIGHT-OF-WAY LINE OF SOUTH ELM STREET; THENCE SOUTH 01°07'57" EAST ALONG SAID RIGHT-OF-WAY LINE 896.62 FEET; THENCE SOUTH 43°44'56" WEST AND CONTINUING ALONG SAID RIGHT-OF-WAY LINE 35.31 FEET; THENCE SOUTH 01°22'50" EAST 24.75 FEET TO THE SOUTH LINE OF THE SE/4 OF SAID SECTION 1 AND THE POINT OF BEGINNING. SAID TRACT OF LAND CONTAINS 883,021.4 SQ. FEET OR 20.27 ACRES. BEARINGS ARE BASED UPON THE OKLAHOMA STATE PLANE COORDINATE SYSTEM, (3501 OK N), NORTH AMERICAN DATUM 1983 (NAD83) USING THE SOUTH LINE OF THE SE/4 OF SEC.01, T17N, R12E AS SOUTH 88°37'10" WEST.

General Location: 131st & Elm

Hearing Date: 04 September 2025 at 6 p.m.

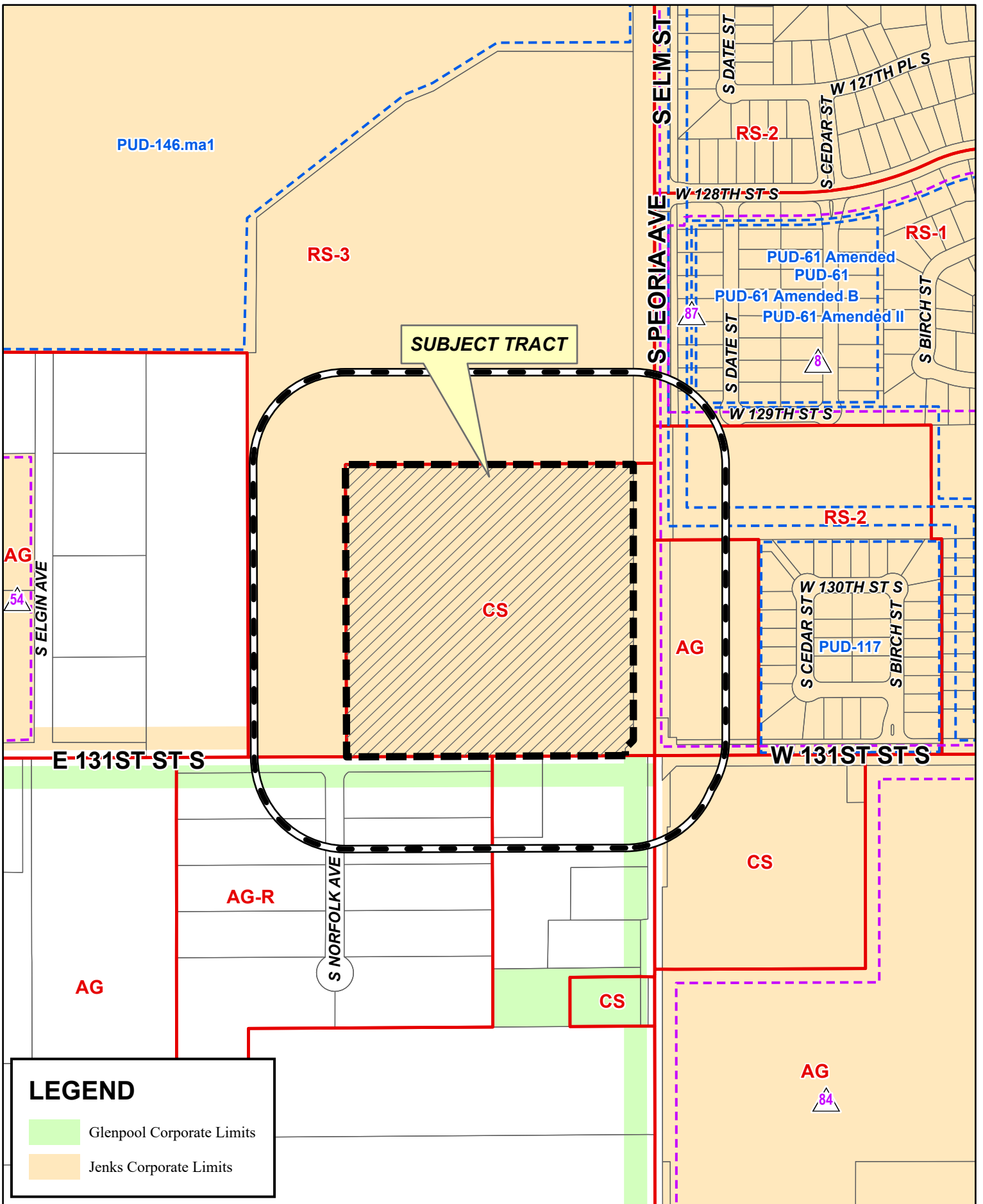
Location: Jenks City Hall, 211 N Elm St, Jenks, OK 74037

All persons interested in this matter may appear at these hearings and present their objections to or arguments for any of the above matters.

Dated at Jenks Oklahoma on 12 August 2025.



Marcae Hilton, Secretary
Jenks Planning Commission



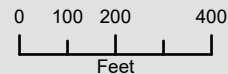
SUBJECT TRACT

LEGEND

- Glenpool Corporate Limits
- Jenks Corporate Limits



JZ 25 PUD 146.ma2



01 17-12

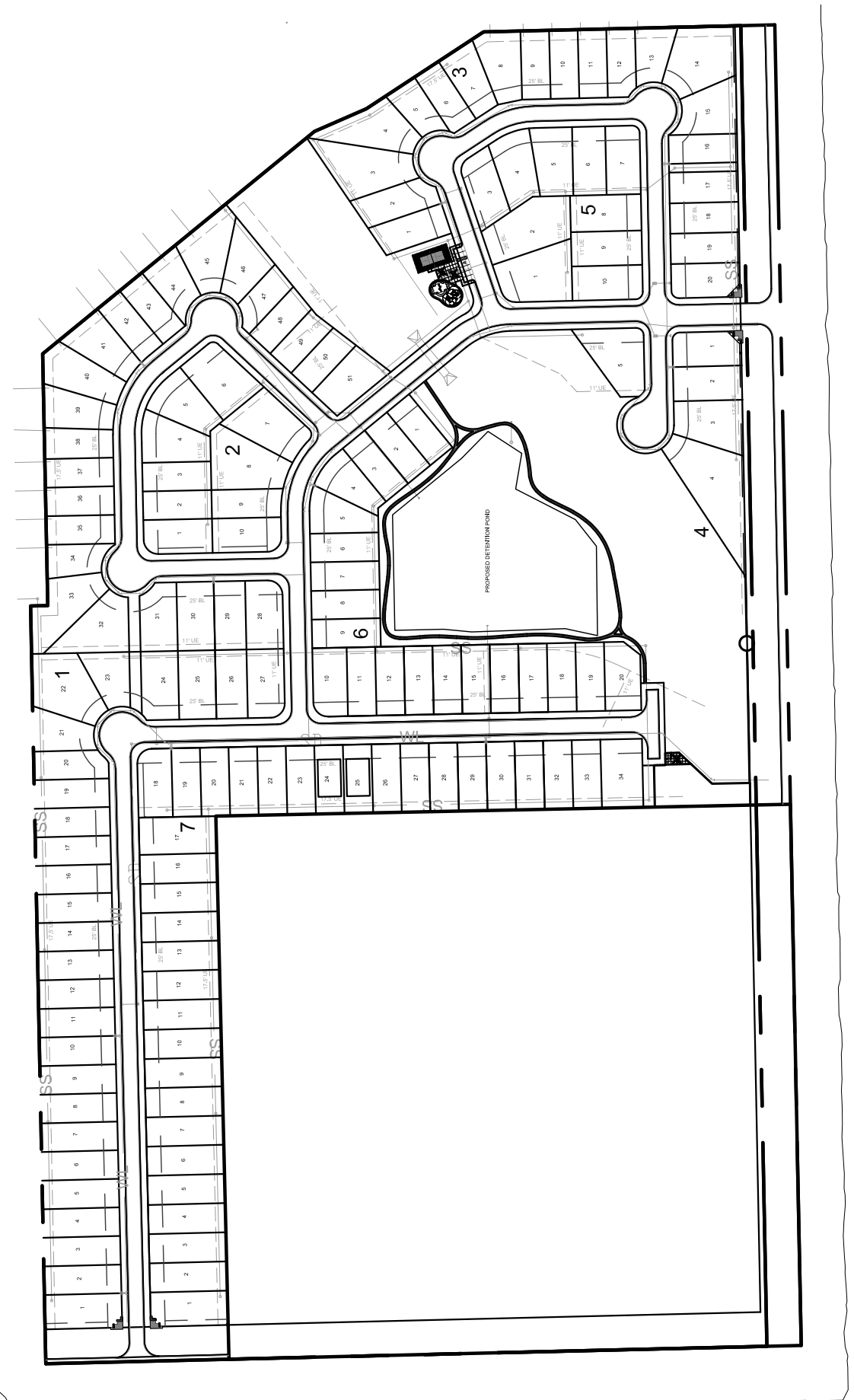


LANDSCAPE ARCHITECTURAL PACKAGE

GLENWOOD RIDGE JENKS, OKLAHOMA

PROJECT SHEET INDEX

COVER SHEET	i
OVERALL SITE PLAN	SP-1
S. PEORIA AVE. ENTRY LAYOUT PLAN	L-1
E. 131ST. ST. ENTRY LAYOUT PLAN	L-2
PLAYGROUND LAYOUT PLAN	L-3
DOG PARK LAYOUT PLAN	L-4
TRAIL LAYOUT PLAN	L-5
ENTRY ELEVATIONS	D-1
SITE DETAILS	D-2
PLAYGROUND DETAILS	D-3
PICKLEBALL DETAILS	D-4
TREE PLAN	P-1
S. PEORIA AVE. ENTRY PLANTING PLAN	P-2
E. 131ST ST. ENTRY PLANTING PLAN	P-3
PLANTING DETAILS	P-4



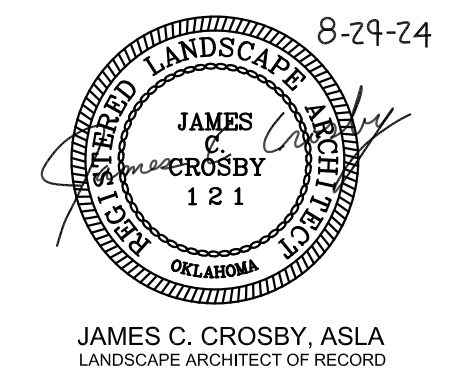
OWNER:

131 ELM. LLC
 8086 S. YALE AVE. #285
 TULSA, OK 74136
 PHONE: 918.698.7802
 EMAIL: MMCGUIRE@MCGUIREBROTHERS.COM
 ATTN: MARK MCGUIRE


REGISTERED LANDSCAPE ARCHITECT OF RECORD
 PLANNING DESIGN GROUP
 JIM C. CROSBY, ASLA

PLANNING DESIGN GROUP

Landscape Architecture / Land Planning / Recreational Design
 5314 South Yale, Suite 510 Tulsa, Oklahoma 74135
 Phone: (918)-628-1255 Fax: (918)-628-1256

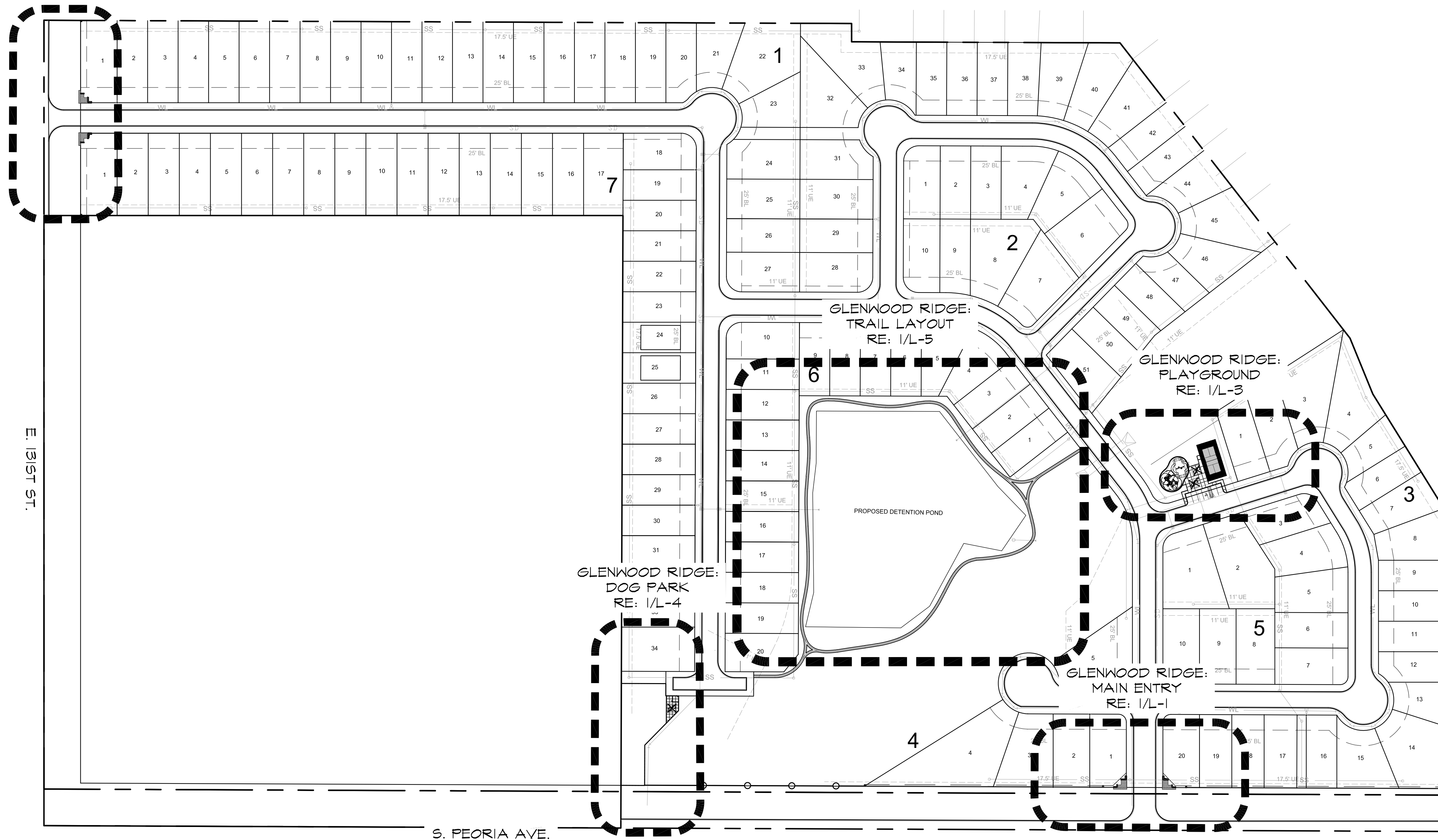


BEFORE YOU DIG! CALL OKIE 1-800-522-6543

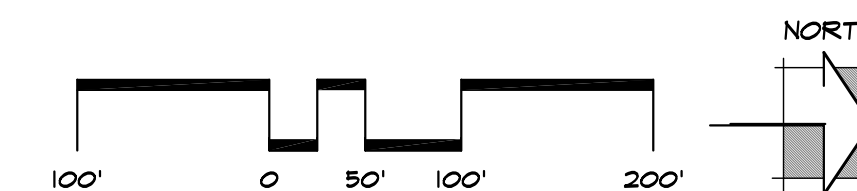


UTILITIES LOCATION SHOWN ON PLAN AND PROFILE WERE OBTAINED FROM INFORMATION PROVIDED BY UTILITY SYSTEM OWNER IN CONJUNCTION WITH EXISTING PHYSICAL FEATURES VISIBLE AT THE TIME OF THE TOPOGRAPHIC SURVEY. LOCATIONS MUST BE VERIFIED BY THE CONTRACTOR PRIOR TO CONSTRUCTION.

GLENWOOD RIDGE:
SECONDARY ENTRY
RE: 1/L-2

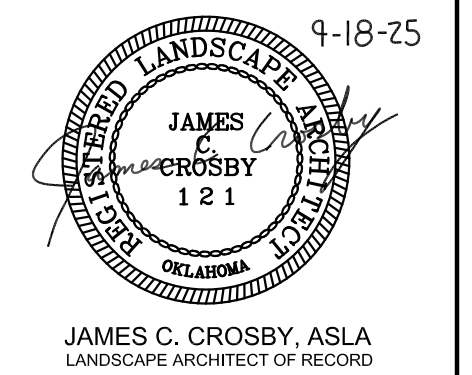


1 OVERALL SITE PLAN
SCALE 1"= 100'-0"



OWNER / DEVELOPER:

131 ELM, L.L.C.
8086 S. YALE AVE., #285
TULSA, OKLAHOMA 74136
PHONE: 918-698-7802



PROJECT INFORMATION

PROJECT ADDRESS:

NEAREST INTERSECTION:
E. 131 ST. S. AND S. PEORIA AVE.

PROJECT NO.

DATE 9-23-25

DRAWN BY CHECKED BY

JC JC

GLENWOOD RIDGE
JENKS, OK

ISSUE/ REVISIONS

9/18/25	100% SET
9/23/25	REVISED SET

SITE PLAN

DUTY OF COOPERATION
P.D.G., L.L.C. AND PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS "ARCHITECT". RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

COPYRIGHT NOTICE
P.D.G., L.L.C. AND PLANNING DESIGN GROUP RESERVE THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF P.D.G., L.L.C. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

BASE INFORMATION
ALL BASE INFORMATION INCLUDING EXISTING DRAINAGEWAYS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY FRITZ LAND SURVEYING, L.L.C., TULSA, OK.

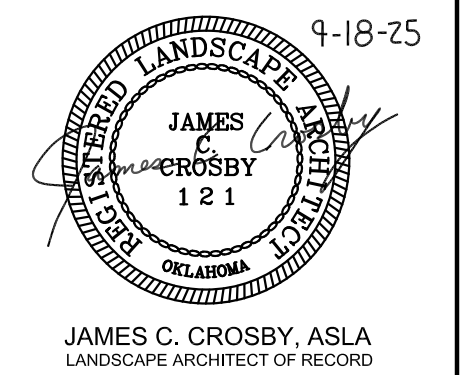


BEFORE YOU DIG ...
1-800-522-6543
CALL OKIE

SP-1

OWNER / DEVELOPER:

131 ELM, LLC.
 8086 S. YALE AVE., #285
 TULSA, OKLAHOMA 74136
 PHONE: 918-698-7802



PROJECT INFORMATION

PROJECT ADDRESS:
 NEAREST INTERSECTION:
 E. 131 ST. S. AND S. PEORIA AVE.

PROJECT NO.	
DATE	9-23-25
DRAWN BY	CHECKED BY
JC	JC

GLENWOOD RIDGE
 JENKS, OK

ISSUE/ REVISIONS

9/18/25	100% SET
9/23/25	REVISED SET

E. 131ST ST. ENTRY LAYOUT PLAN

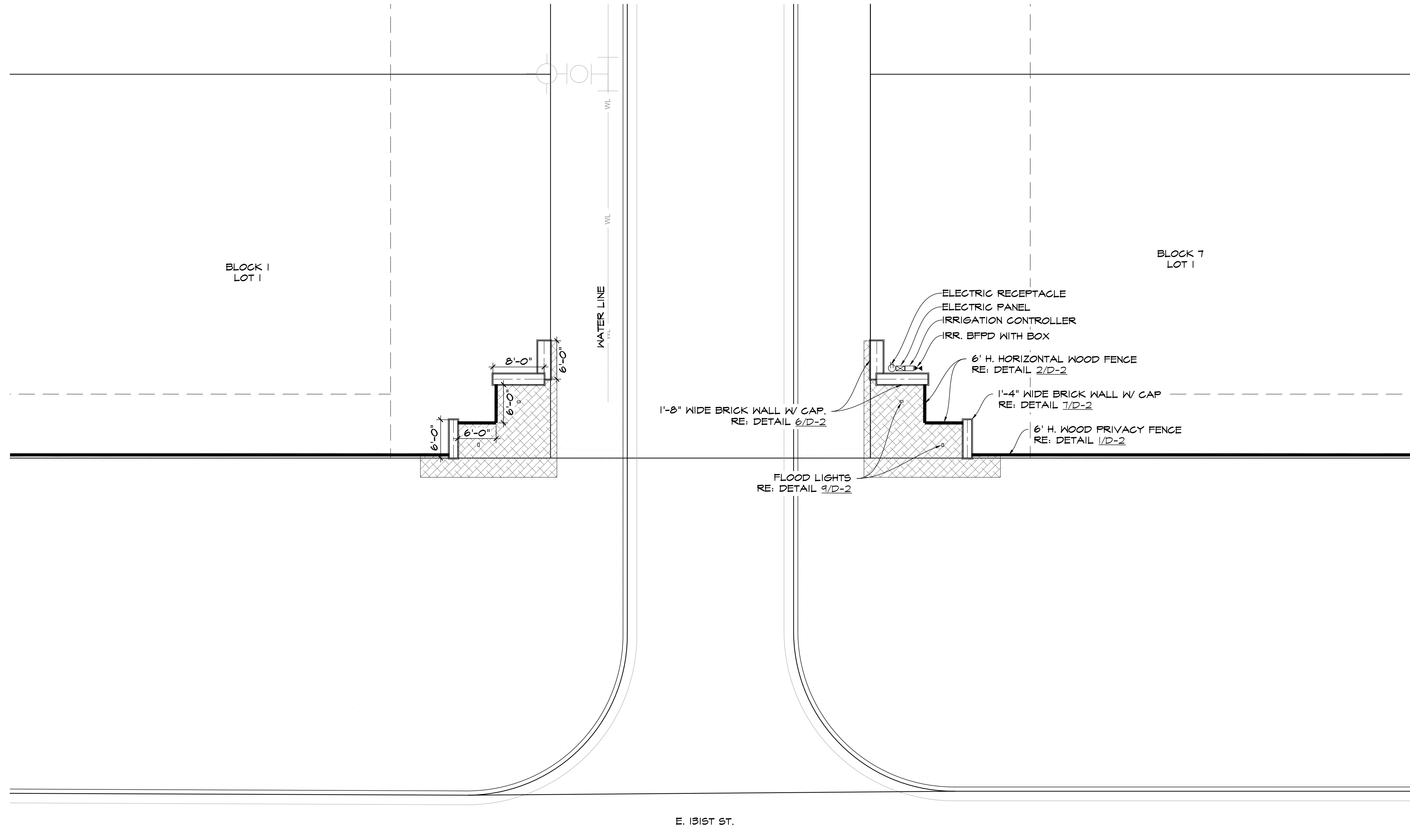
L-2

GENERAL NOTES

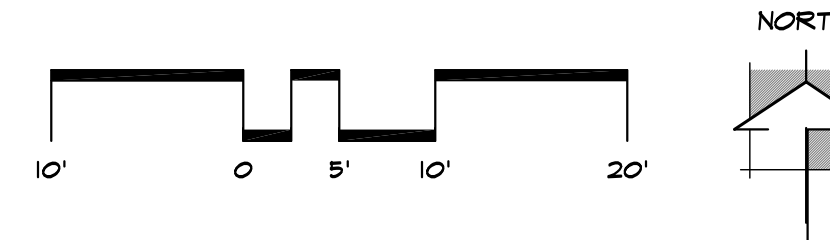
- REFER TO LAYOUT PLAN FOR LOCATION OF ALL WALLS AND COLUMNS.
- TIE ALL COLUMN AND WALL FOOTINGS.
- FINISH GRADE TO BE A MINIMUM OF 3" ABOVE TOP OF FOOTINGS.
- FOR BRICK/STONE VENEER OVER FRAMED OR C.M.U. CONTRACTOR TO INSTALL MASONRY WALL TIES ON ALL WALLS @ 18" O.C. FOR STONE MASONRY AND @ 24" O.C. FOR BRICK MASONRY.
- HOLD TOPS OF WALLS LEVEL-WHERE SLOPING SITES EXIST, CONTRACTOR IS TO SEEK LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO STEPPING WALLS AND FOOTINGS.
- WRITTEN DIMENSIONS HAVE PRIORITY OVER SCALED DIMENSIONS.
- 1/2" EXPANSION JOINTS W/ BACKER-RODS, (SIZE ACCORDING TO INDUSTRY STANDARDS), WITH DOW-CORNING 190 SILICONE SEALANT, (OR EQUAL), ARE TO BE USED WHEREVER WALLS AND/OR COLUMNS ARE JOINED, AND MAY BE USED WHERE WALLS STEP UP/DOWN.
- CONTRACTOR TO PROVIDE MATERIAL SAMPLES TO OWNER FOR APPROVAL.
- CONTRACTOR TO PROVIDE OWNER A 3' x 3' MASONRY SAMPLE WITH STONE, BRICK AND MORTAR FOR OWNER'S APPROVAL.
- ELECTRICAL & IRRIGATION CONTRACTORS TO COORDINATE LOCATION OF SERVICE CONNECTIONS, CONTROLLERS, BACKFLOW PREVENTER, ECT. WITH OWNER.
- CONTRACTOR TO ENSURE THAT ALL DRAWINGS MEET APPLICABLE STATE AND LOCAL CODES.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO WORK COMMENCING.
- SURVEYOR TO CALCULATE COORDINATES AND STAKE THE LAYOUT OF THE PROJECT FOR THE SUB-CONTRACTOR.
- LIGHTING FIXTURES & LOCATION TO BE COORDINATED BY OWNER.

LAYOUT NOTES

- LANDSCAPE ARCHITECT OR OWNER TO APPROVE FINAL LAYOUT OF ENTRY FEATURES.
- CONTRACTOR TO GAIN APPROVAL OF OWNER OR LANDSCAPE ARCHITECT BEFORE ANY DIGGING TAKES PLACE.
- REFER TO PROJECT DETAILS FOR SPECIFICATIONS, MATERIALS, AND CONSTRUCTION DETAILS.
- ASSUME ALL DIMENSIONS TO BE GIVEN AT THE RIGHT ANGLES UNLESS OTHERWISE NOTED ON PLAN.
- SURVEYOR TO CALCULATE COORDINATES AND STAKE THE LAYOUT OF THE PROJECT FOR THE SUB-CONTRACTOR.
- ALL DIMENSIONS GIVEN ARE HORIZONTAL.



1 E. 131ST ST. ENTRY - LAYOUT PLAN
 SCALE 1"= 10'-0"

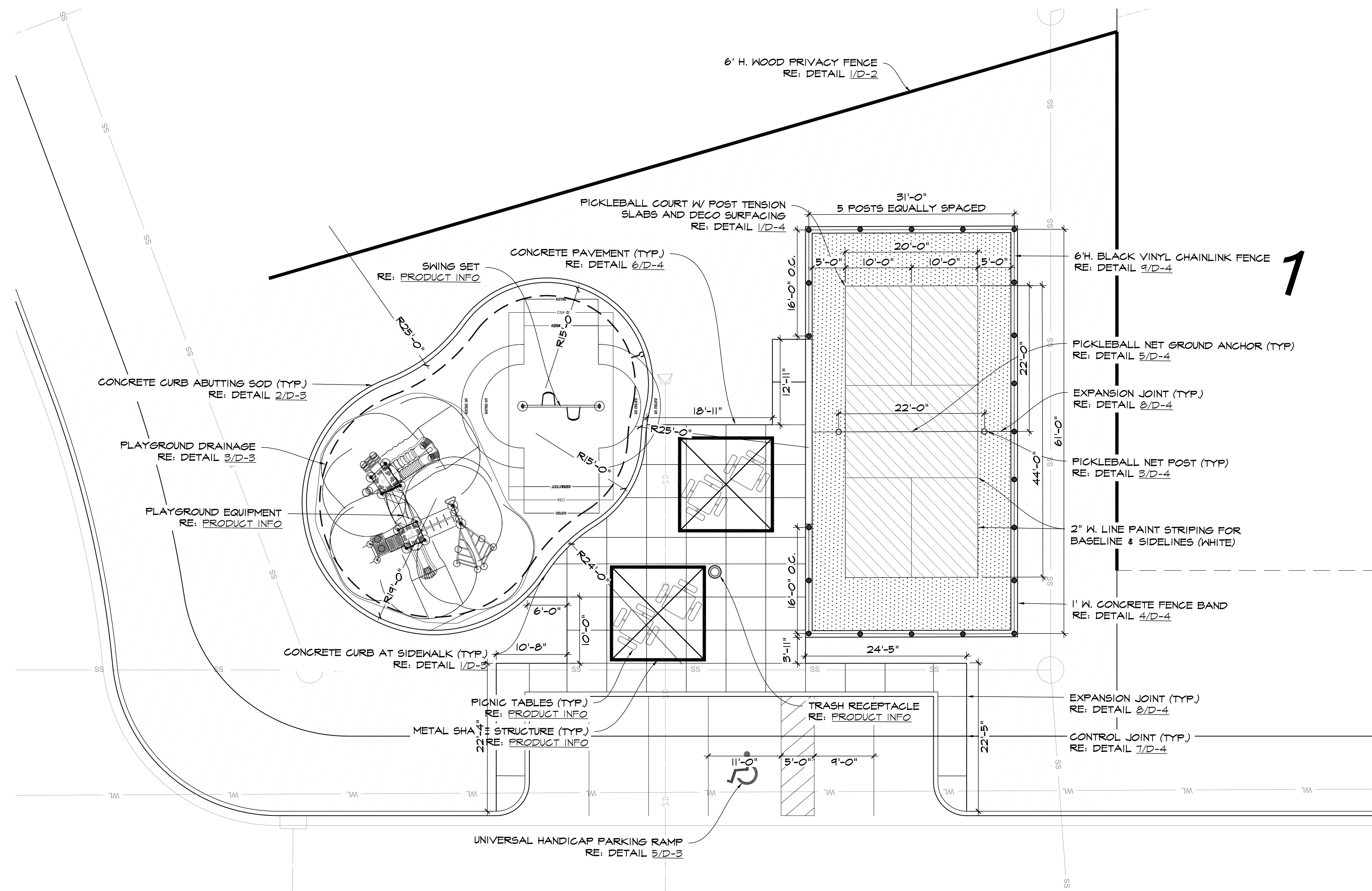


DUTY OF COOPERATION
 P.D.G., LLC, 2800 PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS "ARCHITECT". RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

COPYRIGHT NOTICE
 P.D.G., LLC, 2800 PLANNING DESIGN GROUP RESERVE THEIR COMMON-LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF P.D.G., LLC, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

BASE INFORMATION
 ALL BASE INFORMATION INCLUDING EXISTING DRAINAGE PATHS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY FRITZ LAND SURVEYING, LLC., TULSA, OK.





PRODUCT INFO

METAL SHADE STRUCTURE
 - (2) 14' SINGLE POST FABRIC SHADE STRUCTURE
 MANUFACTURED BY USA SHADE OR APPROVED EQUAL
 2580 ESTERS BLVD #100, DFW AIRPORT, TX 75261
 PH: (214) 903-9500
 WEB: WWW.USA-SHADE.COM

PICNIC TABLES
 - (2) 46" METAL PICNIC TABLE
 - (2) 46" ADA METAL PICNIC TABLE

TRASH RECEPTACLE
 - (1) 52 GALLON TAPERED OUTDOOR TRASH RECEPTACLE- CLASSIC COLLECTION MODEL #LR350D
 MANUFACTURED BY HABASH VALLEY OR APPROVED EQUAL
 PO BOX 5
 505 EAST MAIN STREET
 SILVER LAKE, INDIANA 46482
 PH: (800) 233-8404
 WEB: WWW.HABASHVALLEY.COM

PLAYGROUND EQUIPMENT
 - PLAYGROUND MODEL#: 350-2244
 - SWINGSET MODEL: SWINGS-SP-ADD
 MANUFACTURED BY PLAYWORLD SYSTEMS
 1000 BUFFALO ROAD
 LEWISBURG, PA
 17837-4119 USA
 PH: (800) 233-8404
 WEB: WWW.PLAYWORLD.COM

PLAYGROUND EQUIPMENT NOTES

- FOR PLAYGROUND EQUIPMENT TO BE CONSIDERED ACCESSIBLE, ACCESSIBLE SURFACING MUST BE UTILIZED IN APPLICABLE AREAS.
- ALL DECK HEIGHTS ARE MEASURED FROM TOP OF GROUND COVER.
- FALL ABSORBING GROUND COVER IS REQUIRED UNDER AND AROUND ALL PLAY EQUIPMENT.
- THE MINIMUM RECOMMENDED FALL ZONE AROUND THE ENTIRE PLAYSTRUCTURE IS SHOWN. THIS ZONE IS TO BE FREE OF ALL TRIPPING OR COLLISION HAZARDS (I.E. ROOTS, ROCKS, BORDER MATERIAL, ETC.).
- NOT ALL EQUIPMENT MAY BE APPROPRIATE FOR ALL CHILDREN, SUPERVISION IS REQUIRED. CONTRACTOR IS TO SUBMIT SHOP DRAWINGS OF ALL PLAYGROUND ELEMENTS, FOR OWNER AND LANDSCAPE ARCHITECT'S APPROVAL.
- CONTRACTOR TO SUBMIT COLOR CHART WITH SHOP DRAWINGS.

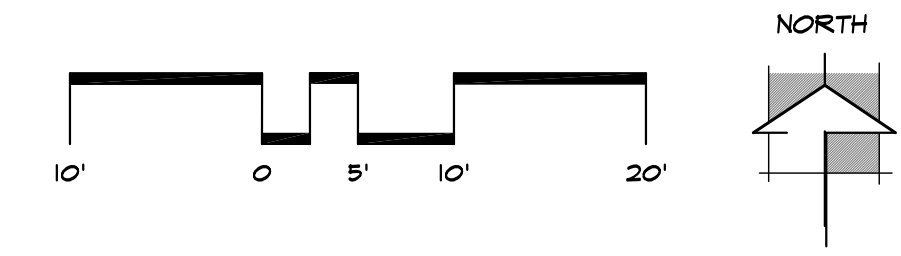
SHADE STRUCTURE NOTES

- CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE SHADE STRUCTURES, INCLUDING STRUCTURAL PLANS FOR STEEL COMPONENTS AND REINFORCED CONCRETE FOOTINGS. THESE DRAWINGS MUST BE SIGNED BY A LICENSED AND REGISTERED OKLAHOMA ENGINEER.
- SHADE STRUCTURES MUST MEET ALL APPLICABLE IBC CODES.
- STEEL COMPONENTS TO BE POWDER COATED PAINT SYSTEM WITH A UV INHIBITED WEATHER RESISTANT COATING.
- ALL COLORS FOR STRUCTURE TO BE SELECTED DURING THE SUBMITTAL PROCESS.
- NO EXPOSED BASE PLATE ON SHADE STRUCTURE POSTS. BASE PLATE IS TO HAVE A MINIMUM OF 4" CONCRETE COVER IF BASE PLATE MOUNTING METHOD IS USED.

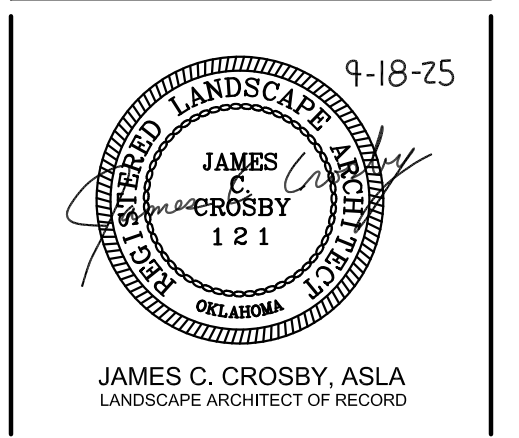
GENERAL NOTES

- REFER TO LAYOUT PLAN FOR LOCATION OF ALL WALLS AND COLUMNS.
- TIE ALL COLUMN AND WALL FOOTINGS.
- FINISH GRADE TO BE A MINIMUM OF 3" ABOVE TOP OF FOOTINGS.
- FOR BRICK/STONE VENEER OVER FRAMED OR C.M.U., CONTRACTOR TO INSTALL MASONRY WALL TIES ON ALL WALLS @ 18" O.C. FOR STONE MASONRY AND @ 24" O.C. FOR BRICK MASONRY.
- HOLD TOPS OF WALLS LEVEL-WHERE SLOPING SITES EXIST, CONTRACTOR IS TO SEEK LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO STEPPING WALLS AND FOOTINGS.
- WRITTEN DIMENSIONS HAVE PRIORITY OVER SCALED DIMENSIONS.
- 1/2" EXPANSION JOINTS W/ BACKER-RODS, (SIZE ACCORDING TO INDUSTRY STANDARDS), WITH DOW-CORNING TRO SILICONE SEALANT, (OR EQUAL), ARE TO BE USED WHEREVER WALLS AND/OR COLUMNS ARE JOINED, AND MAY BE USED WHERE WALLS STEP UP/DOWN.
- CONTRACTOR TO PROVIDE MATERIAL SAMPLES TO OWNER FOR APPROVAL.
- CONTRACTOR TO PROVIDE OWNER A 3' x 3' MASONRY SAMPLE WITH STONE, BRICK AND MORTAR FOR OWNER'S APPROVAL.
- ELECTRICAL & IRRIGATION CONTRACTORS TO COORDINATE LOCATION OF SERVICE CONNECTIONS, CONTROLLERS, BACKFLOW PREVENTER, ECT. WITH OWNER.
- CONTRACTOR TO ENSURE THAT ALL DRAWINGS MEET APPLICABLE STATE AND LOCAL CODES.
- CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO WORK COMMENCING.
- SURVEYOR TO CALCULATE COORDINATES AND STAKE THE LAYOUT OF THE PROJECT FOR THE SUB-CONTRACTOR.
- LIGHTING FIXTURES & LOCATION TO BE COORDINATED BY OWNER.

1 PLAYGROUND LAYOUT PLAN
 SCALE 1"= 10'-0"



OWNER / DEVELOPER:
131 ELM, L.L.C.
 8086 S. YALE AVE., #285
 TULSA, OKLAHOMA 74136
 PHONE: 918-698-7802



PROJECT INFORMATION

PROJECT ADDRESS:
 NEAREST INTERSECTION:
 E. 131 ST. S. AND S. PEORIA AVE.

PROJECT NO.	
DATE	9-23-25
DRAWN BY	CHECKED BY
JC	JC

GLENWOOD RIDGE
 JENKS, OK

ISSUE/ REVISIONS

9/18/25	100% SET
9/23/25	REVISED SET

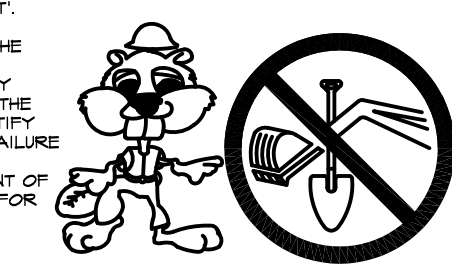
PLAYGROUND LAYOUT PLAN

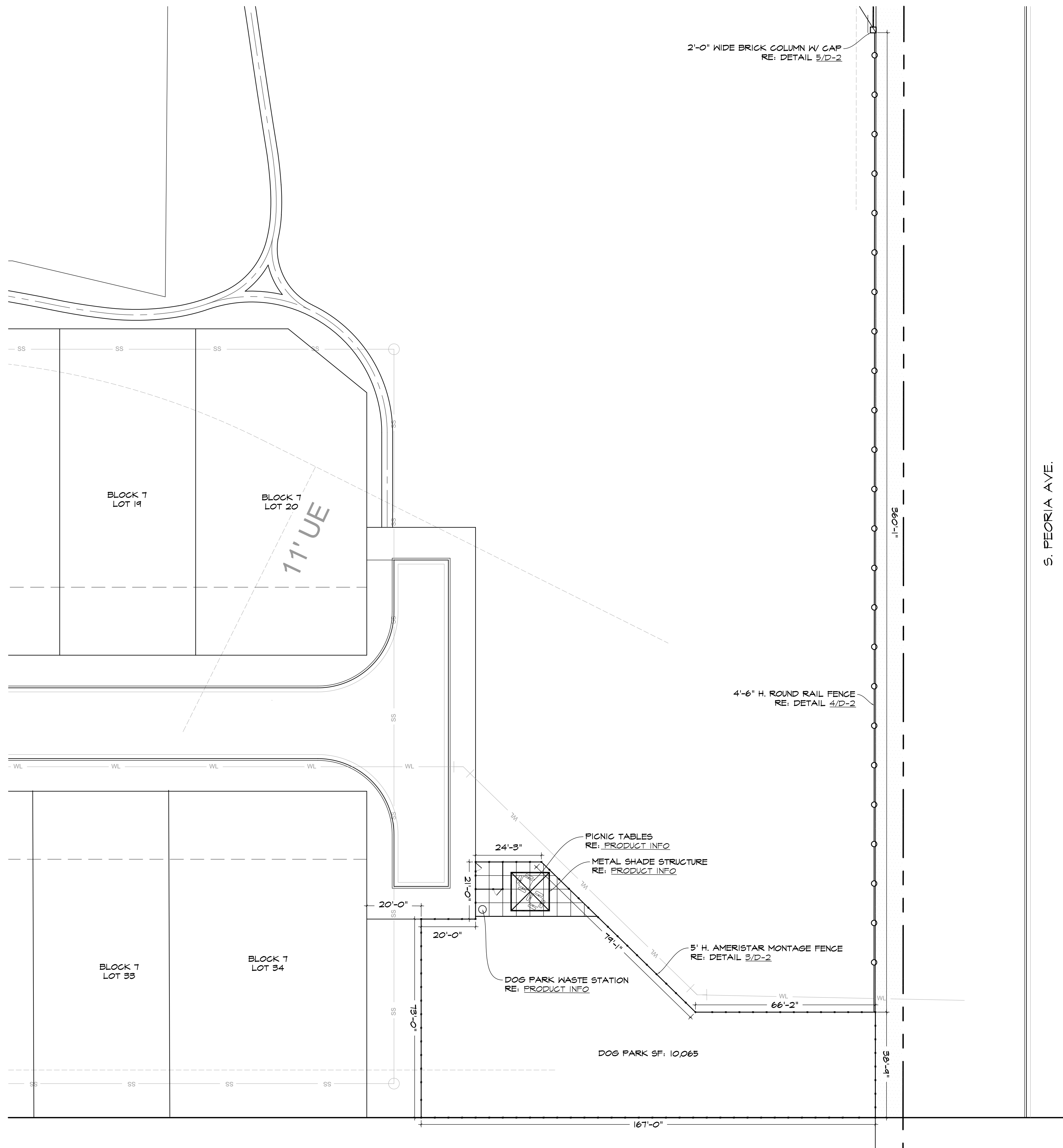
DUTY OF COOPERATION
 P.D.G., L.L.C. AND PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS "ARCHITECT". RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

COPYRIGHT NOTICE
 P.D.G., L.L.C. AND PLANNING DESIGN GROUP RESERVE THEIR COMMON-LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF P.D.G., L.L.C. NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

BASE INFORMATION
 ALL BASE INFORMATION INCLUDING EXISTING DRAINAGEWAYS, EXISTING CONTAINERS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY FRITZ LAND SURVEYING, L.L.C., TULSA, OK.

BEFORE YOU DIG ...
 1-800-522-6543
 CALL OKIE





GENERAL NOTES

1. REFER TO LAYOUT PLAN FOR LOCATION OF ALL WALLS AND COLUMNS.
2. TIE ALL COLUMN AND WALL FOOTINGS.
3. FINISH GRADE TO BE A MINIMUM OF 3" ABOVE TOP OF FOOTINGS.
4. FOR BRICK/STONE VENEER OVER FRAMED OR C.M.U., CONTRACTOR TO INSTALL MASONRY WALL TIES ON ALL WALLS @ 18" O.C. FOR STONE MASONRY AND @ 24" O.C. FOR BRICK MASONRY.
5. HOLD TOPS OF WALLS LEVEL-WHERE SLOPING SITES EXIST, CONTRACTOR IS TO SEEK LANDSCAPE ARCHITECT'S APPROVAL PRIOR TO STEPPING WALLS AND FOOTINGS.
6. WRITTEN DIMENSIONS HAVE PRIORITY OVER SCALED DIMENSIONS.
7. 1/2" EXPANSION JOINTS W/ BACKER-RODS, (SIZE ACCORDING TO INDUSTRY STANDARDS), WITH DOWN-CORNING 790 SILICONE SEALANT, (OR EQUAL), ARE TO BE USED WHEREVER WALLS AND/OR COLUMNS ARE JOINED, AND MAY BE USED WHERE WALLS STEP UP/DOWN.
8. CONTRACTOR TO PROVIDE MATERIAL SAMPLES TO OWNER FOR APPROVAL.
9. CONTRACTOR TO PROVIDE OWNER A 3' x 3' MASONRY SAMPLE WITH STONE, BRICK AND MORTAR FOR OWNER'S APPROVAL.
10. ELECTRICAL & IRRIGATION CONTRACTORS TO COORDINATE LOCATION OF SERVICE CONNECTIONS, CONTROLLERS, BACKFLOW PREVENTER, ECT. WITH OWNER.
11. CONTRACTOR TO ENSURE THAT ALL DRAWINGS MEET APPLICABLE STATE AND LOCAL CODES.
12. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO WORK COMMENCING.
13. SURVEYOR TO CALCULATE COORDINATES AND STAKE THE LAYOUT OF THE PROJECT FOR THE SUB-CONTRACTOR.
14. LIGHTING FIXTURES & LOCATION TO BE COORDINATED BY OWNER.

LAYOUT NOTES

1. LANDSCAPE ARCHITECT OR OWNER TO APPROVE FINAL LAYOUT OF ENTRY FEATURES.
2. CONTRACTOR TO GAIN APPROVAL OF OWNER OR LANDSCAPE ARCHITECT BEFORE ANY DIGGING TAKES PLACE.
3. REFER TO PROJECT DETAILS FOR SPECIFICATIONS, MATERIALS, AND CONSTRUCTION DETAILS.
4. ASSUME ALL DIMENSIONS TO BE GIVEN AT THE RIGHT ANGLES UNLESS OTHERWISE NOTED ON PLAN.
5. SURVEYOR TO CALCULATE COORDINATES AND STAKE THE LAYOUT OF THE PROJECT FOR THE SUB-CONTRACTOR.
6. ALL DIMENSIONS GIVEN ARE HORIZONTAL.

SHADE STRUCTURE NOTES

1. CONTRACTOR SHALL SUBMIT SHOP DRAWINGS OF THE SHADE STRUCTURES, INCLUDING STRUCTURAL PLANS FOR STEEL COMPONENTS AND REINFORCED CONCRETE FOOTINGS. THESE DRAWINGS MUST BE SIGNED BY A LICENSED AND REGISTERED OKLAHOMA ENGINEER.
2. SHADE STRUCTURES MUST MEET ALL APPLICABLE IBC CODES.
3. STEEL COMPONENTS TO BE POWDER COATED PAINT SYSTEM WITH A UV INHIBITED WEATHER RESISTANT COATING.
4. ALL COLORS FOR STRUCTURE TO BE SELECTED DURING THE SUBMITTAL PROCESS.
5. NO EXPOSED BASE PLATE ON SHADE STRUCTURE POSTS, BASE PLATE IS TO HAVE A MINIMUM OF 4" CONCRETE COVER IF BASE PLATE MOUNTING METHOD IS USED.

PRODUCT INFO

METAL SHADE STRUCTURE
-14' SINGLE POST FABRIC SHADE STRUCTURE
MANUFACTURED BY USA SHADE OR APPROVED EQUAL
2580 ESTERS BLVD #100, DFW AIRPORT, TX 75261
PH: (214) 905-4500
WEB: WWW.USA-SHADE.COM

PICNIC TABLES
-(1) 46" METAL PICNIC TABLE
-(1) 46" ADA METAL PICNIC TABLE

DOG PARK WASTE STATION
-(1) BARK PARK PICK UP STATION
MODEL NO. BARK-4TS NATURAL
MANUFACTURED BY BARKPARK OR APPROVED EQUAL
PH: (800) 458-5872
WEB: WWW.DOGPARKPRODUCT.COM

LOCAL CONTACT:
KELLI COLLINS
HAPPY PLAYGROUNDS
8601 SOUTH OXFORD AVENUE
TULSA, OK 74127-3140
PH: (918) 851-4518
EMAIL: KELLI.COLLINS@HAPPYPLAYGROUNDS.COM

DUTY OF COOPERATION
P.D.G. LLC, 888 PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS 'ARCHITECT'. RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERATIVE AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

COPYRIGHT NOTICE
P.D.G. LLC, 888 PLANNING DESIGN GROUP RESERVE THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF P.D.G. LLC, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

BASE INFORMATION
ALL BASE INFORMATION INCLUDING EXISTING DRAINAGE HAYS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY FRITZ LAND SURVEYING, LLC., TULSA, OK.



BEFORE YOU DIG ...
1-800-522-6543
CALL OKIE

PDG
PLANNING DESIGN GROUP
LANDSCAPE ARCHITECTURE • LAND PLANNING
RECREATIONAL DESIGN • LAND PLANNING
5314 S. YALE AVE., SUITE 510, TULSA, OK 74136
918.698.1255 918.628.1258 FAX
WWW.PLANNINGDESIGNGROUP.COM

OWNER / DEVELOPER:

131 ELM, LLC.
8086 S. YALE AVE., #285
TULSA, OKLAHOMA 74136
PHONE: 918-698-7802

9-18-25

JAMES C. CROSBY, ASLA
LANDSCAPE ARCHITECT OF RECORD

PROJECT INFORMATION

PROJECT ADDRESS:
NEAREST INTERSECTION:
E. 131 ST. S. AND S. PEORIA AVE.

PROJECT NO.	
DATE	9-23-25
DRAWN BY	CHECKED BY
JC	JC

GLENWOOD RIDGE
JENKS, OK

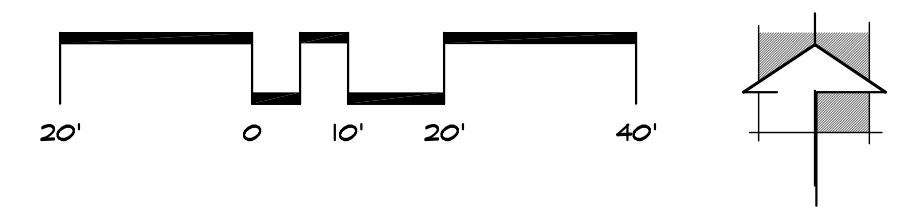
ISSUE/ REVISIONS

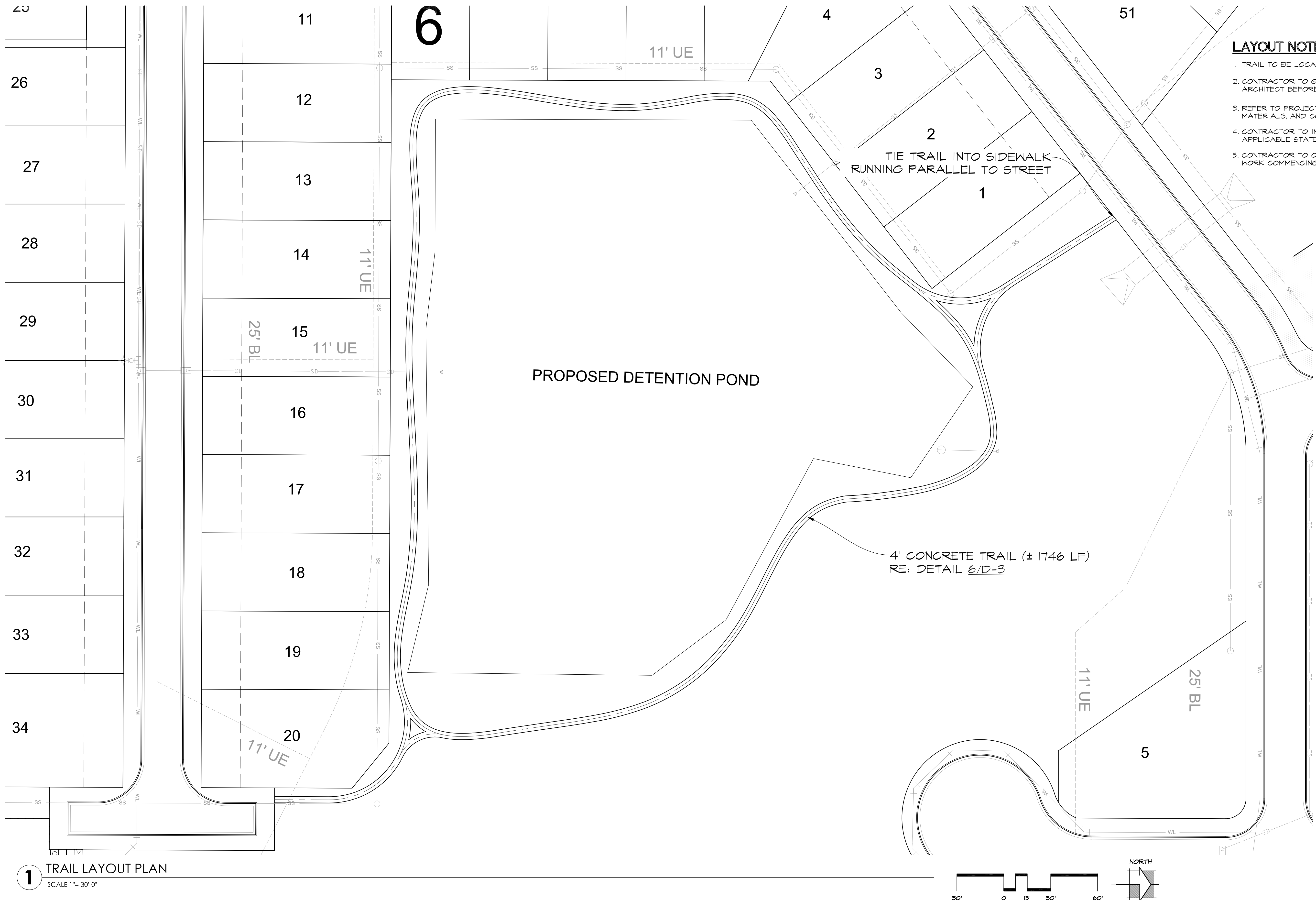
9/18/25	100% SET
9/23/25	REVISED SET

DOG PARK LAYOUT PLAN

L-4

1 DOG PARK LAYOUT PLAN
SCALE 1"= 20'-0"





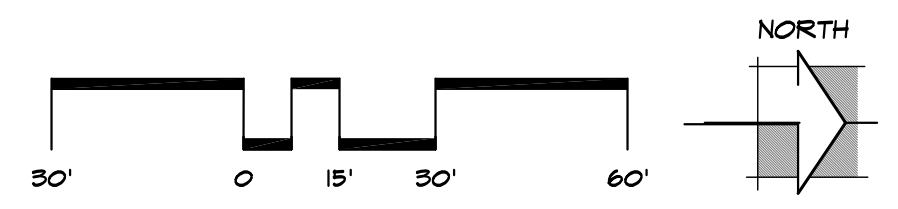
LAYOUT NOTES

1. TRAIL TO BE LOCATED IN FIELD.
2. CONTRACTOR TO GAIN APPROVAL OF OWNER OR LANDSCAPE ARCHITECT BEFORE ANY DIGGING TAKES PLACE.
3. REFER TO PROJECT DETAILS FOR SPECIFICATIONS, MATERIALS, AND CONSTRUCTION DETAILS.
4. CONTRACTOR TO INSURE THAT ALL DRAWINGS MEET APPLICABLE STATE AND LOCAL CODES.
5. CONTRACTOR TO OBTAIN ALL NECESSARY PERMITS PRIOR TO WORK COMMENCING.

PROPOSED DETENTION POND

4' CONCRETE TRAIL (± 1746 LF)
RE: DETAIL 6/D-3

1 TRAIL LAYOUT PLAN
SCALE 1" = 30'-0"



PDG
PLANNING DESIGN GROUP
LANDSCAPE ARCHITECTURE • LAND PLANNING
RECREATIONAL DESIGN • LAND SURVEYING
5314 S. YALE AVE., SUITE 510, TULSA, OK 74135
918-698-1255 • 918-628-1258 FAX
WWW.PLANNINGDESIGNGROUP.COM

OWNER / DEVELOPER:

131 ELM, LLC.
8086 S. YALE AVE., #285
TULSA, OKLAHOMA 74136
PHONE: 918-698-7802

9-18-25

JAMES C. CROSBY, ASLA
LANDSCAPE ARCHITECT OF RECORD

PROJECT INFORMATION

PROJECT ADDRESS: _____

NEAREST INTERSECTION:
E. 131 ST. S. AND S. PEORIA AVE.

PROJECT NO.	_____
DATE	9-23-25
DRAWN BY	JC
CHECKED BY	JC

GLENWOOD RIDGE
JENKS, OK

ISSUE/ REVISIONS

9/18/25	100% SET
9/23/25	REVISED SET

TRAIL LAYOUT PLAN

DUTY OF COOPERATION
P.D.G., LLC, 888 PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS "ARCHITECT". RELEASE OF THESE PLANS CONTINGENT UPON FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

COPYRIGHT NOTICE
P.D.G., LLC, 888 PLANNING DESIGN GROUP RESERVE THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF P.D.G., LLC, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

BASE INFORMATION
ALL BASE INFORMATION INCLUDING EXISTING DRAINAGE PATHS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY FRITZ LAND SURVEYING, LLC., TULSA, OK.

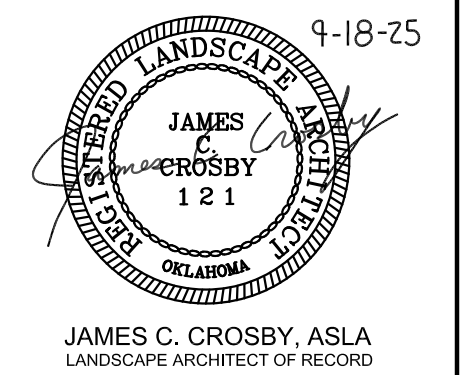


BEFORE YOU DIG ...
1-800-522-6543
CALL OKIE

L-5

OWNER / DEVELOPER:

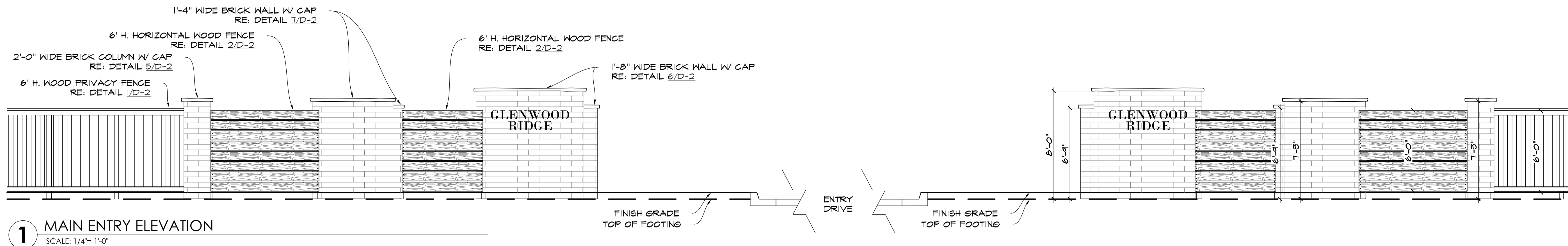
131 ELM, LLC.
 8086 S. YALE AVE., #285
 TULSA, OKLAHOMA 74136
 PHONE: 918-698-7802



PROJECT INFORMATION

PROJECT ADDRESS:
 NEAREST INTERSECTION:
 E. 131 ST. S. AND S. PEORIA AVE.

PROJECT NO.	
DATE	9-23-25
DRAWN BY	CHECKED BY
JC	JC



1 MAIN ENTRY ELEVATION
 SCALE: 1/4"= 1'-0"



2 SECONDARY ENTRY ELEVATION
 SCALE: 1/4"= 1'-0"

GLENWOOD RIDGE
 JENKS, OK

ISSUE/ REVISIONS

9/18/25	100% SET
9/23/25	REVISED SET

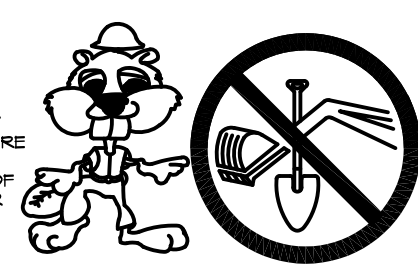
ENTRY ELEVATIONS

D-1

DUTY OF COOPERATION
 P.D.G. LLC, 2800 PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS "ARCHITECT". RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COMPROMISATION IS INHERENT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

COPYRIGHT NOTICE
 P.D.G. LLC, 2800 PLANNING DESIGN GROUP RESERVE THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF P.D.G. LLC, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

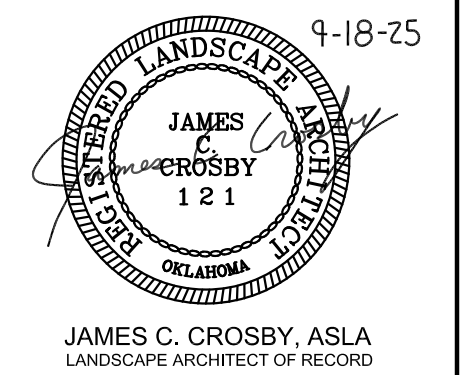
BASE INFORMATION
 ALL BASE INFORMATION INCLUDING EXISTING DRAINAGE PATHS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY FRITZ LAND SURVEYING, LLC., TULSA, OK.



BEFORE YOU DIG ...
 1-800-522-6543
 CALL OKIE

OWNER / DEVELOPER:

131 ELM, LLC.
 8086 S. YALE AVE., #285
 TULSA, OKLAHOMA 74136
 PHONE: 918-698-7802



PROJECT INFORMATION

PROJECT ADDRESS:

NEAREST INTERSECTION:
 E. 131 ST. S. AND S. PEORIA AVE.

PROJECT NO.	
DATE	9-23-25
DRAWN BY	CHECKED BY
JC	JC

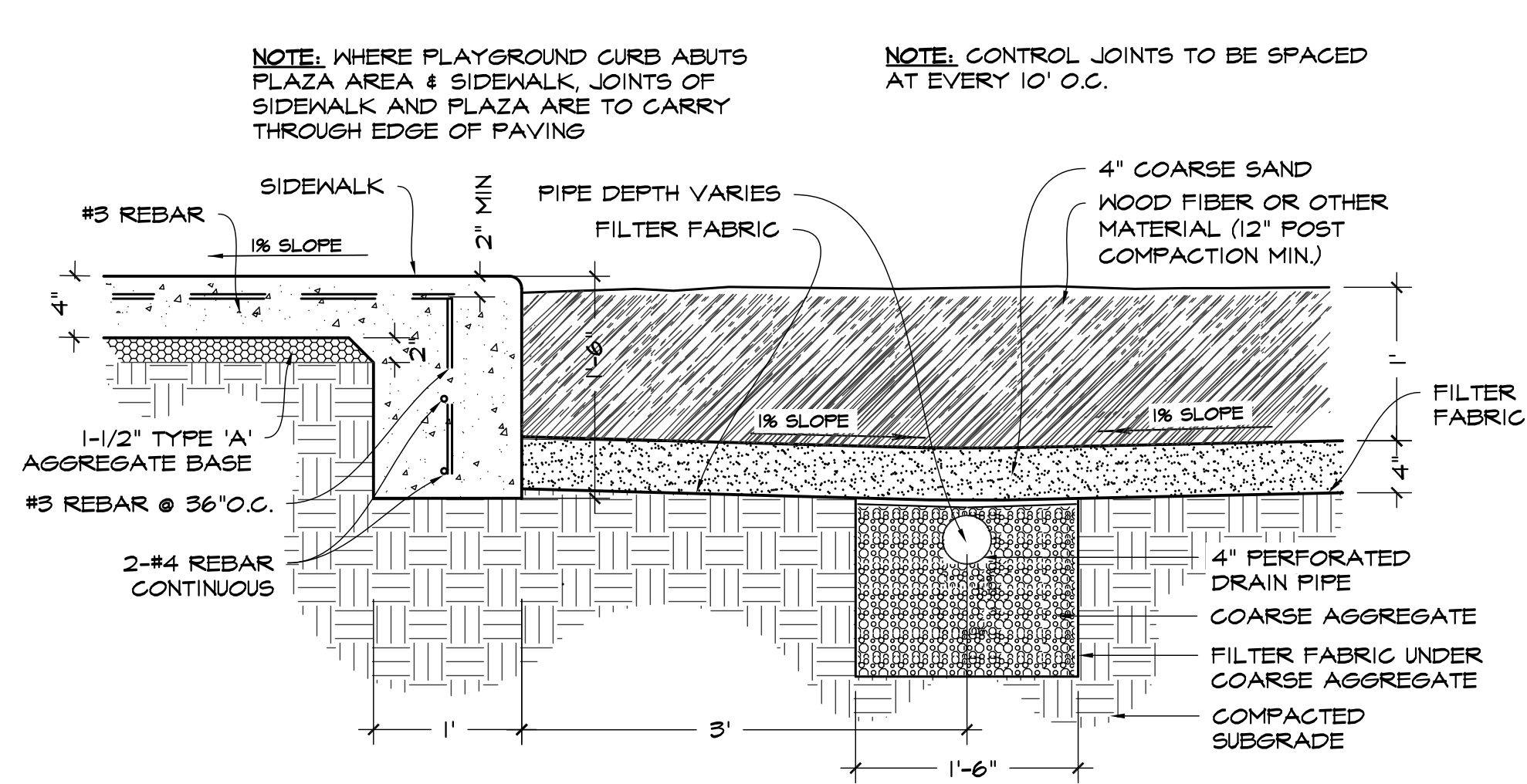
GLENWOOD RIDGE
 JENKS, OK

ISSUE/ REVISIONS

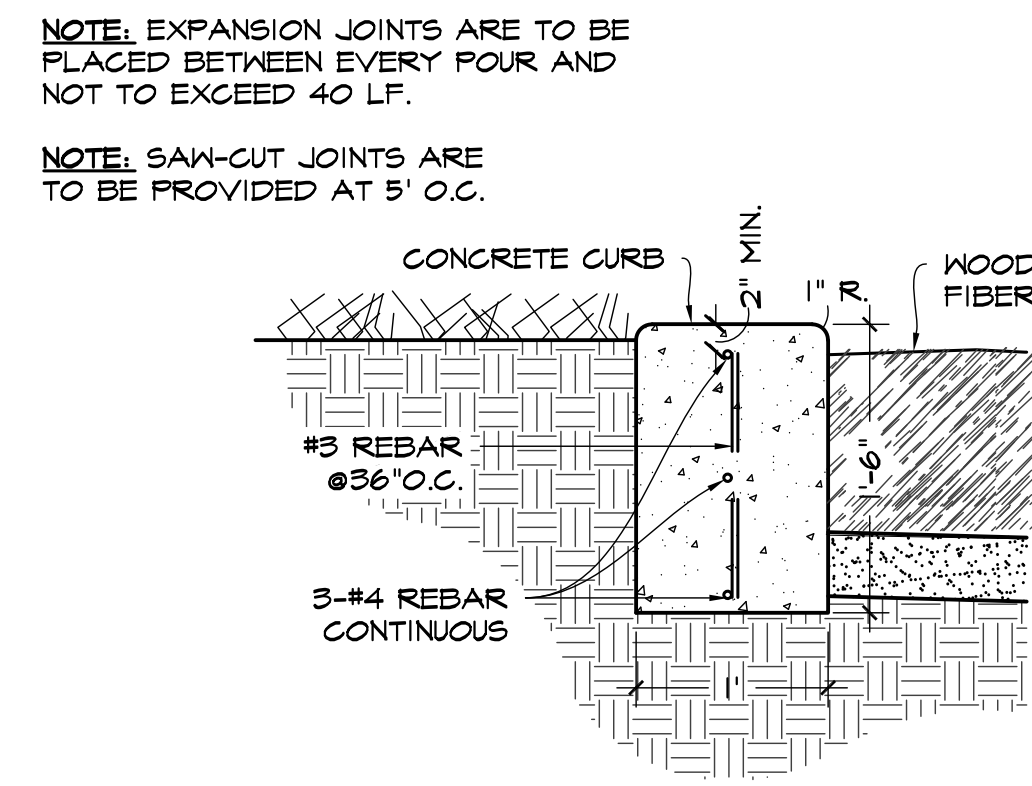
9/18/25	100% SET
9/23/25	REVISED SET

PLAYGROUND
 DETAILS

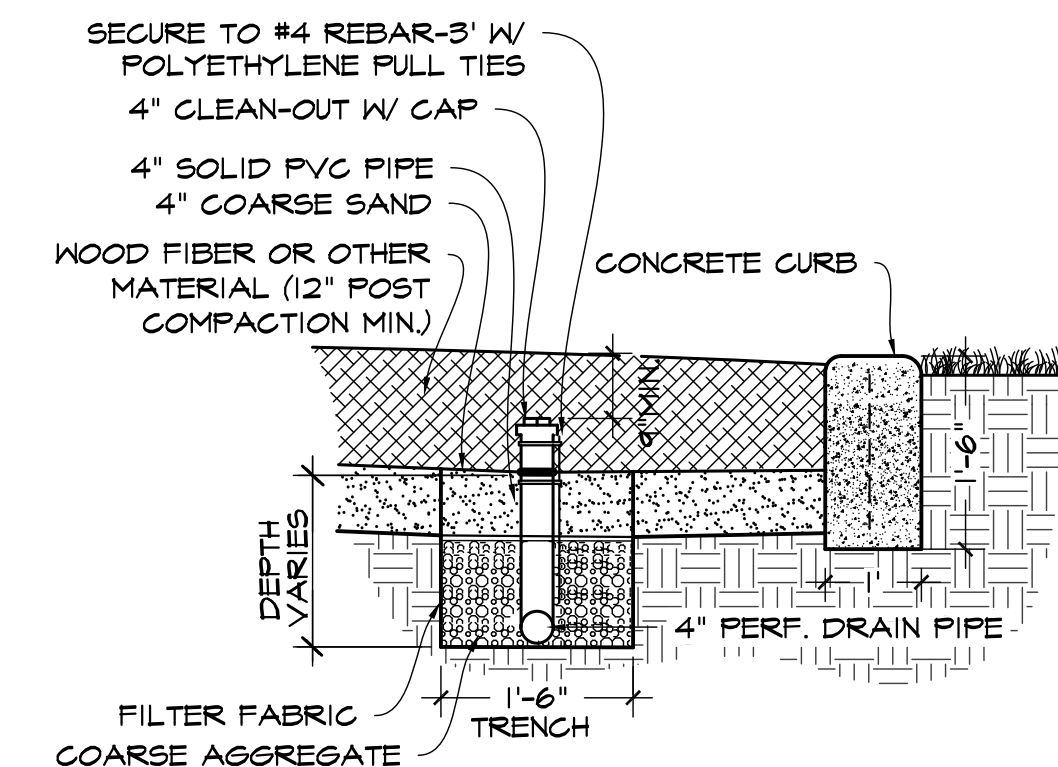
D-3



1 PLAYGROUND CURB AT SIDEWALK - SECTION
 SCALE: 1"= 1'-0"

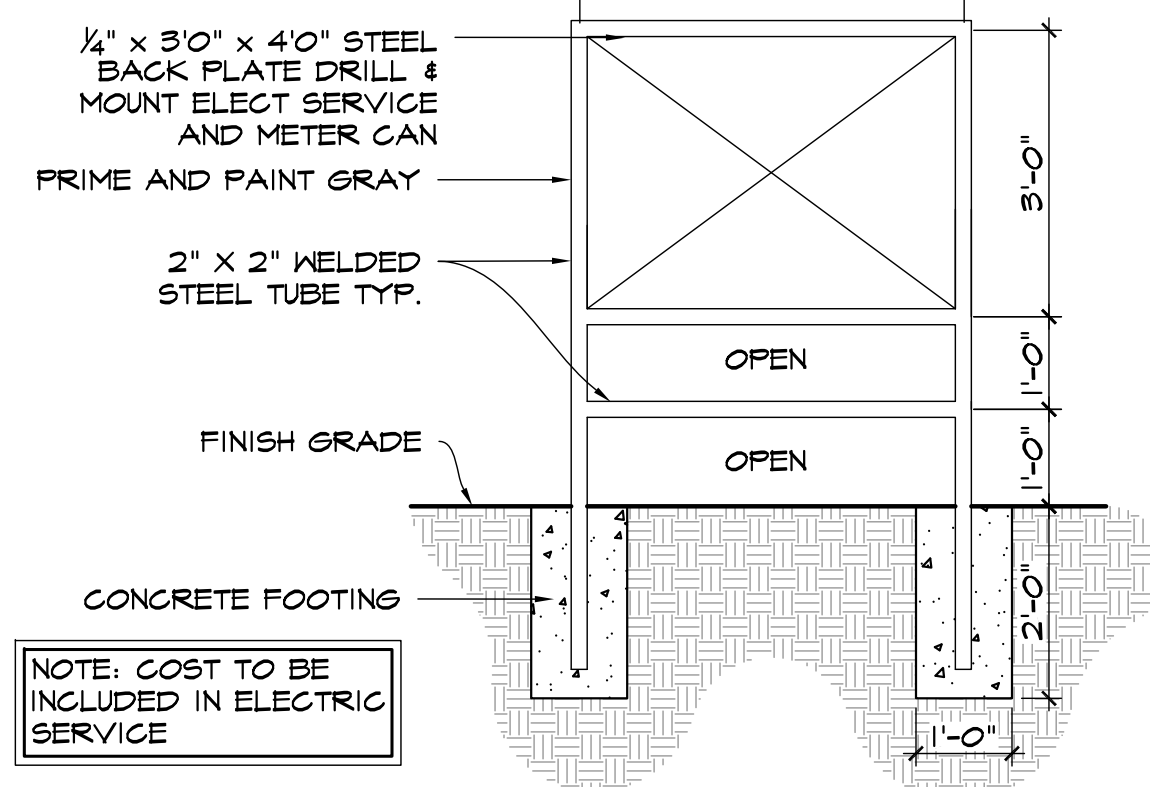


2 PLAYGROUND CURB ABUTTING SOD - SECTION
 SCALE: 1"= 1'-0"

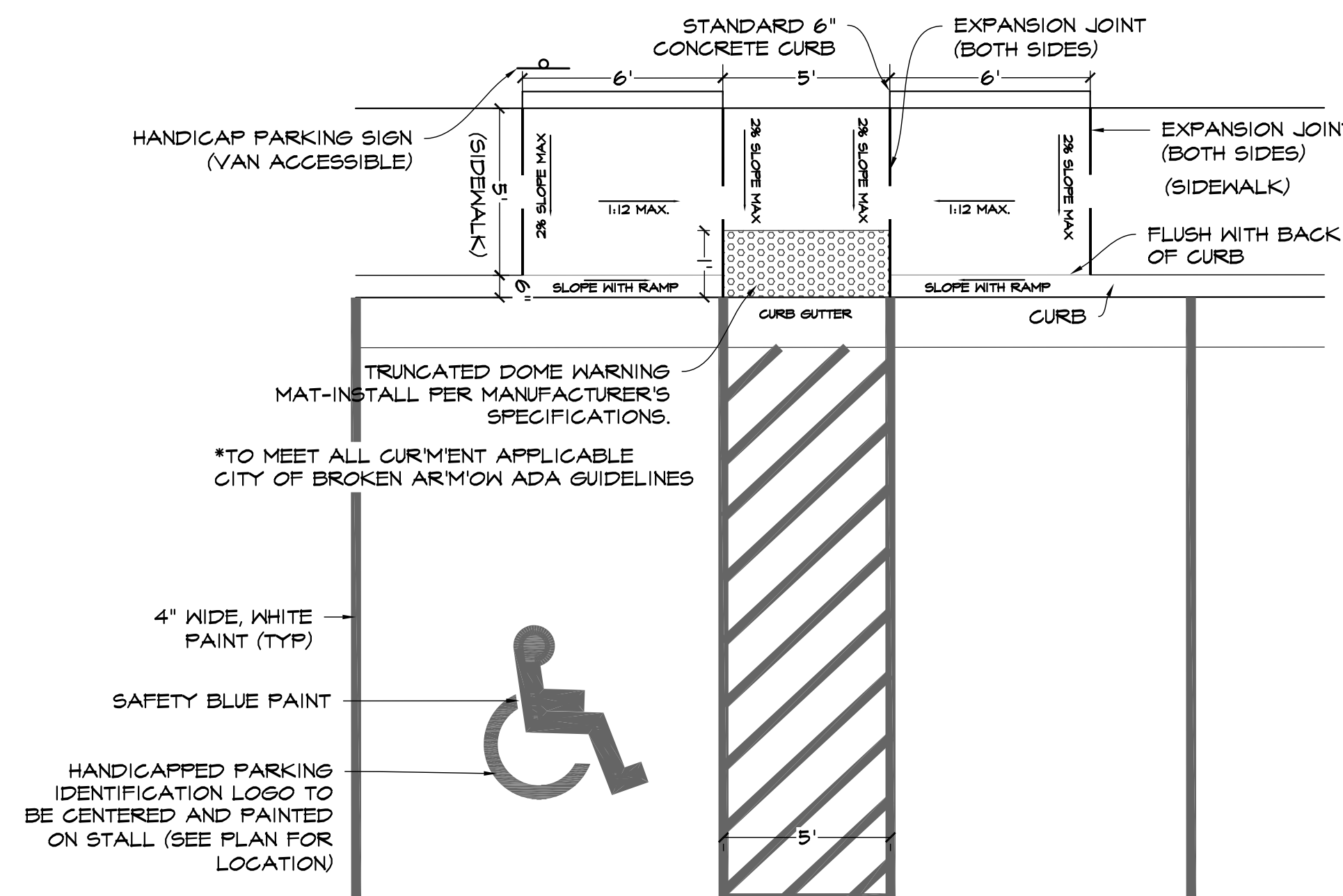


3 PLAYGROUND DRAINAGE - SECTION
 SCALE: 1/2"= 1'-0"

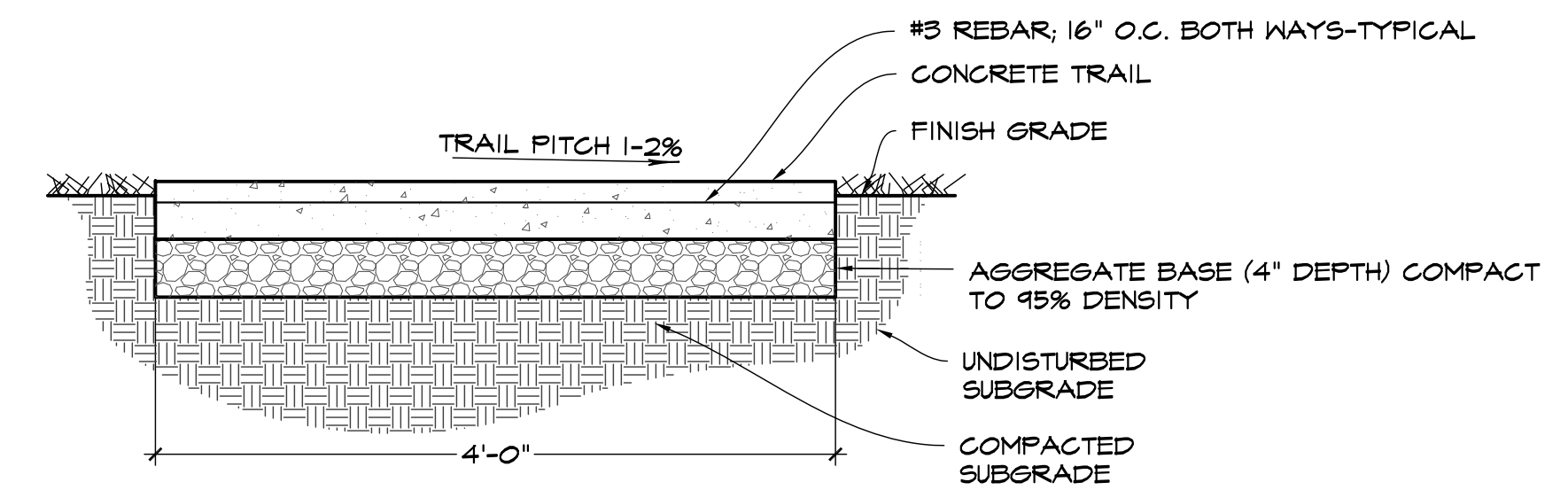
*** NOTE: DETAIL ONLY IF ELECTRIC IS REQUIRED AT PLAYGROUND.



4 ELECTRIC RACK - ELEVATION VIEW
 NOT TO SCALE



5 UNIVERSAL HANDICAP PARKING RAMP - PLAN VIEW
 SCALE: 1/4"= 1'-0"



6 TRAIL DETAIL - SECTION VIEW
 SCALE: 1/2"= 1'-0"

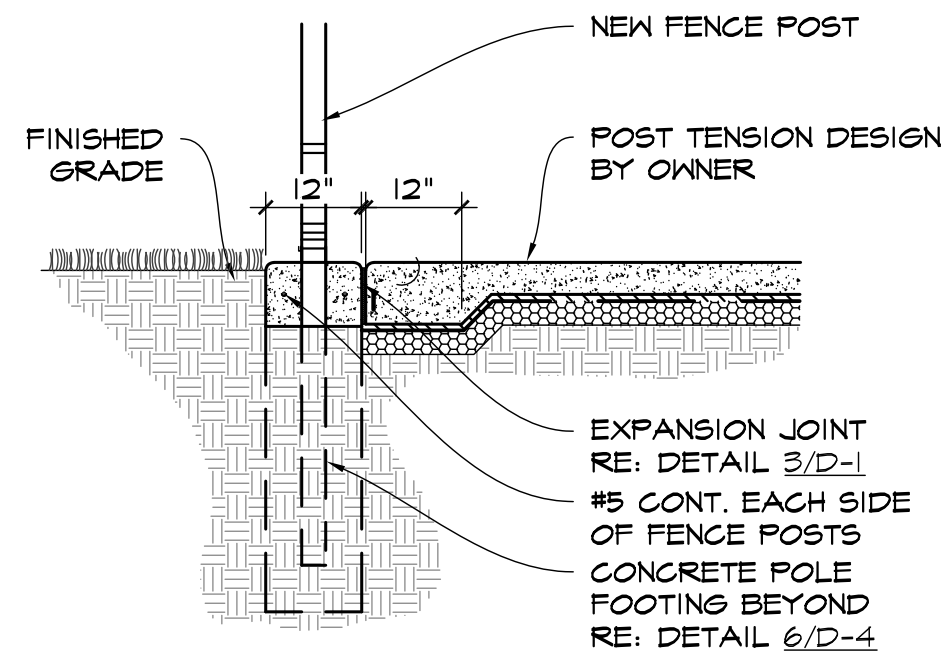
DUTY OF COOPERATION
 P.D.G. LLC, 888 PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS 'ARCHITECT'. RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT OF SUCH DISCREPANCIES AND INCREASED CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

COPYRIGHT NOTICE
 P.D.G. LLC, 888 PLANNING DESIGN GROUP RESERVE THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF P.D.G. LLC. WORK ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

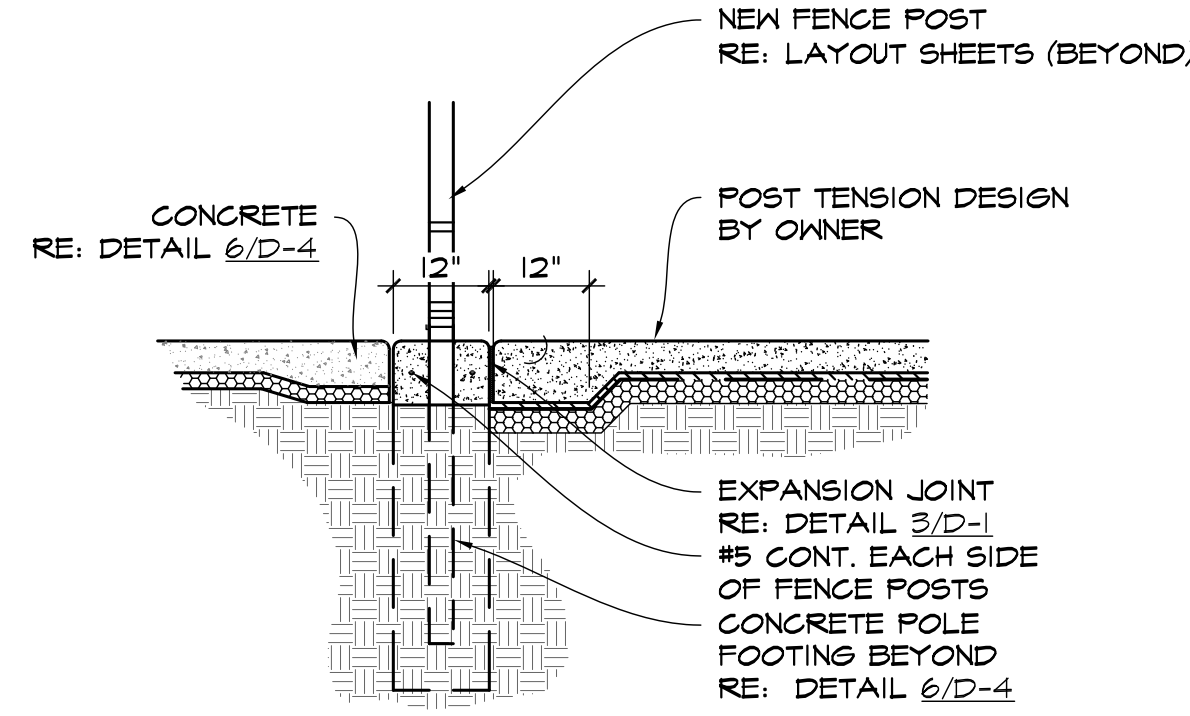
BASE INFORMATION
 ALL BASE INFORMATION INCLUDING EXISTING DRAINAGEWAYS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY FRITZ LAND SURVEYING, LLC., TULSA, OK.



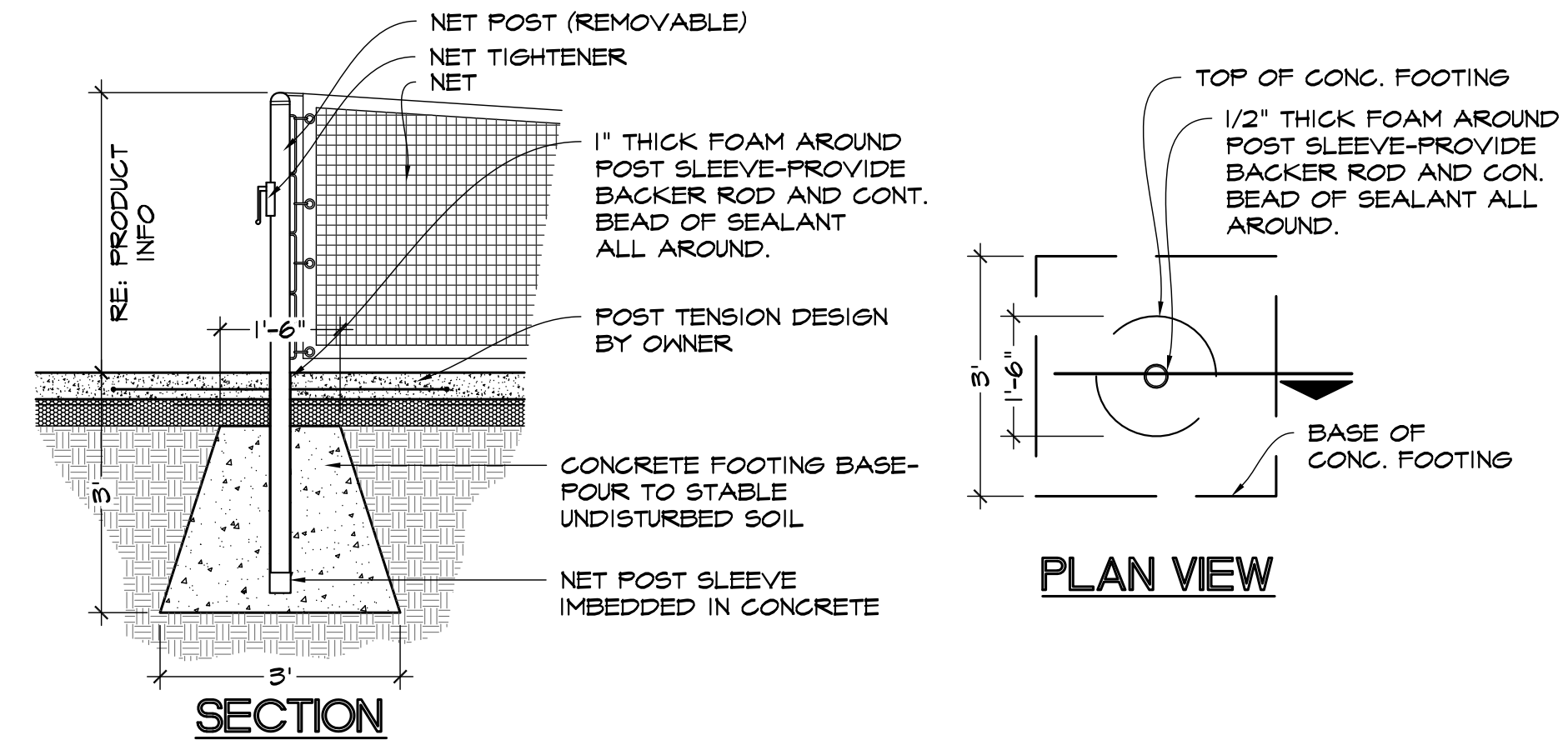
BEFORE YOU DIG ...
 1-800-522-6543
 CALL OKIE



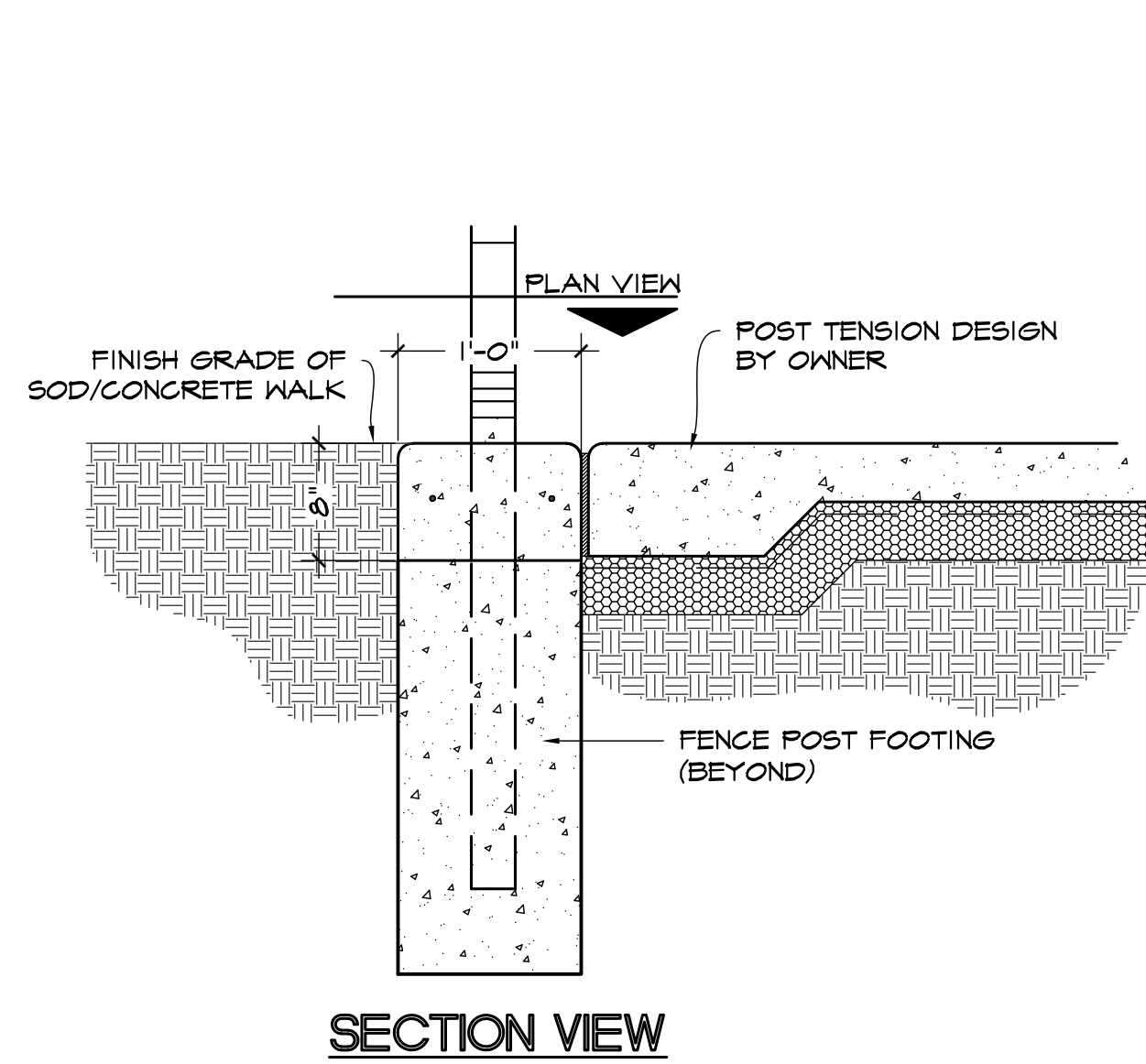
1 PICKLEBALL SLAB @ GRASS - DETAIL



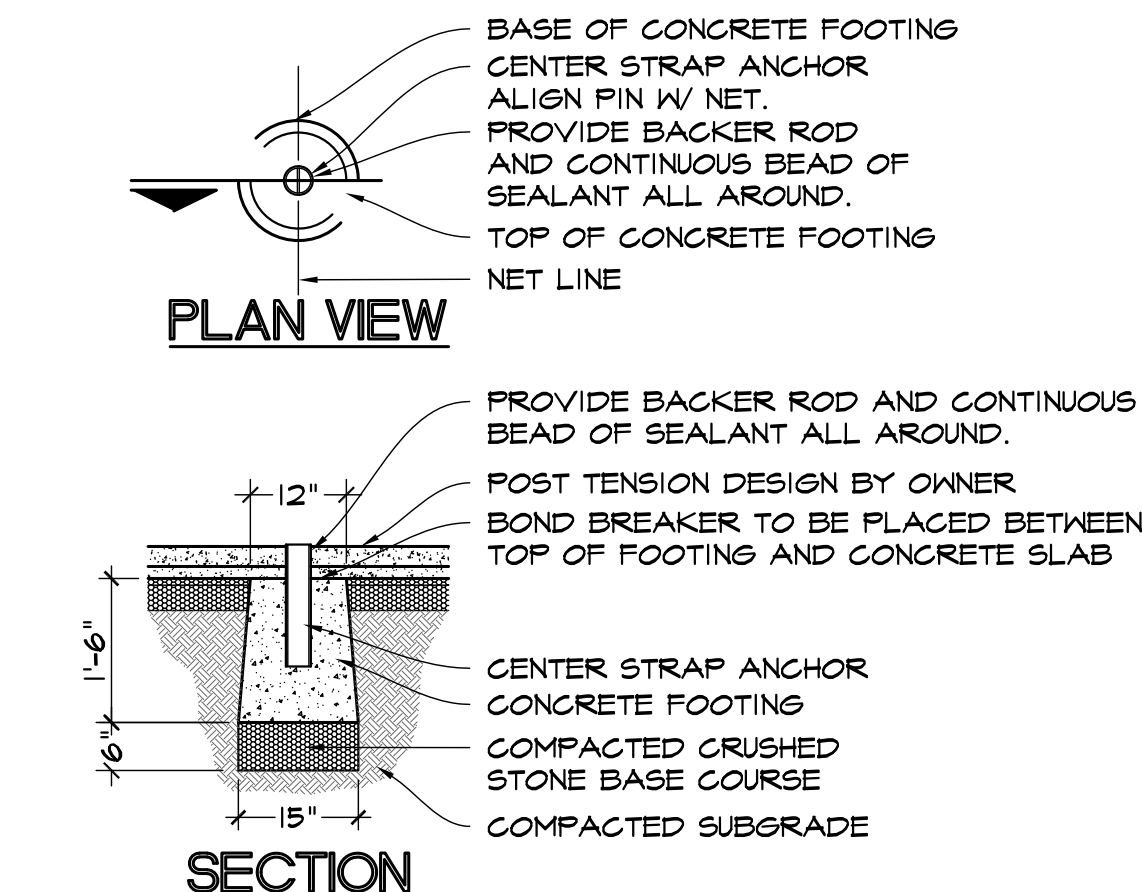
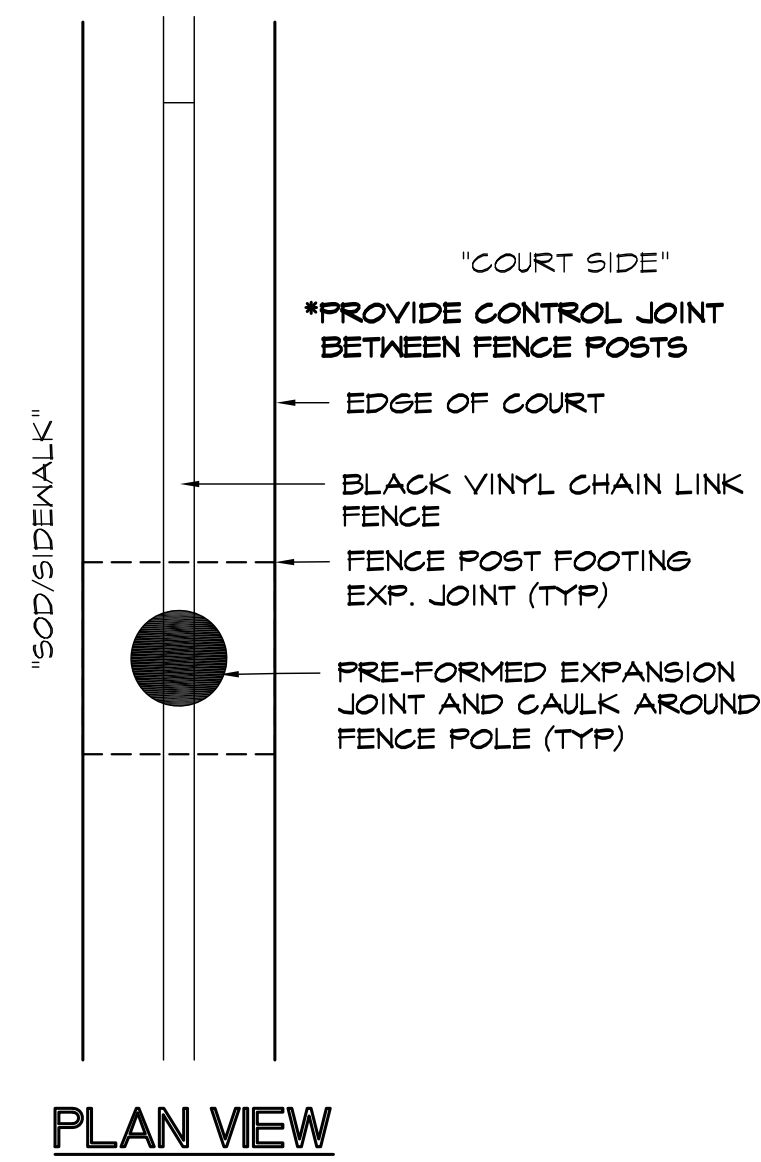
2 POST TENSION SLAB @ CONC. - DETAIL



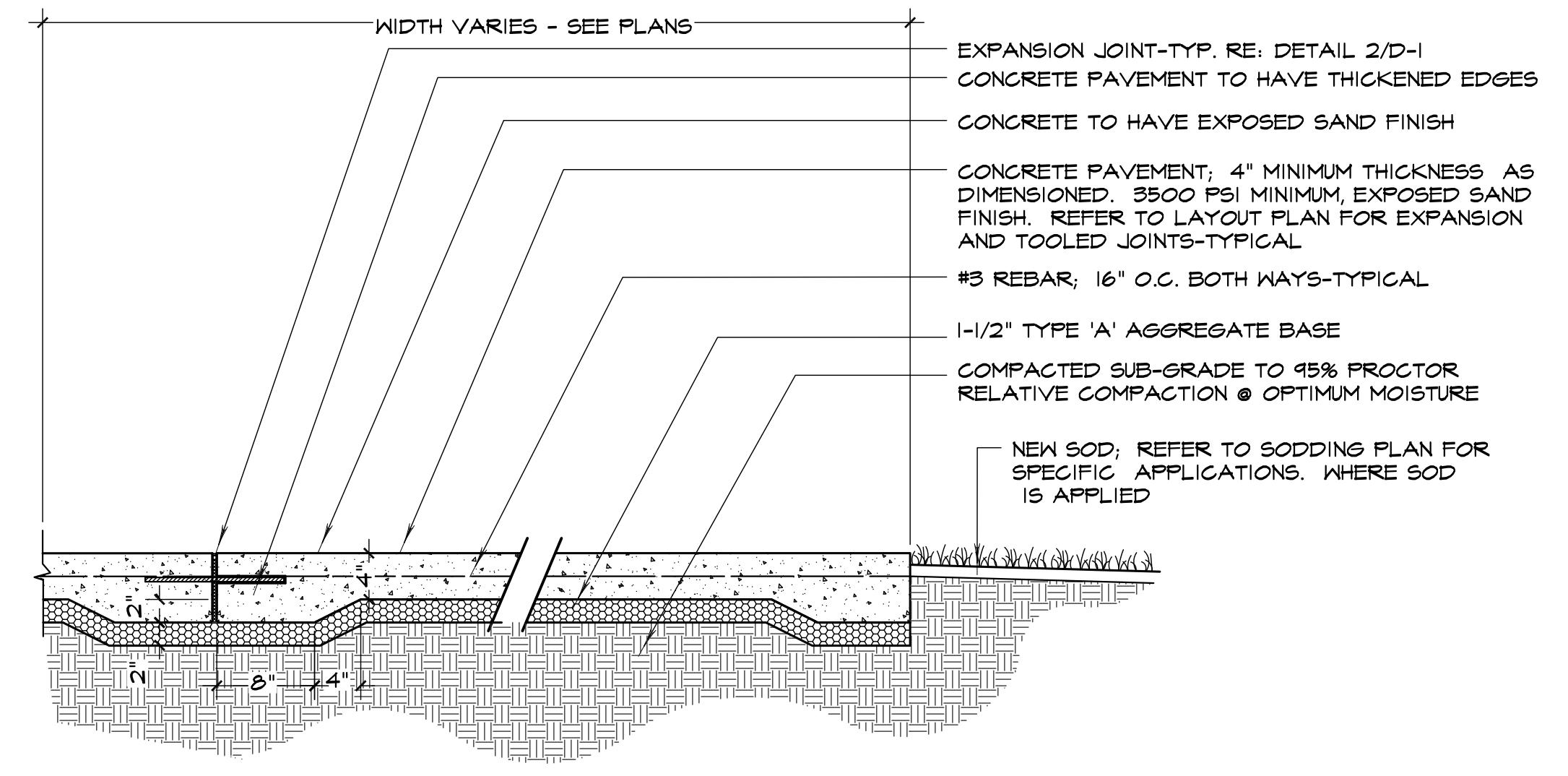
3 PICKLEBALL NET POST (TYP) - DETAILS



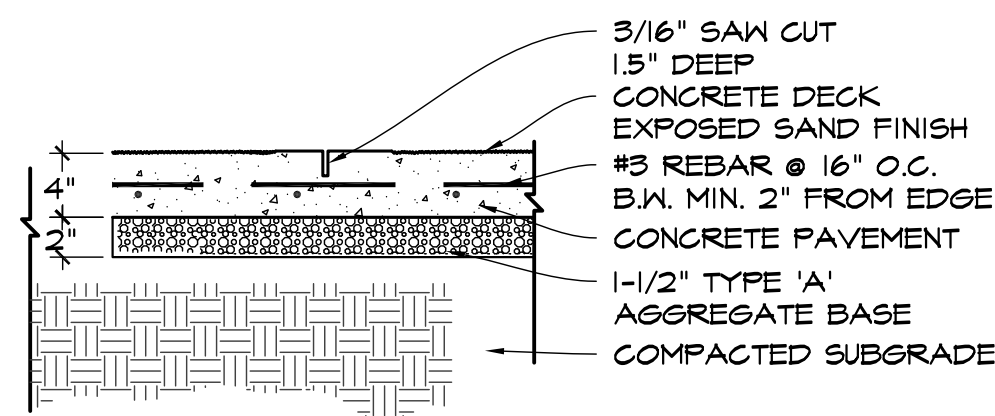
4 1'W. CONCRETE FENCE BAND - DETAILS



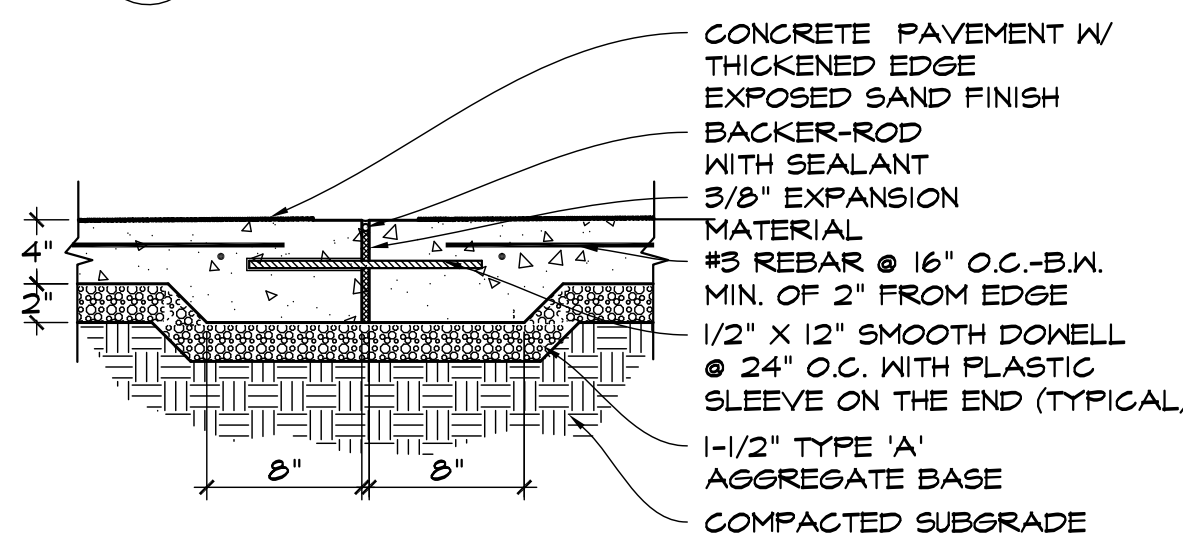
5 PICKLEBALL NET GROUND ANCHOR (TYP)



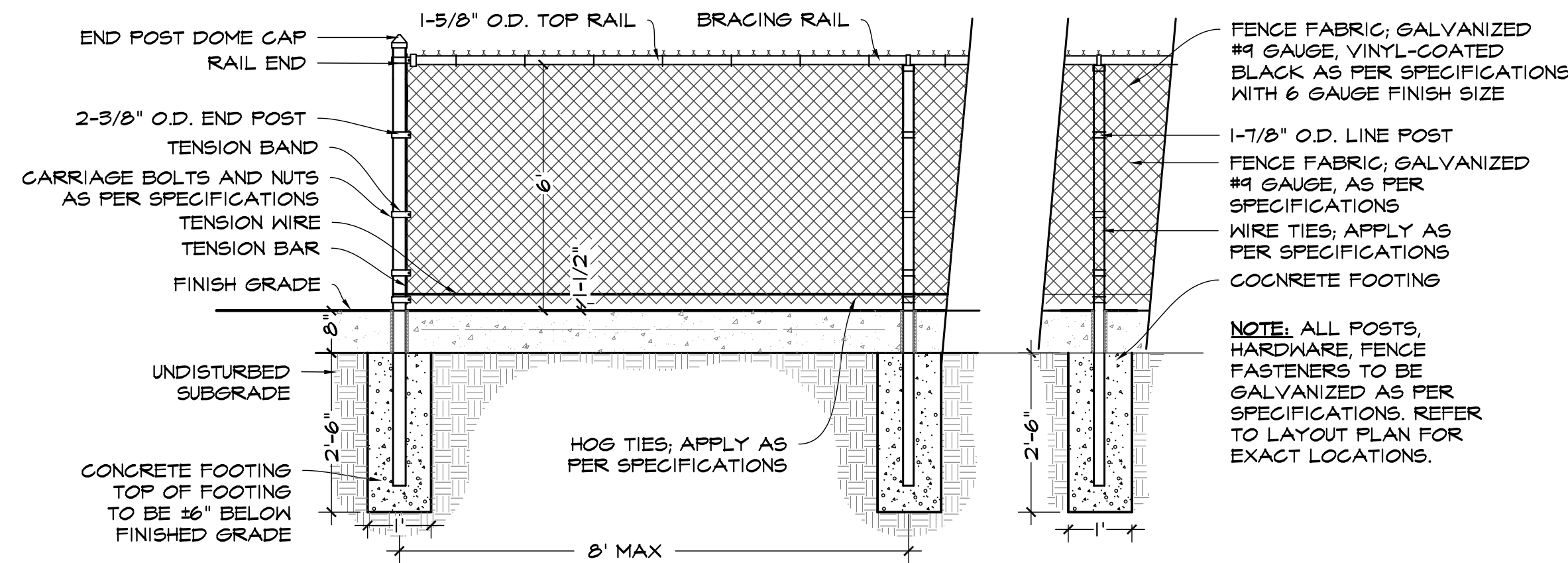
6 SIDEWALK AND PLAZA CONCRETE PAVING - SECTION



7 CONC. CONTROL JOINT - SECTION



8 EXPANSION JOINT - SECTION

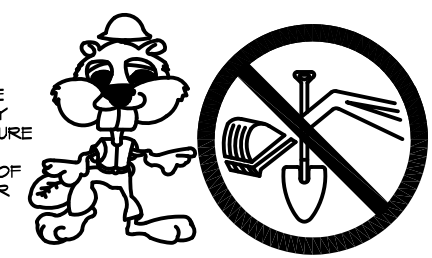


9 6'-0" HT. BLACK VINYL CHAINLINK FENCE

DUTY OF COOPERATION
 P.D.G. LLC, 888 PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS 'ARCHITECT'. RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT OF SUCH DISCREPANCIES OR MISUNDERSTANDINGS AND INCREASED CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

COPYRIGHT NOTICE
 P.D.G. LLC, 888 PLANNING DESIGN GROUP RESERVE THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF P.D.G. LLC, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

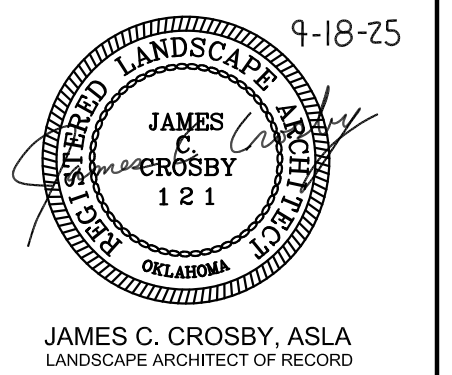
BASE INFORMATION
 ALL BASE INFORMATION INCLUDING EXISTING DRAINAGEWAYS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY FRITZ LAND SURVEYING, LLC, TULSA, OK.



BEFORE YOU DIG ...
 1-800-522-6543
 CALL OKIE

OWNER / DEVELOPER:

131 ELM, LLC.
 8086 S. YALE AVE., #285
 TULSA, OKLAHOMA 74136
 PHONE: 918-698-7802



PROJECT INFORMATION

PROJECT ADDRESS:

NEAREST INTERSECTION:
 E. 131 ST. S. AND S. PEORIA AVE.

PROJECT NO.

DATE 9-23-25

DRAWN BY CHECKED BY

JC JC

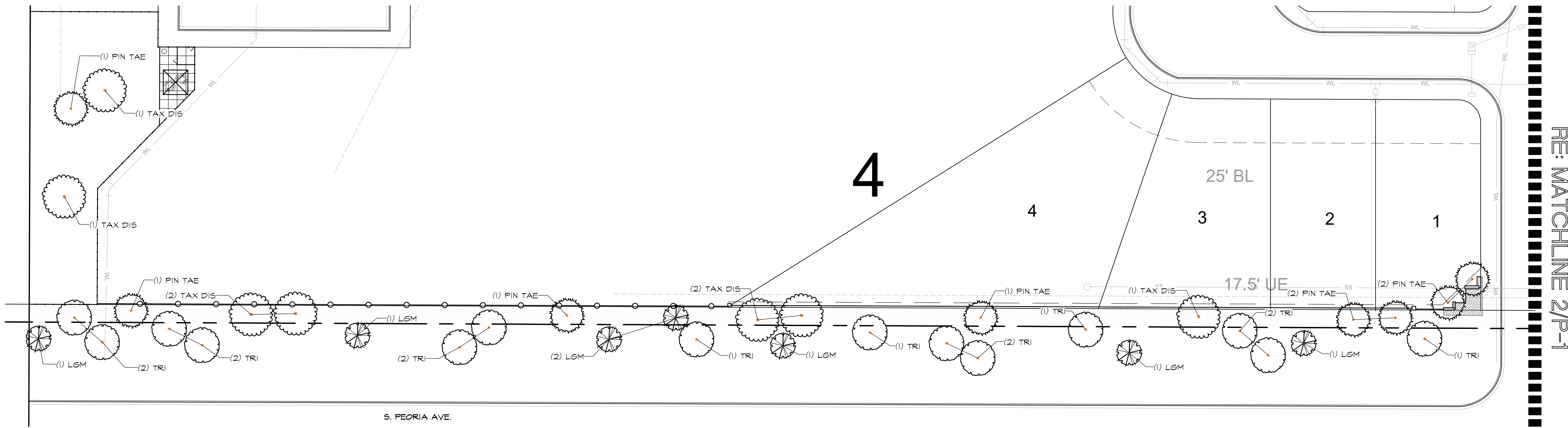
GLENWOOD RIDGE
 JENKS, OK

ISSUE/REVISIONS

9/18/25	100% SET
9/23/25	REVISED SET

PICKLEBALL
 DETAILS

D-4



1 S. PEORIA AVE. TREE PLAN
SCALE 1"= 30'-0"

PLANTING NOTES

- STAKE ALL TREE LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO DIGGING TREE PITS. REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. IF BERMUDA GRASS IS PRESENT, IT SHALL BE ERADICATED BY APPROVED MEANS.
- SHALL BE ERADICATED BY APPROVED MEANS. STEEL EDGING SHALL BE 3/4" X 4" STEEL LANDSCAPE EDGING WITH STEEL STAKES AS MANUFACTURED BY JOSEPH RYERSON, DALLAS, TEXAS. EDGING AROUND RESIDENTIAL UNITS TO BE SHOVEL CUT, SMOOTH FLOWING LINES AS INDICATED ON PLAN.
- ALL TREES SHALL BE PLANTED AT LEAST 5' FROM BUILT STRUCTURES AND SIDEWALKS. ALL VEGETATION MUST BE PLANTED IN SUCH A MANNER THAT SIGHT DISTANCE TRIANGLES ARE NOT OBSTRUCTED.
- SPREAD AN EVEN THREE INCHES (3") LAYER OF MULCH OVER THE ENTIRE PLANTING BED AND WITHIN ALL TREE WELLS. ON ALL TREES THE TOP SIX INCHES (6") OF BACKFILL SHALL CONSIST OF A 1:1 MIXTURE OF COMPOST TO SOIL. AROUND ALL TREES FORM A CIRCULAR RING FREE OF VEGETATION. CIRCLE SHALL BE TRUE IN FORM AND CENTERED ON TREE.
- ALL TREES SHALL BE STAKED WITH TWO (2) GREEN METAL SPLIT TEE FENCE POSTS AND TIED WITH WIRE THROUGH THE HOSE AS PER DETAIL.
- APPLY OSMOCOTE AT A RATE OF 1/2 POUND PER TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTING BEDS.

SODDING NOTES

- REFER TO PROJECT MANUAL FOR FURTHER SPECIFICATIONS.
- FINE GRADE LAWN AREAS TO SMOOTH, EVEN SURFACE WITH A LOOSE, UNIFORM FINE TEXTURE. FLOAT SMOOTH TO REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
- APPLY APPROVED FERTILIZER ON FINISH GRADE PRIOR TO SOD INSTALLATION AT A RATE OF ONE (1) POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET.
- LAY SOD TO FORM A SOLID MASS TIGHTLY-FITTED JOINTS. DO NOT OVERLAY EDGES. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
- WATER SOD LIGHTLY THEN ROLL WITH A WATER FILLED COMMERCIAL LAWN ROLLER TO ENSURE CONTACT WITH SUBGRADE AND TO INSURE A SMOOTH SURFACE FREE OF CLUMPS AND DEPRESSIONS.
- ON 3:1 SLOPES OR GREATER SOD SHALL BE INSTALLED PERPENDICULAR TO SLOPE AND SECURED WITH APPROVED WOOD STAKES AS NEEDED TO PREVENT SOD FROM SLOUGHING OFF SLOPES.
- THE SITE IS TO BE KEPT CLEAN AND ORDERLY. ALL TRASH, INCLUDING DEBRIS FROM REMOVING WEEDS OR ROCKS FROM SODDED AREAS, SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. ALL PAVED AREAS SHALL BE KEPT CLEAN BY HOSE AND/OR SWEEPING.

PLANT SCHEDULE

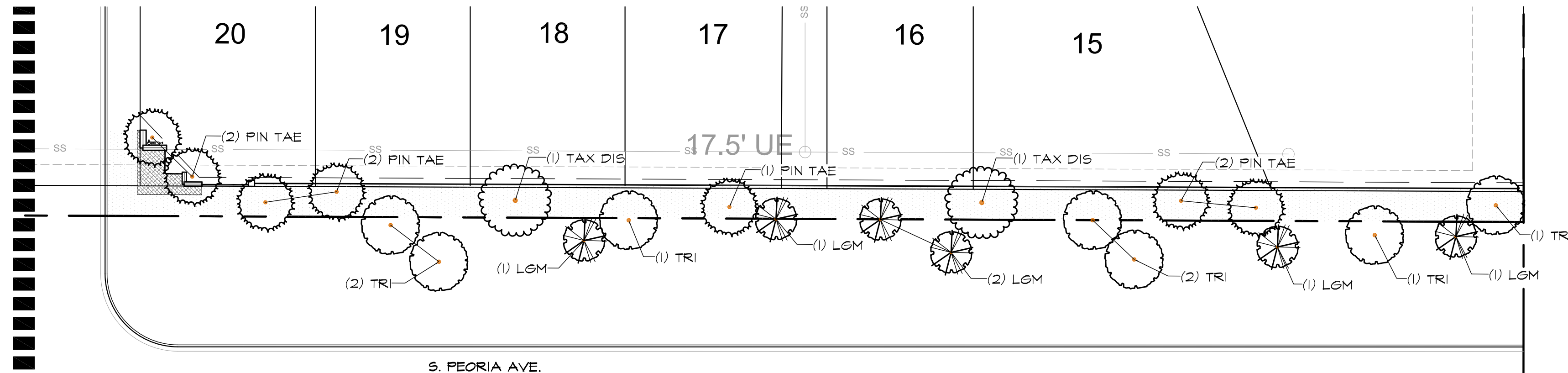
CODE	QTY	BOTANICAL / COMMON NAME	REMARK	CONTAINER	SIZE
TREES					
TRI	25	ACER BUERGERIANUM / TRIDENT MAPLE	2" CAL	B#B	20-30'
LGM	11	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM DWARF SOUTHERN MAGNOLIA	2" CAL	B#B	15-20'
PIN TAE	13	PINUS TAEDA / LOBLOLLY PINE	3" CAL	B#B	80-90'
TAX DIS	13	TAXODIUM DISTICHUM / BALD CYPRESS	3" CAL	B#B	50-70'

CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPACING
SHRUBS					
EGV	22	BUXUS X 'GREEN VELVET' / GREEN VELVET BOXWOOD	3 GAL	24-48"	36" O.C.
CAKF	12	CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER' / FEATHER REED GRASS	1 GAL	12-15"	24" O.C.
JVT	4	JUNIPERUS VIRGINIANA 'TAYLOR' / TAYLOR EASTERN REDCEDAR	B#B	8-9'	36" O.C.
LMV	119	LIRIOPE MUSCARI 'VARIEGATA' / VARIEGATED LILYTURF	1 GAL	6-8"	12" O.C.
NAN MFT	52	NANDINA DOMESTICA 'MURASAKI' / FLIRT™ HEAVENLY BAMBOO	3 GAL	24-30"	24" O.C.
GTS	55	SPHRAEA THUNBERGII 'OGON' TM / GOLD THREAD SPIREA	3 GAL	24-36"	24" O.C.

CODE	QTY	MATERIAL	SIZE	UNIT
MULCH	147	CEDAR MULCH	3 C.F.	1 BAG
COMPOST	110	BACK TO NATURE	3 C.F.	1 BAG
SBE	146	BLACK RYERSON STEEL BED EDGING	3/4" BY 4"	LF
SOD	57,162	BERMUDA SOLID SOD	50 SQ. FT	

HEIGHT, 5' SPREAD CAL. CALIF. O.C. ON CENTER (Approximate), B#B: BALLED & BURLAPPED GAL. GALLON, A: ALTERNATE NUMBER ONE, ADH. AT BREAST HEIGHT. THE MATERIAL LIST IS PROVIDED FOR THE CONTRACTOR'S CONVENIENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FIGURING ALL QUANTITIES FROM THE PLANTING PLAN AND COVERAGES FOR ALL BED AREAS. WHEN DISCREPANCIES OCCUR BETWEEN THE MATERIAL LIST AND THE PLANTING PLAN, THE PLANTING PLAN SUPERSEDES THE MATERIAL LIST. IN ALL CASES, THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR ALL PLANTS AND COVERAGE OF BED AREAS ON THE PLANTING PLAN.

RE: MATCHLINE 1/P-1



2 S. PEORIA AVE. TREE PLAN
SCALE 1"= 30'-0"

TREE REQUIREMENTS

S. PEORIA AVE.
ONE STREET TREE FOR EVERY 20 LF OF STREET FRONTAGE
50% SMALL TREES UNDER POWERLINE
TOTAL STREET FRONTAGE LF = 1362 (50%) = 682 LF / 20 = 34 TREES REQUIRED = 34
TREES PROVIDED = 34

ONE STREET TREE FOR EVERY 40 LF OF STREET FRONTAGE
50% LARGE TREES OUTSIDE OF POWERLINE ZONE
TOTAL STREET FRONTAGE LF = 1362 (50%) = 682 LF / 40 = 17 TREES REQUIRED = 17
TREES PROVIDED = 17

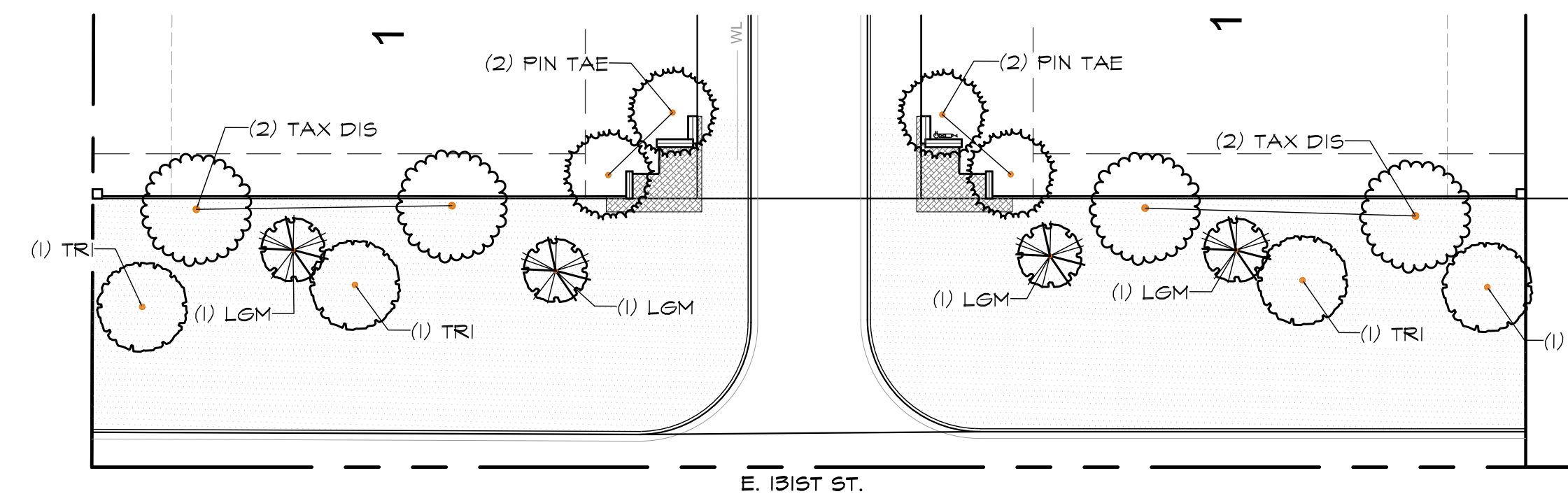
E. 131ST ST.
ONE STREET TREE FOR EVERY 20 LF OF STREET FRONTAGE
50% SMALL TREES UNDER POWERLINE
TOTAL STREET FRONTAGE LF = 320 (50%) = 160 LF / 20 = 8 TREES REQUIRED = 8
TREES PROVIDED = 8

ONE STREET TREE FOR EVERY 40 LF OF STREET FRONTAGE
50% LARGE TREES OUTSIDE OF POWERLINE ZONE
TOTAL STREET FRONTAGE LF = 320 (50%) = 160 LF / 40 = 4 TREES REQUIRED = 4
TREES PROVIDED = 4

NOTE: ALL TREES, OTHER THAN THOSE SPECIES LISTED AS SMALL TREES IN SECTION 16-8-B OF THE ZONING ORDINANCE, ARE NOT PLANTED UNDER OR WITHIN 20 LATERAL FEET OF ANY OVERHEAD UTILITY WIRE OR WITHIN 5 LATERAL FEET OF ANY UNDERGROUND PUBLIC UTILITY LINE.

TREES HAVE BEEN VERIFIED TO BE AT LEAST 10 FEET FROM ANY FIRE HYDRANT.

ALL PLANTINGS TO BE IRRIGATED



3 W. 131ST ST. TREE PLAN
SCALE 1"= 30'-0"

DUTY OF COOPERATION

P.D.G., LLC, 200 PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS 'ARCHITECT'. RELEASE OF THESE PLANS CONSTITUTES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

COPYRIGHT NOTICE

P.D.G., LLC, 200 PLANNING DESIGN GROUP RESERVE THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF P.D.G., LLC, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

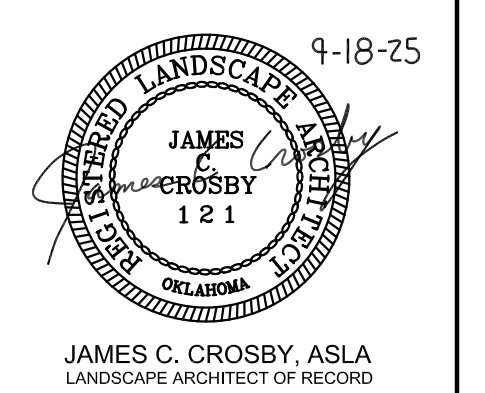
BASE INFORMATION

ALL BASE INFORMATION INCLUDING EXISTING DRAINAGE HAYS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY FRITZ LAND SURVEYING, LLC., TULSA, OK.



BEFORE YOU DIG ...
1-800-522-6543
CALL OKIE

OWNER / DEVELOPER:
131 ELM, LLC.
8086 S. YALE AVE., #285
TULSA, OKLAHOMA 74136
PHONE: 918-698-7802



PROJECT INFORMATION

PROJECT ADDRESS:

NEAREST INTERSECTION:
E. 131 ST. S. AND S. PEORIA AVE.

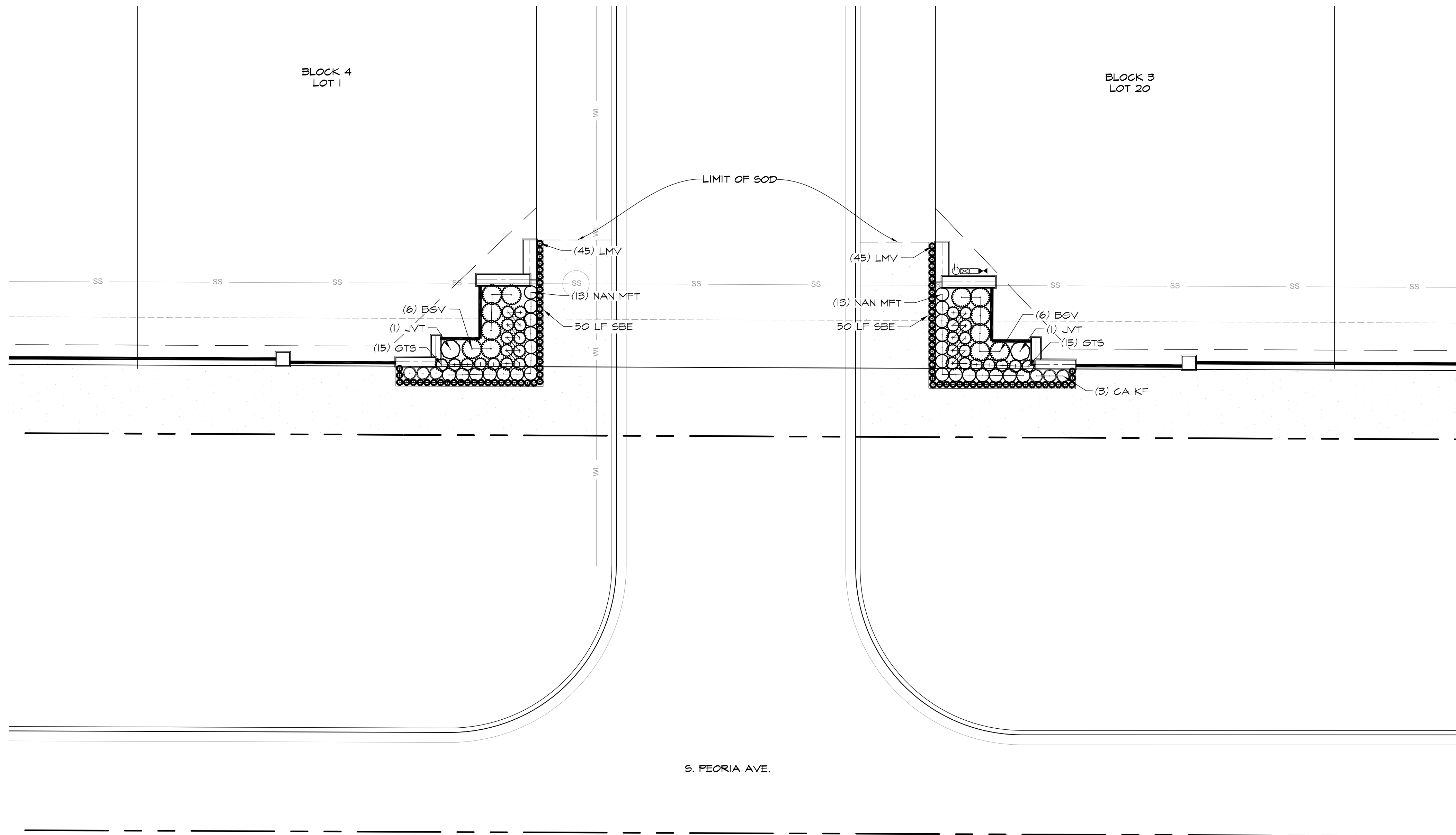
PROJECT NO.	
DATE	9-23-25
DRAWN BY	CHECKED BY
JC	JC

GLENWOOD RIDGE
JENKS, OK

ISSUE / REVISIONS

9/18/25	100% SET
9/23/25	REVISED SET

TREE PLAN



1 S. PEORIA AVE. ENTRY - PLANTING PLAN
SCALE 1"= 10'-0"

PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	REMARK	CONTAINER	SIZE
TREES					
TRI	25	ACER BUERGERIANUM / TRIDENT MAPLE	2" CAL	B&B	20-30'
LGM	11	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM DWARF SOUTHERN MAGNOLIA	2" CAL	B&B	15-20'
FIN TAE	19	FINUS TAEDA / LOBLOLLY PINE	3" CAL	B&B	80-90'
TAX DIS	13	TAXODIUM DISTICHUM / BALD CYPRESS	3" CAL	B&B	50-70'
SHRUBS					
BGV	22	BUXUS X 'GREEN VELVET' / GREEN VELVET BOXWOOD	3 GAL		24-48"
CAKF	12	CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER' / FEATHER REED GRASS	1 GAL		12-15"
JVT	4	JUNIPERUS VIRGINIANA 'TAYLOR' / TAYLOR EASTERN REDCEDAR	B&B		8-9"
LMV	179	LIRIOPE MUSCARI 'VARIEGATA' / VARIEGATED LILYTURF	1 GAL		6-8"
NAN MFT	52	NANDINA DOMESTICA 'MURASAKI' / FUJITM HEAVENLY BAMBOO	3 GAL		24-30"
GTS	55	SPIRAEA THUNBERGII 'OGON' TM / GOLD THREAD SPIREA	3 GAL		24-36"
MULCH					
MULCH	147	CEDAR MULCH	3 C.F.		1 BAG
COMPOST					
COMPOST	110	BACK TO NATURE	3 C.F.		1 BAG
SBE					
SBE	196	BLACK RYERSON STEEL BED EDGING	3/8" BY 4"	LF	
SOD					
SOD	37,762	BERMUDA SOLID SOD		SQ. FT	

H: HEIGHT, S: SPREAD, CAL: CALIPER, O.C.: ON CENTER (Approximate), B&B: BALLED & BURLAPPED GAL: GALLON, A: ALTERNATE NUMBER ONE, ABH: AT BREAST HEIGHT
THE MATERIAL LIST IS PROVIDED FOR THE CONTRACTOR'S CONVENIENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FIGURING ALL QUANTITIES FROM THE PLANTING PLAN AND COVERAGES FOR ALL BED AREAS. WHEN DISCREPANCIES OCCUR BETWEEN THE MATERIAL LIST AND THE PLANTING PLAN, THE PLANTING PLAN SUPERSEDES THE MATERIAL LIST IN ALL CASES. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR ALL PLANTS AND COVERAGE OF BED AREAS ON THE PLANTING PLAN.

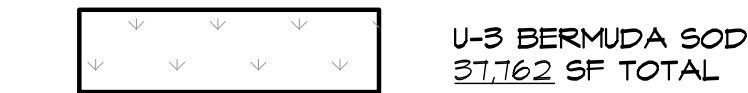


LANDSCAPE ORDINANCE

CERTIFICATION NOTICE:
P.D.G., LLC, dba PLANNING DESIGN GROUP THAT CERTIFIES ALL THE FOLLOWING LANDSCAPE PLANS ARE IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF JENKS ZONING CODE. THIS CERTIFICATION IS BASED ON OUR INTERPRETATION OF THE ZONING CODE. SHOULD ANYTHING BE FOUND CONTRADICTORY TO THIS, NOTIFY P.D.G. AND THE DISCREPANCY WILL BE CORRECTED IMMEDIATELY.

IRRIGATION:
ALL ORDINANCE REQUIRED LANDSCAPE AREA TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

GRASSING LEGEND



PLANTING NOTES

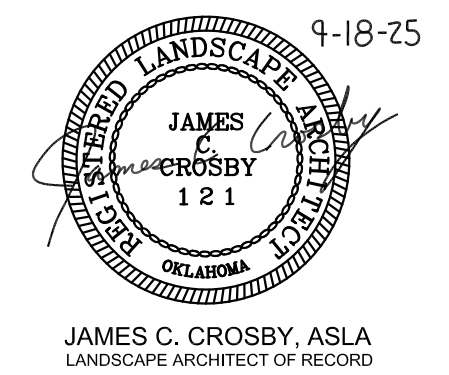
- STAKE ALL TREE LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO DIGGING TREE PITS. REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. IF BERMUDA GRASS IS PRESENT, IT SHALL BE ERADICATED BY APPROVED MEANS.
- SHALL BE ERADICATED BY APPROVED MEANS. STEEL EDGING SHALL BE 3/4" X 4" STEEL LANDSCAPE EDGING WITH STEEL STAKES AS MANUFACTURED BY JOSEPH RYERSON DALLAS, TEXAS. EDGING AROUND RESIDENTIAL UNITS TO BE SHOVEL CUT, SMOOTH FLOWING LINES AS INDICATED ON PLAN.
- ALL TREES SHALL BE PLANTED AT LEAST 5' FROM BUILT STRUCTURES AND SIDEWALKS. ALL VEGETATION MUST BE PLANTED IN SUCH A MANNER THAT SIGHT DISTANCE TRIANGLES ARE NOT OBSTRUCTED.
- SPREAD AN EVEN THREE INCHES (3") LAYER OF MULCH OVER THE ENTIRE PLANTING BED AND WITHIN ALL TREE WELLS.
- ON ALL TREES THE TOP SIX INCHES (6") OF BACKFILL SHALL CONSIST OF A 1:1 MIXTURE OF COMPOST TO SOIL. AROUND ALL TREES FORM A CIRCULAR RING FREE OF VEGETATION. CIRCLE SHALL BE TRUE IN FORM AND CENTERED ON TREE.
- ALL TREES SHALL BE STAKED WITH TWO (2) GREEN METAL SPLIT TEE FENCE POSTS AND TIED WITH WIRE THROUGH THE HOSE AS PER DETAIL.
- APPLY OSMOCOTE AT A RATE OF 1/2 POUND PER TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTING BEDS.

SODDING NOTES

- REFER TO PROJECT MANUAL FOR FURTHER SPECIFICATIONS.
- FINE GRADE LAWN AREAS TO SMOOTH, EVEN SURFACE WITH A LOOSE, UNIFORMLY FINE TEXTURE. FLOAT SMOOTH TO REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO REMOVE RIDGES AND FILL DEPRESSIONS AS REQUIRED TO DRAIN.
- APPLY APPROVED FERTILIZER ON FINISH GRADE PRIOR TO SOD INSTALLATION AT A RATE OF ONE (1) POUND OF ACTUAL NITROGEN PER 1000 SQUARE FEET.
- LAY SOD TO FORM A SOLID MASS TIGHTLY-FITTED JOINTS. DO NOT OVERLAY EDGES. STAGGER STRIPS TO OFFSET JOINTS IN ADJACENT COURSES.
- WATER SOD LIGHTLY THEN ROLL WITH A WATER FILLED COMMERCIAL LAWN ROLLER TO ENSURE CONTACT WITH SUBGRADE AND TO INSURE A SMOOTH SURFACE FREE OF CLUMPS AND DEPRESSIONS.
- ON 3:1 SLOPES OR GREATER SOD SHALL BE INSTALLED PERPENDICULAR TO SLOPE AND SECURED WITH APPROVED WOOD STAKES AS NEEDED TO PREVENT SOD FROM SLOUGHING OFF SLOPES.
- THE SITE IS TO BE KEPT CLEAN AND ORDERLY. ALL TRASH, INCLUDING DEBRIS FROM REMOVING WEEDS OR ROCKS FROM SODDED AREAS, SHALL BE REMOVED FROM THE SITE AS WORK PROGRESSES. ALL PAVED AREAS SHALL BE KEPT CLEAN BY HOSEING AND/OR SWEEPING.

OWNER / DEVELOPER:

131 ELM, LLC.
8086 S. YALE AVE., #285
TULSA, OKLAHOMA 74136
PHONE: 918-698-7802



PROJECT INFORMATION

PROJECT ADDRESS:	
NEAREST INTERSECTION: E. 131 ST. S. AND S. PEORIA AVE.	
PROJECT NO.	
DATE	9-23-25
DRAWN BY	CHECKED BY
JC	JC

GLENWOOD RIDGE
JENKS, OK

ISSUE / REVISIONS

9/18/25	100% SET
9/23/25	REVISED SET

**S. PEORIA AVE.
ENTRY PLANTING
PLAN**

DUTY OF COOPERATION

P.D.G., LLC, dba PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS 'ARCHITECT'. RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT COMPOUNDS MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

COPYRIGHT NOTICE

P.D.G., LLC, dba PLANNING DESIGN GROUP RESERVE THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF P.D.G., LLC, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

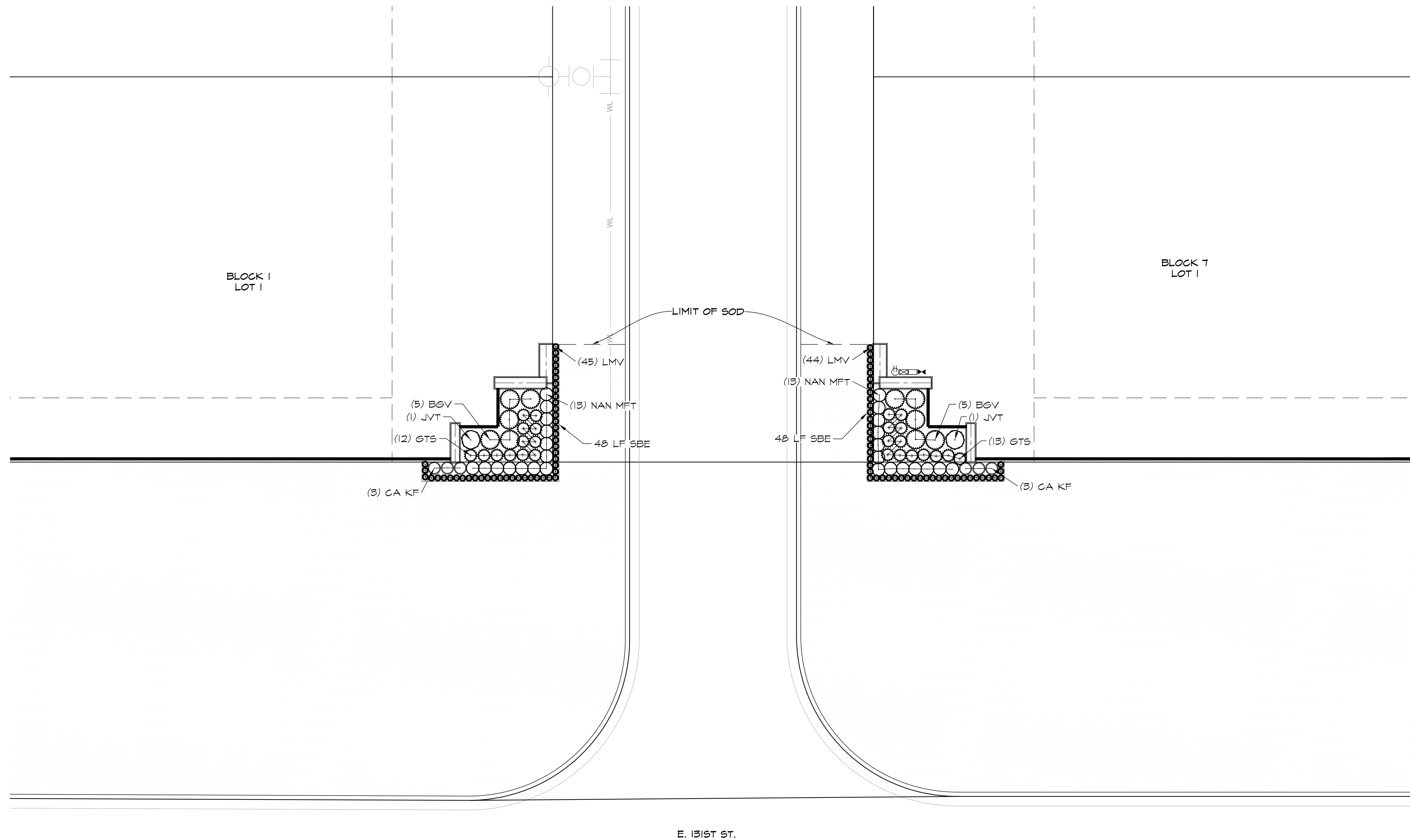
BASE INFORMATION

ALL BASE INFORMATION INCLUDING EXISTING DRAINAGE HAYS, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY FRITZ LAND SURVEYING, LLC., TULSA, OK.



**BEFORE
YOU DIG ...
1-800-522-6543
CALL OKIE**

P-2

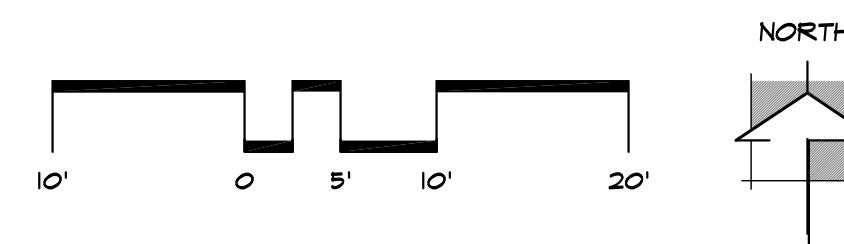


1 E. 131ST ST. ENTRY PLANTING PLAN
SCALE 1"= 10'-0"

PLANT SCHEDULE

CODE	QTY	BOTANICAL / COMMON NAME	REMARK	CONTAINER	SIZE
TREES					
TRI	25	ACER BUERGERIANUM / TRIDENT MAPLE	2" CAL	B#B	20-30'
LGM	11	MAGNOLIA GRANDIFLORA 'LITTLE GEM' / LITTLE GEM DWARF SOUTHERN MAGNOLIA	2" CAL	B#B	15-20'
FIN TAE	19	PINUS TAEDA / LOBLOLLY PINE	3" CAL	B#B	80-90'
TAX DIS	13	TAXODIUM DISTICHUM / BALD CYPRESS	3" CAL	B#B	50-70'
CODE	QTY	BOTANICAL / COMMON NAME	SIZE	HEIGHT	SPACING
SHRUBS					
BGV	22	BUXUS X 'GREEN VELVET' / GREEN VELVET BOXWOOD	3 GAL	24-48"	36" O.C.
CAKF	12	CALAMAGROSTIS X ACUTIFLORA 'KARL FORESTER' / FEATHER REED GRASS	1 GAL	12-15"	24" O.C.
JVT	4	JUNIFERUS VIRGINIANA 'TAYLOR' / TAYLOR EASTERN REDCEDAR	B#B	8-9'	36" O.C.
LMV	119	LIRIOPE MUSCARI 'VARIEGATA' / VARIEGATED LILYTURF	1 GAL	8-9"	12" O.C.
NAN MFT	52	NANDINA DOMESTICA 'MURASAKI' / FLIRT™ HEAVENLY BAMBOO	3 GAL	24-30"	24" O.C.
GTS	55	SPHRAEA THUNBERGII 'GON'™ / GOLD THREAD SPHRAEA	3 GAL	24-36"	24" O.C.
CODE	QTY	MATERIAL	SIZE	UNIT	
MULCH	147	CEDAR MULCH	3 C.F.	1 BAG	
COMPOST	110	BACK TO NATURE	3 C.F.	1 BAG	
SBE	196	BLACK RYERSON STEEL BED EDGING	3/8" BY 4"	LF	
SOD	37,762	BERMUDA SOLID SOD	SQ. FT		

H: HEIGHT, S: SPREAD, CAL: CALIPER, O.C.: ON CENTER (Approximate), B#B: BALLED & BURLAPPED GAL: GALLON, A: ALTERNATE NUMBER ONE, ADH: AT BREAST HEIGHT. THE MATERIAL LIST IS PROVIDED FOR THE CONTRACTOR'S CONVENIENCE. THE LANDSCAPE CONTRACTOR IS RESPONSIBLE FOR FIGURING ALL QUANTITIES FROM THE PLANTING PLAN AND COVERAGES FOR ALL BED AREAS. WHEN DISCREPANCIES OCCUR BETWEEN THE MATERIAL LIST AND THE PLANTING PLAN, THE PLANTING PLAN SUPERSEDES THE MATERIAL LIST IN ALL CASES. THE LANDSCAPE CONTRACTOR WILL BE RESPONSIBLE FOR ALL PLANTS AND COVERAGE OF BED AREAS ON THE PLANTING PLAN.



LANDSCAPE ORDINANCE

CERTIFICATION NOTICE:
P.D.G., LLC, dba PLANNING DESIGN GROUP THAT CERTIFIES ALL THE FOLLOWING LANDSCAPE PLANS ARE IN COMPLIANCE WITH THE REQUIREMENTS OF THE CITY OF JENKS ZONING CODE. THIS CERTIFICATION IS BASED ON OUR INTERPRETATION OF THE ZONING CODE. SHOULD ANYTHING BE FOUND CONTRADICTORY TO THIS, NOTIFY P.D.G. AND THE DISCREPANCY WILL BE CORRECTED IMMEDIATELY.

IRRIGATION:
ALL ORDINANCE REQUIRED LANDSCAPE AREA TO BE IRRIGATED BY AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM.

GRASSING LEGEND

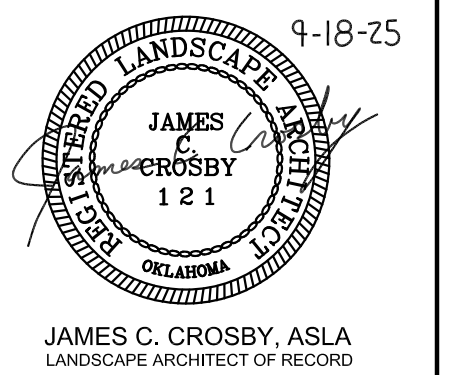
U-3 BERMUDA SOD
37,762 SF TOTAL

PLANTING NOTES

- STAKE ALL TREE LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO DIGGING TREE PITS. REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. IF BERMUDA GRASS IS PRESENT, IT SHALL BE ERADICATED BY APPROVED MEANS.
- SHALL BE ERADICATED BY APPROVED MEANS. STEEL EDGING SHALL BE 3/8" X 4" STEEL. LANDSCAPE EDGING WITH STEEL STAKES AS MANUFACTURED BY JOSEPH RYERSON, DALLAS, TEXAS. EDGING AROUND RESIDENTIAL UNITS TO BE SHOVEL CUT, SMOOTH FLOWING LINES AS INDICATED ON PLAN.
- ALL TREES SHALL BE PLANTED AT LEAST 5' FROM BUILT STRUCTURES AND SIDEWALKS. ALL VEGETATION MUST BE PLANTED IN SUCH A MANNER THAT SIGHT DISTANCE TRIANGLES ARE NOT OBSTRUCTED.
- SPREAD AN EVEN THREE INCHES (3") LAYER OF MULCH OVER THE ENTIRE PLANTING BED AND WITHIN ALL TREE WELLS.
- ON ALL TREES THE TOP SIX INCHES (6") OF BACKFILL SHALL CONSIST OF A 1:1 MIXTURE OF COMPOST TO SOIL. AROUND ALL TREES FORM A CIRCULAR RING FREE OF VEGETATION. CIRCLE SHALL BE TRUE IN FORM AND CENTERED ON TREE.
- ALL TREES SHALL BE STAKED WITH TWO (2) GREEN METAL SPLIT TEE FENCE POSTS AND TIED WITH WIRE THROUGH THE HOSE AS PER DETAIL.
- APPLY OSMOGOTE AT A RATE OF 1/2 POUND PER TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTING BEDS.

OWNER / DEVELOPER:

131 ELM, LLC.
8086 S. YALE AVE., #285
TULSA, OKLAHOMA 74136
PHONE: 918-698-7802



PROJECT INFORMATION

PROJECT ADDRESS:

NEAREST INTERSECTION:
E. 131 ST. S. AND S. PEORIA AVE.

PROJECT NO.
DATE 9-23-25

DRAWN BY JC CHECKED BY JC

GLENWOOD RIDGE
JENKS, OK

ISSUE/REVISIONS

DATE	DESCRIPTION
9/18/25	100% SET
9/23/25	REVISED SET

E. 131ST ST. ENTRY PLANTING PLAN

DUTY OF COOPERATION

P.D.G., LLC, dba PLANNING DESIGN GROUP IN THIS STATEMENT SHALL BE KNOWN AS 'ARCHITECT'. RELEASE OF THESE PLANS CONTEMPLATES FURTHER COOPERATION AMONG THE OWNER, HIS CONTRACTOR, AND THE ARCHITECT. DESIGN AND CONSTRUCTION ARE COMPLEX. ALTHOUGH THE ARCHITECT AND HIS CONSULTANTS HAVE PERFORMED THEIR SERVICES WITH DUE CARE AND DILIGENCE, THEY CANNOT GUARANTEE PERFECTION. COOPERATION IS IMPERECT AND EVERY CONTINGENCY CANNOT BE ANTICIPATED. ANY AMBIGUITY OR DISCREPANCY DISCOVERED BY THE USE OF THESE PLANS SHALL BE REPORTED IMMEDIATELY TO THE ARCHITECT. FAILURE TO NOTIFY THE ARCHITECT CONSTITUTES MISUNDERSTANDING AND INCREASES CONSTRUCTION COSTS. A FAILURE TO COOPERATE BY SIMPLE NOTICE TO THE ARCHITECT SHALL RELIEVE THE ARCHITECT FROM RESPONSIBILITY FOR ALL CONSEQUENCES. CHANGES MADE FROM THE PLANS WITHOUT CONSENT OF THE ARCHITECT ARE UNAUTHORIZED AND SHALL RELIEVE THE ARCHITECT OF RESPONSIBILITY FOR ALL CONSEQUENCES ARISING OUT OF SUCH CHANGES.

COPYRIGHT NOTICE

P.D.G., LLC, dba PLANNING DESIGN GROUP RESERVE THEIR COMMON LAW COPYRIGHT AND OTHER PROPERTY RIGHTS IN THESE PLANS. THESE PLANS AND DRAWINGS ARE NOT TO BE REPRODUCED, CHANGED OR COPIED IN ANY FORM OR MANNER WHATSOEVER WITHOUT FIRST OBTAINING THE EXPRESS WRITTEN PERMISSION AND CONSENT OF P.D.G., LLC, NOR ARE THEY TO BE ASSIGNED TO ANY THIRD PARTY WITHOUT OBTAINING SAID WRITTEN PERMISSION AND CONSENT.

BASE INFORMATION

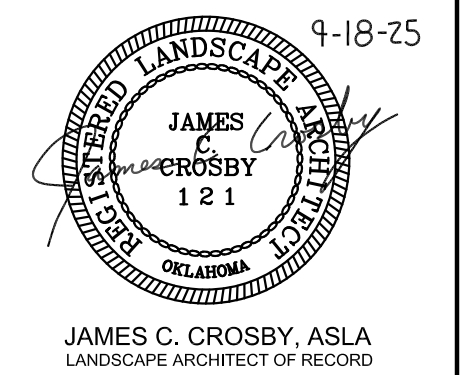
ALL BASE INFORMATION INCLUDING EXISTING DRAINAGE PAVES, EXISTING CONTOURS, EXISTING VEGETATION, EXISTING STRUCTURES AND STREETS WERE PROVIDED TO PLANNING DESIGN GROUP BASED FROM DATA COLLECTED BY FRITZ LAND SURVEYING, LLC., TULSA, OK.



BEFORE YOU DIG ...
1-800-522-6543
CALL OKIE

OWNER / DEVELOPER:

131 ELM, LLC.
 8086 S. YALE AVE., #285
 TULSA, OKLAHOMA 74136
 PHONE: 918-698-7802



PROJECT INFORMATION

PROJECT ADDRESS:

NEAREST INTERSECTION:
 E. 131 ST. S. AND S. PEORIA AVE.

PROJECT NO.	
DATE	9-23-25
DRAWN BY	CHECKED BY
JC	JC

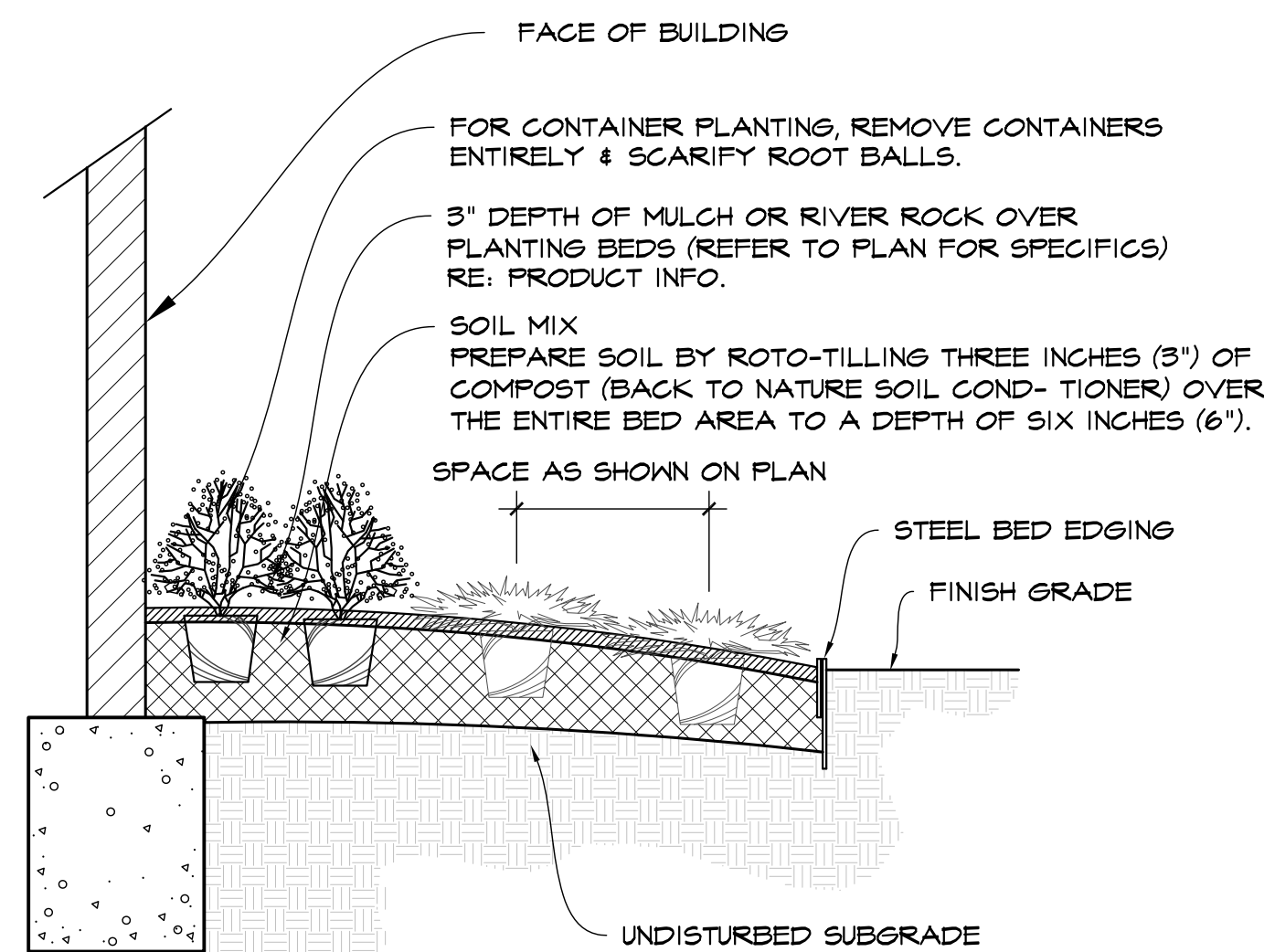
GLENWOOD RIDGE
 JENKS, OK

ISSUE/ REVISIONS

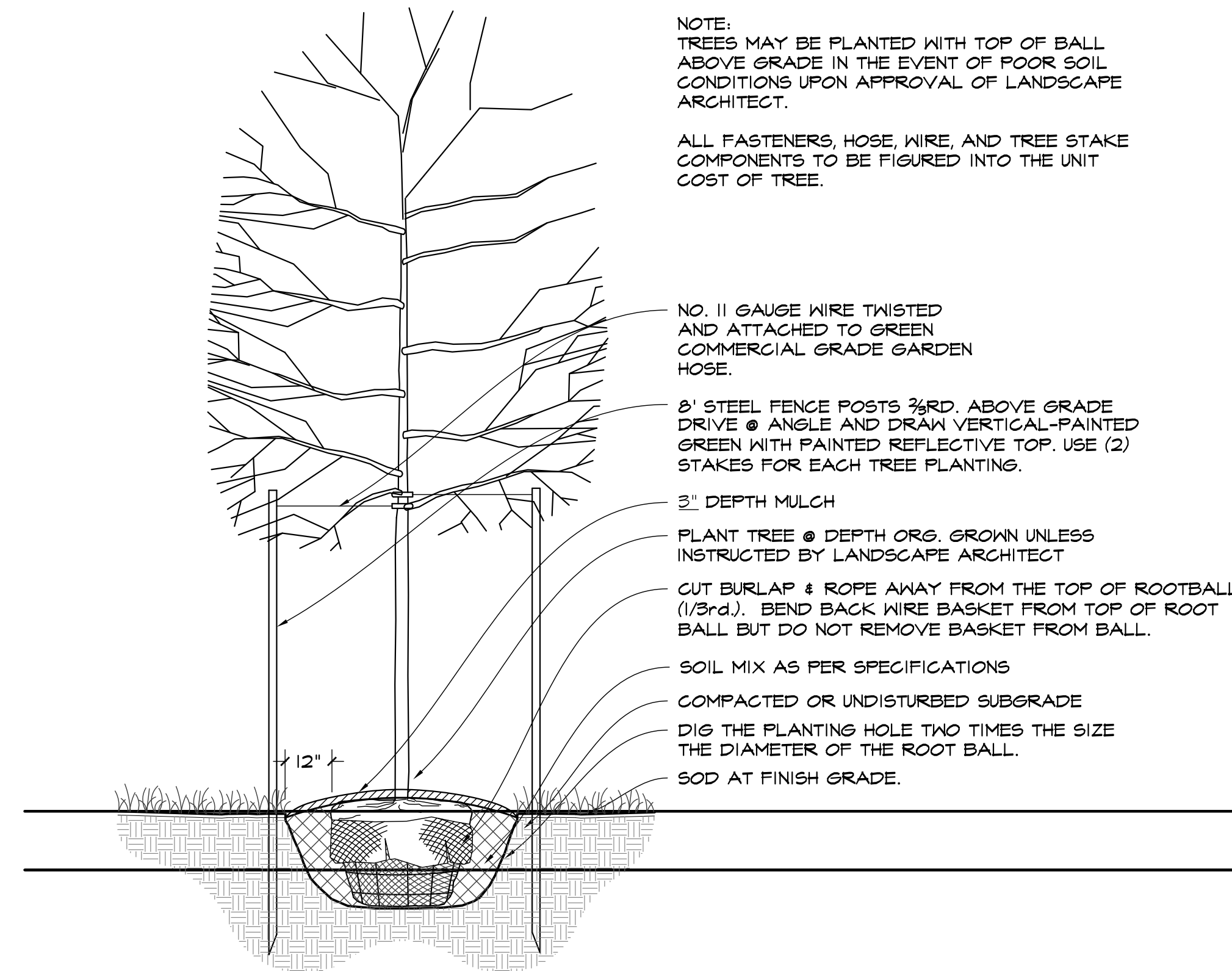
9/18/25	100% SET
9/23/25	REVISED SET

PLANTING DETAILS

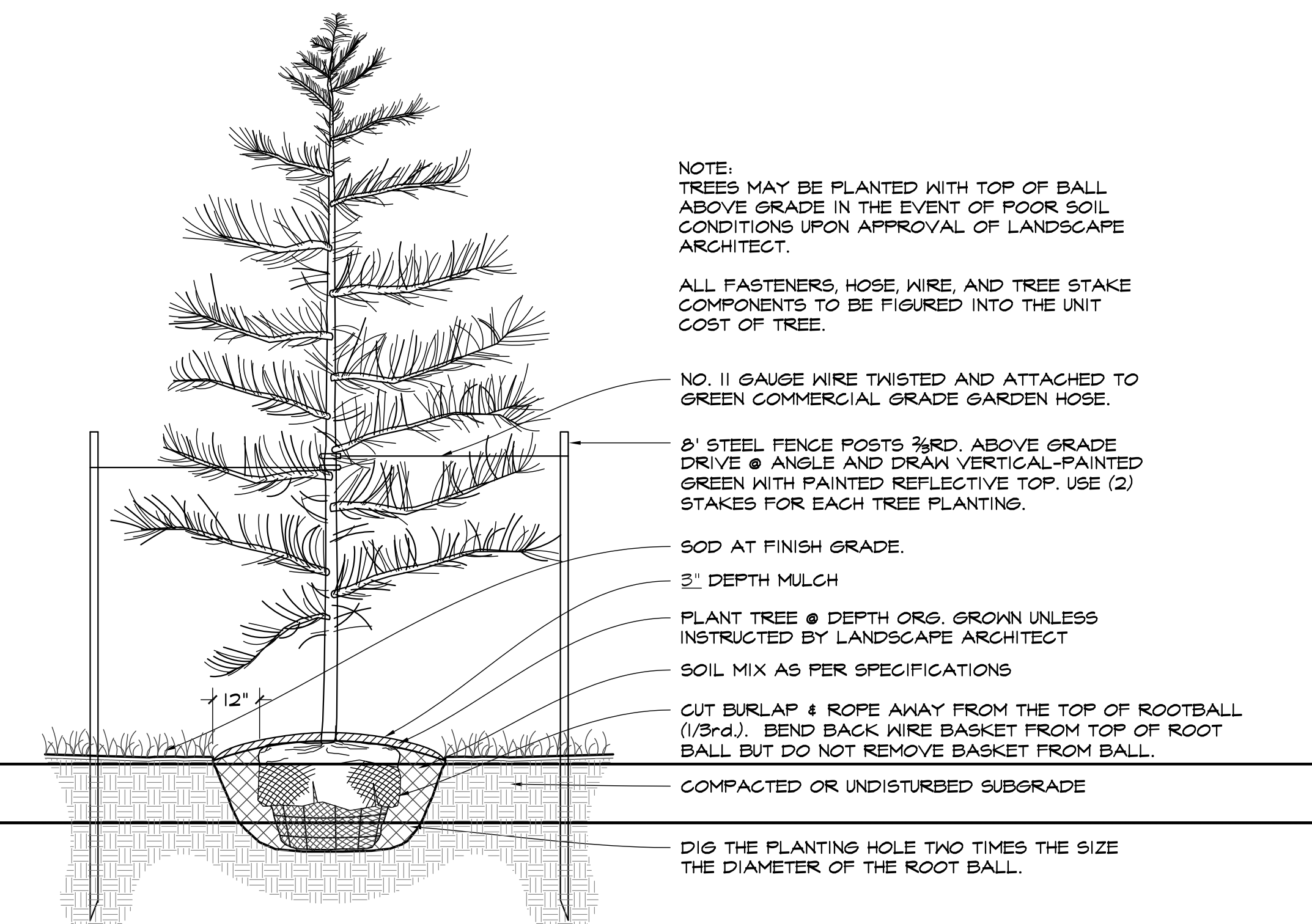
P-4



1 SHRUB PLANTING - TYPICAL SECTION
 SCALE: NTS



2 DECIDUOUS TREE PLANTING - TYPICAL SECTION
 SCALE: NTS



3 CONIFEROUS TREE PLANTING - TYPICAL SECTION
 SCALE: NTS

PLANTING NOTES

1. OUTLINE ALL PLANTING BEDS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WITH BED PREPARATION.
2. STAKE ALL TREE LOCATIONS FOR APPROVAL BY THE LANDSCAPE ARCHITECT PRIOR TO DIGGING TREE PITS.
3. REMOVE ALL WEEDS AND GRASSES FROM PLANTING BEDS. IF BERMUDA GRASS IS PRESENT, IT SHALL BE ERADICATED BY APPROVED MEANS.
4. STEEL EDGING SHALL BE 3/4" X 4" STEEL LANDSCAPE EDGING WITH STEEL STAKE AS MANUFACTURED BY JOSEPH RYERSON, DALLAS, TEXAS. EDGING AROUND RESIDENTIAL UNITS TO BE SHOVEL CUT, SMOOTH FLOWING LINES AS INDICATED ON PLAN.
5. WITHIN APPROVED BED AREAS, PREPARE SOIL BY ROTO-TILLING THREE INCHES (3") OF COMPOST (BACK TO NATURE SOIL CONDITIONER) OVER THE ENTIRE BED AREA TO A DEPTH OF SIX INCHES (6").
6. SPREAD AN EVEN THREE INCH (3") LAYER OF MULCH OVER THE ENTIRE PLANTING BED AND WITHIN ALL TREE WELLS.
7. ON ALL TREES THE TOP SIX INCHES (6") OF BACKFILL SHALL CONSIST OF A 1:1 MIXTURE OF COMPOST TO SOIL.
8. AROUND ALL TREES FORM A CIRCULAR RING FREE OF VEGETATION. CIRCLE SHALL BE TRUE TO FORM AND CENTERED ON TREE.
9. ALL TREES SHALL BE STAKED WITH TWO (2) GREEN METAL SPILT TEE FENCE POSTS AND TIED WITH WIRE THROUGH THE HOSE AS PER DETAIL.
10. APPLY OSMOCOTE AT A RATE OF 1/2 POUND PER TREE AND 1 POUND PER 100 SQUARE FEET TO SHRUB AND GROUND COVER PLANTING BEDS.
11. BASE IS NOT SURVEYED INFORMATION CONDITIONS WILL VARY ON SITE. CONTRACTOR TO MAKE PLANT MATERIAL ADJUSTMENTS TO MEET SITE CONDITIONS AFTER PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT OR OWNER.