

**AGENDA
JENKS CITY COUNCIL
TUESDAY, FEBRUARY 3, 2026, 6:00 PM
JENKS CITY HALL, 211 NORTH ELM**

If you require special accommodations pursuant to the Americans with Disabilities Act, please notify the City Clerk's Office at (918) 299-5883 or email agendas@jenksok.org.

CALL TO ORDER

ROLL CALL

INVOCATION

PLEDGE OF ALLEGIANCE

ANIMAL WELFARE SPOTLIGHT

CITIZEN COMMENTS

BUSINESS

Official action can only be taken on items which appear on the agenda. The City Council may adopt, approve, ratify, deny, defer, recommend, amend, strike, or continue any agenda item (except for Item 1).

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under "Consent" are considered by the City Council to be routine and will be enacted by one motion. Any Councilor may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)
 - A. Approve minutes of the regular meeting held on January 20, 2026.
 - B. Monthly Reports
 - C. Approve endorsement for the 2026 Tulsa Regional Chamber OneVoice Legislative Agenda
 - D. Approve Change Order No. 4 for the South Elm Street Widening Project (111th St to 121st St), Phase 1, submitted by Paragon Construction, LLC, in the deductive amount of \$442,467.24, resulting in a revised contract total of \$9,164,959.01 to be reflected in the 2020 G.O. Bond funds (Account No. 27-840-5393).
 - E. Approve Resolution 890, a Resolution of the City Council of the City of Jenks, Oklahoma, supporting the approval of FEMA Hazard Mitigation Grant Funding for Disaster #4575-Project 13-Tulsa County 101st & Garnett Infrastructure Protection
2. Consideration and appropriate action relating to items removed from the Consent Agenda
3. Ordinance 1680, an Ordinance amending an ordinance of the City Council of the City of Jenks, amending City Code §§ 16-7 (Sign Standards); repealing all ordinances or parts thereof in conflict herewith; providing for severability; and declaring an emergency.
4. Emergency Clause for Ordinance 1680, making it effective immediately upon passage

since the immediate operations of the provisions of the Ordinance are necessary for the preservation of public health and safety.

OTHER BUSINESS

1. City Manager's Report

ADJOURNMENT

**MINUTES
JENKS CITY COUNCIL
TUESDAY, JANUARY 20, 2026, 6:00 PM
JENKS CITY HALL, 211 NORTH ELM**

CALL TO ORDER

The Agenda for the Jenks City Council was posted on the City's website at 4:19 PM on January 16, 2026. The meeting was called to order at 06:02 PM on the above date with Mayor Cory Box presiding at Jenks City Hall.

ROLL CALL

Present

John Brown
Kevin Short
Matthew Emmons
Donna Ogez
Adam Abel
Craig Murray
Mayor Cory Box

Absent

INVOCATION

Tommy Davis of New Direction International gave the invocation.

PLEDGE OF ALLEGIANCE

Pledge of Allegiance was given.

ANIMAL WELFARE SPOTLIGHT

Jenks Animal Control presented an animal for adoption.

CITIZEN COMMENTS

None.

BUSINESS

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under "Consent" are considered by the City Council to be routine and will be enacted by one motion. Any Councilor may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)
 - A. Approve minutes of the regular meeting held on December 16, 2025.
 - B. Monthly Reports
 - C. Approve Plat 25-20, the Preliminary Plat for The Hideaway. General Location: Half mile south of 131st and half mile west of Harvard.
 - D. Continue Ordinance 1680, an Ordinance amending an ordinance of the City Council of the City of Jenks, amending City Code §§ 16-7 (Sign Standards), §§ 16-5 (Use Specific Standards), and §§ 16-11 (Definitions); repealing all ordinances or parts thereof in conflict herewith; providing for severability; and declaring an emergency, to the February 03, 2026, meeting.

Mayor Cory Box asked to pull Item 1.C. Kevin Short made a motion to approve Item 1, pulling 1.C. John Brown seconded the motion. A roll call vote of members was

taken as follows:

Yes: Cory Box, Donna Ogez, John Brown, Matthew Emmons, Craig Murray, Adam Abel, Kevin Short

No: None

Motion Carried.

2. Consideration and appropriate action relating to items removed from the Consent Agenda

Mayor Cory Box allowed Torrey Lakes Property Owner Association President to speak on the Hideaway Preliminary Plat. Kyle Johnson (Torrey Lakes POA President) spoke about concerns on the Preliminary Plat. Erik Enyart (Tanner Consultation; applicant), addressed the concerns. Kevin Short made a motion to approve Item 1.C. John Brown seconded the motion. A roll call vote of members was taken as follows:
Yes: Cory Box, Donna Ogez, John Brown, Matthew Emmons, Adam Abel, Kevin Short

No: Craig Murray

Motion Carried.

3. Ordinance 1679, and Ordinance amending Chapter 16 Article 3 - Base District Specific Standards, Article 5 - Use Specific Standards, and Article 11 - Definitions, to amend Food Truck regulations; repealing all ordinances or parts thereof in conflict herewith, providing for severability, and declaring an emergency.

Planning Director Marcae Hilton introduced Item 3 and answered questions. Craig Murray made a motion to approve Item 3. John Brown seconded the motion. A roll call vote of members was taken as follows:

Yes: Cory Box, Donna Ogez, John Brown, Matthew Emmons, Craig Murray, Adam Abel, Kevin Short

No: None

Motion Carried.

4. Emergency Clause for Ordinance 1679, making it effective immediately upon passage since the immediate operations of the provisions of the Ordinance are necessary for the preservation of public health and safety.

John Brown made a motion to approve Item 4. Donna Ogez seconded the motion. A roll call vote of members was taken as follows:

Yes: Cory Box, Donna Ogez, John Brown, Matthew Emmons, Craig Murray, Adam Abel, Kevin Short

No: None

Motion Carried.

5. Downtown Shared Waste Screening Pilot Program — a Pilot Program for shared screened waste enclosures in the Downtown Core, authorizing limited administrative relief from the Unified Development Ordinance screening requirements. [Hilton]

Planning Director Marcae Hilton introduced Item 5 and answered questions. John Brown made a motion to approve Item 5. Matthew Emmons seconded the motion. A roll call vote of members was taken as follows:

Yes: Cory Box, Donna Ogez, John Brown, Matthew Emmons, Craig Murray, Adam Abel, Kevin Short

No: None

Motion Carried.

6. Potential Executive Session under 25 O.S. 307(B)(3) to discuss the potential lease of the softball facility at Park West.

Matthew Emmons made a motion to enter Executive Session. Kevin Short seconded the motion. A roll call vote of members was taken as follows:

Yes: Cory Box, Donna Ogez, John Brown, Matthew Emmons, Craig Murray, Adam Abel, Kevin Short

No: None

Motion Carried. *Executive Session entered at 6:43*

7. Recognize Brankees Management, LLC as the successful proposer under the Request for Proposals for the Lease and Operation of Softball Facilities at Park West and direct staff to negotiate and prepare proposed lease.

City Attorney Teresa Nowlin introduced Item 7. John Brown made a motion to approve Item 7. Matthew Emmons seconded the motion. A roll call vote of members was taken as follows:

Yes: Cory Box, Donna Ogez, John Brown, Matthew Emmons, Craig Murray, Adam Abel, Kevin Short

No: None

Motion Carried.

OTHER BUSINESS

1. City Manager's Report

City Manager Christopher Shrout gave his update.

ADJOURNMENT

Jenks City Council adjourned at 07:10 PM.

GENERAL FUND ENCUMBRANCES AND EXPENDITURES

Payroll and Benefits for approval February 1, 2025 through February 15, 2025

	BIWEEKLY	SEMI-MONTHLY
PAYROLL FOR EMPLOYEES	\$130,000.00	\$45,000.00

EMPLOYEE PAID PAYROLL BENEFITS INCLUDED IN PAYROLL

Bank of Oklahoma	Federal Tax Deposit	\$11,500.00	\$3,500.00
Bank of Oklahoma	State Tax Deposit	\$4,500.00	\$1,500.00
Bank of Oklahoma	FICA/Medicare Taxes	\$5,900.00	\$600.00
AFLAC	Accident Insurance	\$500.00	\$0.00
Benefits Resource Inc	Flex Plan	\$1,550.00	\$150.00
Community Care	Medical Insurance	\$500.00	\$1,000.00
Dearborn Life	Previous Life Insurance	\$150.00	\$0.00
Delta Dental	Dental Insurance	\$800.00	\$400.00
FF Dues	Firefighters Union/Station Dues	\$0.00	\$600.00
FOP DUES	Police Union Dues	\$600.00	\$0.00
Garnishments	Various CS, EDUC, GARNISH	\$300.00	\$450.00
OK Fire Pension	9% Fire Retirement	\$800.00	\$3,700.00
Mutual of Omaha	Life Insurance	\$375.00	\$75.00
OK Police Pension	8% Police Retirement	\$5,000.00	\$0.00
Vision Services Plan	Vision Insurance	\$150.00	\$50.00
VOYA	457 Retirement	\$1,800.00	\$0.00
	TOTAL	\$34,425.00	\$12,025.00

ADDITIONAL EMPLOYER PAID PAYROLL BENEFITS

Bank of Oklahoma	FICA/Medicare	\$5,000.00	\$600.00
Community Care	Medical Insurance	\$18,000.00	\$5,750.00
Fire Pension	14% Fire Retirement	\$0.00	\$7,000.00
Mutual of Omaha	Life Insurance	\$300.00	\$90.00
OKMRF	6.8% Employee Retirement	\$4,000.00	\$0.00
Police Pension	13% Police Retirement	\$8,000.00	\$0.00
	TOTAL	\$35,300.00	\$13,440.00

*Please note that expenditures and encumbrances are shown based on 26 pay periods unless noted as semimonthly.

GENERAL FUND ENCUMBRANCES AND EXPENDITURES

Payroll and Benefits for approval February 16, 2025 through February 29, 2025

	BIWEEKLY	SEMI-MONTHLY
PAYROLL FOR EMPLOYEES	\$134,000.00	\$45,000.00

EMPLOYEE PAID PAYROLL BENEFITS INCLUDED IN PAYROLL

Bank of Oklahoma	Federal Tax Deposit	\$11,750.00	\$3,500.00
Bank of Oklahoma	State Tax Deposit	\$4,750.00	\$1,500.00
Bank of Oklahoma	FICA/Medicare Taxes	\$6,000.00	\$600.00
AFLAC	Accident Insurance	\$500.00	\$0.00
Benefits Resource Inc	Flex Plan	\$1,550.00	\$150.00
Community Care	Medical Insurance	\$500.00	\$1,000.00
Dearborn Life	Previous Life Insurance	\$150.00	\$0.00
Delta Dental	Dental Insurance	\$800.00	\$400.00
FF Dues	Firefighters Union/Station Dues	\$0.00	\$600.00
FOP DUES	Police Union Dues	\$600.00	\$0.00
Garnishments	Various CS, EDUC, GARNISH	\$300.00	\$450.00
OK Fire Pension	9% Fire Retirement	\$800.00	\$3,700.00
Mutual of Omaha	Life Insurance	\$375.00	\$75.00
OK Police Pension	8% Police Retirement	\$5,000.00	\$0.00
Vision Services Plan	Vision Insurance	\$150.00	\$50.00
VOYA	457 Retirement	\$1,800.00	\$0.00
	TOTAL	\$35,025.00	\$12,025.00

ADDITIONAL EMPLOYER PAID PAYROLL BENEFITS

Bank of Oklahoma	FICA/Medicare	\$5,500.00	\$600.00
Community Care	Medical Insurance	\$20,000.00	\$5,750.00
Fire Pension	14% Fire Retirement	\$0.00	\$7,000.00
Mutual of Omaha	Life Insurance	\$500.00	\$90.00
OKMRF	6.8% Employee Retirement	\$4,500.00	\$0.00
Police Pension	13% Police Retirement	\$8,500.00	\$0.00
	TOTAL	\$39,000.00	\$13,440.00

*Please note that expenditures and encumbrances are shown based on 26 pay periods unless noted as semimonthly.



PARENT ACCOUNT:
CITY OF JENKS 29

REPORT FOR:
CITY OF JENKS 29
2960-00-656689-7
DEC-24-2025 TO JAN-23-2026

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Financial Summary

ACCOUNT NUMBER	FLEET NAME
2960-00-656689-7	CITY OF JENKS 29

DEPARTMENT	DESCRIPTION	UNITS	COST OR FEE	TOTAL FEES	FUEL \$	OTHER \$	EXEMPTED TAX	NET \$	TOTAL FEES & PURCHASES
311	Unleaded Regular	2792.79	2.303	0.00	6428.99	0.00	-1041.69	5387.30	
	Unleaded Super	34.61	3.049	0.00	105.49	0.00	-12.91	92.58	
	PERIOD			0.00	6534.48	0.00	-1054.60	5479.88	5479.88
	YTD			0.00	6534.48	0.00	-1054.60	5479.88	5479.88
411	Regular Diesel #2	488.38	3.009	0.00	1470.49	0.00	-211.52	1258.97	
	Unleaded Regular	297.98	2.366	0.00	710.57	0.00	-111.12	599.45	
	PERIOD			0.00	2181.06	0.00	-322.64	1858.42	1858.42
	YTD			0.00	2181.06	0.00	-322.64	1858.42	1858.42
511	Unleaded Regular	54.86	2.346	0.00	129.48	0.00	-20.48	109.00	
	Unleaded Super	21.33	2.829	0.00	60.35	0.00	-7.95	52.40	
	PERIOD			0.00	189.83	0.00	-28.43	161.40	161.40
	YTD			0.00	189.83	0.00	-28.43	161.40	161.40
512	Unleaded Regular	29.92	2.499	0.00	74.77	0.00	-11.16	63.61	
	PERIOD			0.00	74.77	0.00	-11.16	63.61	63.61
	YTD			0.00	74.77	0.00	-11.16	63.61	63.61
521	Unleaded Super	57.55	2.882	0.00	165.02	0.00	-21.47	143.55	
	PERIOD			0.00	165.02	0.00	-21.47	143.55	143.55
	YTD			0.00	165.02	0.00	-21.47	143.55	143.55
522	Unleaded Plus	78.94	2.592	0.00	205.01	0.00	-29.44	175.57	
	Unleaded Regular	98.93	2.381	0.00	234.26	0.00	-36.89	197.37	
	Unleaded Super	21.44	2.809	0.00	60.21	0.00	-7.99	52.22	
	PERIOD			0.00	499.48	0.00	-74.32	425.16	425.16
531	Unleaded Regular	214.99	2.303	0.00	493.86	0.00	-80.18	413.68	
	Unleaded Super	79.93	2.986	0.00	240.35	0.00	-29.82	210.53	
	PERIOD			0.00	734.21	0.00	-110.00	624.21	624.21
	YTD			0.00	734.21	0.00	-110.00	624.21	624.21
533	Unleaded Regular	158.41	2.293	0.00	361.67	0.00	-59.10	302.57	
	PERIOD			0.00	361.67	0.00	-59.10	302.57	302.57
	YTD			0.00	361.67	0.00	-59.10	302.57	302.57
561	Unleaded Plus	45.30	2.539	0.00	115.03	0.00	-16.90	98.13	
	Unleaded Regular	67.53	2.399	0.00	162.00	0.00	-25.19	136.81	
	Unleaded Super	89.72	2.969	0.00	267.91	0.00	-33.47	234.44	
	PERIOD			0.00	544.94	0.00	-75.56	469.38	469.38
562	Unleaded Regular	98.16	2.326	0.00	227.38	0.00	-36.61	190.77	
	PERIOD			0.00	227.38	0.00	-36.61	190.77	190.77
	YTD			0.00	227.38	0.00	-36.61	190.77	190.77



PARENT ACCOUNT:
CITY OF JENKS 29

REPORT FOR:
CITY OF JENKS 29
2960-00-656689-7
DEC-24-2025 TO JAN-23-2026

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END OF REPORT

Financial Summary

ACCOUNT NUMBER	FLEET NAME
2960-00-656689-7	CITY OF JENKS 29

DEPARTMENT	DESCRIPTION	UNITS	COST OR FEE	TOTAL FEES	FUEL \$	OTHER \$	EXEMPTED TAX	NET \$	TOTAL FEES & PURCHASES
919	Regular Diesel #2	22.06	2.969	0.00	65.50	0.00	-9.55	55.95	
	Unleaded Regular	12.92	2.249	0.00	29.05	0.00	-4.81	24.24	
	PERIOD			0.00	94.55	0.00	-14.36	80.19	80.19
	YTD			0.00	94.55	0.00	-14.36	80.19	80.19
Unassigned	Rebate	4765.61	0.050	-238.28	0.00	0.00	0.00	0.00	
	PERIOD			-238.28	0.00	0.00	0.00	0.00	-238.28
	YTD			0.00	0.00	0.00	0.00	0.00	0.00
ACCOUNT TOTALS	Regular Diesel #2	510.44	2.969	0.00	1535.99	0.00	-221.07	1314.92	
	Unleaded Plus	124.24	2.539	0.00	320.04	0.00	-46.34	273.70	
	Unleaded Regular	3826.49	2.249	0.00	8852.03	0.00	-1427.23	7424.80	
	Unleaded Super	304.58	2.969	0.00	899.33	0.00	-113.61	785.72	
	Rebate	4765.61	0.050	-238.28	0.00	0.00	0.00	0.00	
	PERIOD			-238.28	11607.39	0.00	-1808.25	9799.14	9560.86
	YTD			0.00	11607.39	0.00	-1808.25	9799.14	9799.14
ACCOUNTS RECEIVABLE SUMMARY - Invoice 110127921 PREVIOUS BALANCE11359.51 PAYMENTS-11359.51 PURCHASES9799.14 DEBITS0.00 CREDITS0.00 QuikTrip Rebate-238.28 PRIVATE SITE ANCILLARIES0.00 AMOUNT DUE9560.86									

Transaction Date	Transaction Time	Card Number	Custom Vehicle/Asset ID	Units	Product	Merchant Name	Merchant Address	Merchant City	Merchant State / Province	Merchant Postal Code	Current Odometer	Adjusted Odometer	Driver Last Name	Driver Department	Department
12/22/2025	02:54:01	****01351	311 18 3661	8.81	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	87033		Boileau	311	311
12/22/2025	04:13:38	****01302	311 18 9938	10.4	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	127619		KAYS	311	311
12/22/2025	08:24:10	****01931	561 199 25 FORD	10.3	UN+	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	2447		SCOTTJ	561	561
12/22/2025	10:17:48	****01841	311 25 9123	10	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	12328		LUTTRELL	311	311
12/22/2025	14:21:36	****01311	311 18 3659	7.4	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	111602		SPINNER	311	311
12/23/2025	00:15:24	****01261	311 18 4849	13	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	110280		MCFARLAND	311	311
12/23/2025	05:49:51	****01631	311 21 3044	8.17	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	58973		Galloway	311	311
12/23/2025	06:02:23	****00501	311 11 1550	14.8	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	102701		Bowdle	311	311
12/23/2025	07:16:34	****01271	311 18 4850	8.97	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	69643		ARNOLD	311	311
12/23/2025	08:26:29	****01421	411 LADDER 2	22.9	DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	31569		KRIMBILL	411	411
12/23/2025	08:56:42	****01771	411 601 COMMAND 1	21.5	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	50370		OSTRUM	411	411
12/23/2025	10:07:05	****00801	311 15 3007	13.1	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	119004		golliday	311	311
12/23/2025	10:59:54	****01901	411 RESCUE 2	18.1	DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	6904		SCHULTZE	411	411
12/23/2025	13:48:43	****01311	311 18 3659	6.41	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	111673		SPINNER	311	311
12/23/2025	13:55:21	****01821	311 25 0626	13.1	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	12442		SEMKE	311	311
12/23/2025	14:11:37	****00281	311 14 0892	13.3	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	110713		zumwalt	315	311
12/23/2025	14:48:56	****00051	311 17 4535	12	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	85328		FLETCHER	311	311
12/23/2025	21:26:01	****01961	311 25 0638	17	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	547		Solomon	311	311
12/23/2025	21:30:33	****00231	311 17 2922	14.2	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	136354		CHANDLEE	311	311
12/24/2025	06:03:10	****01291	311 18 3658	9.23	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	86640		Hash	311	311
12/24/2025	07:23:22	****01841	311 25 9123	12.9	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	12468		LUTTRELL	311	311
12/24/2025	10:04:14	****00801	311 15 3007	11.5	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	119129		golliday	311	311
12/24/2025	10:41:24	****01901	411 RESCUE 2	11.7	DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	6943		MCCAWLEY	411	411
12/24/2025	13:31:21	****01311	311 18 3659	7.15	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	111752		SPINNER	311	311
12/24/2025	13:37:51	****01321	311 18 3660	6.28	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	116140		MARTIN	311	311
12/24/2025	17:51:24	****01851	311 25 9080	10.4	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	8301		millar	311	311
12/25/2025	06:09:41	****01831	311 25 8794	10.5	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	12569		COLE	311	311
12/25/2025	06:34:28	****01291	311 18 3658	5.1	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	86677		Hash	311	311
12/25/2025	08:26:16	****01501	311 20 4189	10.2	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	57444		Galloway	311	311
12/25/2025	11:56:50	****00801	311 15 3007	11.1	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	119274		golliday	311	311
12/25/2025	13:39:07	****00811	311 17 2923	9.83	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117536		WARD	311	311
12/25/2025	13:40:58	****01321	311 18 3660	7.75	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	116219		MARTIN	311	311
12/25/2025	18:06:24	****01871	311 25 8786	15.9	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	22471		simmons	311	311
12/25/2025	21:06:45	****01971	311 25 0690	18.7	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	895		MARKHAM	311	311
12/25/2025	21:11:20	****00534	311 16 8369	13.2	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	140974		TURNER	315	311
12/25/2025	21:12:48	****01321	311 18 3660	8.83	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	116310		MARTIN	311	311
12/25/2025	22:16:01	****01861	311 25 7838	10.8	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	8324		DAVIS	311	311
12/26/2025	00:29:14	****01731	311 23 7435	16.7	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	37191		NUNNELEE	311	311
12/26/2025	05:00:54	****01981	311 25 0628	13.6	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	1033		Goode	311	311
12/26/2025	09:31:19	****01901	411 RESCUE 2	9.12	DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	6967		SCHULTZE	411	411
12/26/2025	09:32:47	****01471	411 603 COMMAND 3	8.17	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	49771		MARTINEZ	411	411
12/26/2025	13:35:55	****01811	561 627 19 FORD	15.8	UN+	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	175866	139394	ABBATE	561	561
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12/27/2025	22:09:43	****01463	411 ENGINE 1	18	DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	62996		SMITH	411	411
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12/27/2025	23:04:43	****01321	311 18 3660	7.87	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	116511		MARTIN	311	311
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12/28/2025	06:01:11	****01841	311 25 9123	8.64	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	12686	12654	LUTTRELL	311	311
12/28/2025	06:45:38	****01831	311 25 8794	11.4	UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	12776		COLE	311	311
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12/29/2025	08:21:48	****01901	411 RESCUE 2	18.8	DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	7026		SCHULTZE	411	411
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12/29/2025 21:54:43	****01302	311 18 9938	6.73 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	127983	KAYS	311	311
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12/30/2025 05:54:33	****01501	311 20 4189	14.3 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	57583	Galloway	311	311
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12/30/2025 13:01:29	****01771	411 601 COMMAND 1	21.1 UNL	Quiktrip 0121	12100 S Waco Ave	Sapulpa	OK	74066	50672	OSTRUM	411	411
12/30/2025 13:53:28	****00231	311 17 2922	7.76 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	136476	CHANDLEE	311	311
12/30/2025 13:58:19	****01821	311 25 0626	10 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	12752	SEMKE	311	311
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12/30/2025 23:10:05	****01302	311 18 9938	10.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	128102	KAYS	311	311
12/31/2025 03:51:45	****01861	311 25 7838	11 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	8404	DAVIS	311	311
12/31/2025 04:08:18	****01981	311 25 0628	17.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	1221	Goode	311	311
12/31/2025 04:14:24	****01261	311 18 4849	10.1 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	110619	MCFARLAND	311	311
12/31/2025 05:45:42	****01841	311 25 9123	10.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	12914	LUTTRELL	311	311
12/31/2025 06:02:25	****01291	311 18 3658	8.82 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	86798	86859 Hash	311	311
12/31/2025 07:59:54	****01931	561 199 25 FORD	8.84 UN+	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	2613	SCOTTJ	561	561
12/31/2025 09:24:26	****01951	311 25 0706	18.3 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	256	simpson-brow	311	311
12/31/2025 13:32:21	****01541	311 20 4199	6.78 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	94655	MARTIN	311	311
12/31/2025 14:13:43	****01311	311 18 3659	8.37 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	112138	SPINNER	311	311
12/31/2025 14:22:27	****01901	411 RESCUE 2	12.5 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	7114	CROWDER	411	411
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12/31/2025 14:36:43	****01463	411 ENGINE 1	15.5 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	63071	NEIGHLEY	411	411
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01/01/2026 01:05:44	****00411	311 13 9181	5.13 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	82826	COMPTON	315	311
01/01/2026 06:01:23	****01291	311 18 3658	7.16 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	86878	Hash	311	311
01/01/2026 10:24:46	****01961	311 25 0638	22 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	657	Solomon	311	311
01/01/2026 13:28:35	****01321	311 18 3660	5.53 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	116638	MARTIN	311	311
01/01/2026 13:43:49	****01811	561 627 19 FORD	22.6 SUP	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	176089	139530 ABBATE	561	561
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01/01/2026 13:53:55	****01501	311 20 4189	14.6 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	57724	Galloway	311	311
01/01/2026 14:05:31	****01831	311 25 8794	17.3 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	12968	COLE	311	311
01/01/2026 17:59:25	****01851	311 25 9080	11.1 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	8477	millar	311	311
01/01/2026 21:54:37	****01351	311 18 3661	10.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	87214	Boileau	311	311
01/02/2026 04:06:32	****01731	311 23 7435	18.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	37502	NUNNELEE	311	311
01/02/2026 06:09:34	****01291	311 18 3658	4.38 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	86899	Hash	311	311
01/02/2026 13:46:02	****01321	311 18 3660	7.13 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	116718	MARTIN	311	311
01/02/2026 14:25:37	****00051	311 17 4535	12.3 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	85597	FLETCHER	311	311
01/02/2026 15:40:47	****01231	562 10 0502	24 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	114351	MCDANIEL	562	562
01/02/2026 16:55:21	****01901	411 RESCUE 2	18.5 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	7182	MCCAWLEY	411	411
01/02/2026 22:18:06	****01821	311 25 0626	14.4 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	12944	SEMKE	311	311
01/02/2026 22:25:46	****00534	311 16 8369	12.3 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	141144	TURNER	315	311
01/03/2026 00:35:12	****01981	311 25 0628	13.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	1341	Goode	311	311
01/03/2026 04:47:49	****01841	311 25 9123	6.42 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	12997	LUTTRELL	311	311
01/03/2026 07:14:24	****01271	311 18 4850	10 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	69785	ARNOLD	311	311
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01/03/2026 13:25:46	****01321	311 18 3660	5.51 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	116782	MARTIN	311	311
01/03/2026 13:37:21	****00811	311 17 2923	13.3 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117944	WARD	311	311
01/03/2026 17:48:51	****01871	311 25 8786	10.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	22871	simmons	311	311
01/03/2026 18:08:46	****01851	311 25 9080	10.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	8596	millar	311	311
01/03/2026 18:32:21	****00051	311 17 4535	10.4 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	85736	FLETCHER	311	311
01/03/2026 19:41:24	****01463	411 ENGINE 1	19.3 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	63158	NEIGHLEY	411	411
01/03/2026 22:27:16	****01302	311 18 9938	9.73 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	128314	KAYS	311	311
01/04/2026 03:25:34	****01351	311 18 3661	11.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	87312	Boileau	311	311
01/04/2026 05:54:30	****01841	311 25 9123	6.95 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13088	LUTTRELL	311	311
01/04/2026 09:23:46	****01321	311 18 3660	8.73 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	116864	MARTIN	311	311
01/04/2026 12:37:04	****00801	311 15 3007	9.49 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	119404	golliday	311	311
01/04/2026 13:49:16	****01831	311 25 8794	16.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13129	COLE	311	311
01/04/2026 21:07:34	****01471	411 603 COMMAND 3	7.46 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	49852	MARTINEZ	411	411
01/04/2026 21:48:43	****01261	311 18 4849	15.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	110745	MCFARLAND	311	311
01/05/2026 05:32:17	****00281	311 14 0892	8.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	110943	zumwalt	315	311

01/05/2026 05:58:20	****01841	311 25 9123	8.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13180	LUTTRELL	311	311
01/05/2026 12:41:31	****00801	311 15 3007	10.1 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	119538	golliday	311	311
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01/05/2026 14:11:10	****01362	411 604 FMARSHAL1	20.3 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	106140	o brien	411	411
01/05/2026 14:49:03	****00411	311 13 9181	8.95 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	82954	COMPTON	315	311
01/05/2026 15:02:06	****01901	411 RESCUE 2	15.9 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	7235	MCCAWLEY	411	411
01/05/2026 15:35:56	****01881	562 25 7873	13.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	9901	SIMMONS	562	562
01/05/2026 15:36:58	****00051	311 17 4535	10.4 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	85867	FLETCHER	311	311
01/05/2026 21:53:58	****00111	311 13 9781	13.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	139598	KAYS	311	311
01/06/2026 05:55:05	****01501	311 20 4189	12.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	57859	Galloway	311	311
01/06/2026 07:14:57	****01841	311 25 9123	6.67 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13245	13266 LUTTRELL	311	311
01/06/2026 07:34:44	****01741	311 23 7347	22.1 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	11277	Shouse	311	311
01/06/2026 13:31:09	****01421	411 LADDER 2	16 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	31774	NEIGHLEY	411	411
01/06/2026 13:45:59	****01311	311 18 3659	7.19 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	112219	SPINNER	311	311
01/06/2026 15:22:18	****01321	311 18 3660	8.18 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	116949	MARTIN	311	311
01/06/2026 17:50:20	****00051	311 17 4535	9.46 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	85998	FLETCHER	311	311
01/06/2026 21:54:08	****01261	311 18 4849	13.4 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	110897	McFARLAND	311	311
01/06/2026 21:55:29	****01302	311 18 9938	12.6 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	128437	KAYS	311	311
01/06/2026 22:21:36	****01861	311 25 7838	12.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	8522	DAVIS	311	311
01/07/2026 05:56:57	****01841	311 25 9123	5.89 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13308	LUTTRELL	311	311
01/07/2026 05:58:51	****01961	311 25 0638	18.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	824	Solomon	311	311
01/07/2026 06:13:53	****01291	311 18 3658	8.45 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	87017	Hash	311	311
01/07/2026 07:20:23	****00281	311 14 0892	9.37 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	111031	zumwalt	315	311
01/07/2026 10:23:54	****00801	311 15 3007	12.7 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	119709	golliday	311	311
01/07/2026 13:46:06	****01311	311 18 3659	7.04 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	112302	SPINNER	311	311
01/07/2026 14:19:37	****01781	411 602 COMMAND 2	20.3 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	21964	ZICKEFOOSE	411	411
01/07/2026 17:51:40	****01321	311 18 3660	4.68 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117022	MARTIN	311	311
01/07/2026 18:08:58	****01851	311 25 9080	10.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	8700	millar	311	311
01/07/2026 18:30:41	****01901	411 RESCUE 2	21.3 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	73316	7306 LAMBIDIN	411	411
01/07/2026 23:10:24	****01302	311 18 9938	10.1 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	128559	KAYS	311	311
01/08/2026 02:25:47	****01351	311 18 3661	8.14 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	87833	87381 Boileau	311	311
01/08/2026 02:35:56	****01981	311 25 0628	14.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	1514	Goode	311	311
01/08/2026 05:54:25	****01501	311 20 4189	10.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	57988	Galloway	311	311
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01/08/2026 07:31:53	****01271	311 18 4850	7.91 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	69904	ARNOLD	311	311
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01/08/2026 13:27:45	****00801	311 15 3007	12.7 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	119880	golliday	311	311
01/08/2026 13:37:32	****00811	311 17 2923	11.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	118095	WARD	311	311
01/08/2026 13:43:41	****01321	311 18 3660	4.45 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117076	MARTIN	311	311
01/08/2026 14:57:28	****01811	561 627 19 FORD	34.1 SUP	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	137686	139735 STEED	531	561
01/08/2026 15:00:45	****01881	562 25 7873	6.87 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	9995	MCDANIEL	562	562
01/08/2026 20:23:00	****01471	411 603 COMMAND 3	5.89 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	49917	flora	411	411
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01/08/2026 22:04:54	****01821	311 25 0626	16.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13173	SEMKE	311	311
01/09/2026 06:16:55	****01831	311 25 8794	6.66 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13192	Hash	311	311
01/09/2026 08:46:03	****01751	311 23 7303	19.6 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	36347	36923 simpson-brow	311	311
01/09/2026 12:13:32	****00901	311 17 4536	11.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	71054	McNulty	311	311
01/09/2026 13:52:34	****01321	311 18 3660	4.45 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117126	MARTIN	311	311
01/09/2026 15:38:48	****01961	311 25 0638	21.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	964	Solomon	311	311
01/09/2026 15:47:44	****00051	311 17 4535	1 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	86051	86011 FLETCHER	311	311
01/09/2026 17:58:37	****01951	311 25 0706	19.2 UNL	Quiktrip 7011	300 NW 27th St	Moore	OK	73160-3206	629	COLE	311	311
01/09/2026 18:03:59	****01851	311 25 9080	9.21 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	8766	millar	311	311
01/09/2026 19:02:57	****01731	311 23 7435	19.8 UNL	Quiktrip 0023	200 S Highway 97	Sand Springs	OK	74063	37966	37789 NUNNELEE	311	311
01/09/2026 19:47:55	****01871	311 25 8786	16.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	23116	simmons	311	311
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01/10/2026 09:24:09	****01841	311 25 9123	7.21 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13382	LUTTRELL	311	311
01/10/2026 09:39:42	****01463	411 ENGINE 1	14.1 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	63306	IRELAND	411	411
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01/10/2026 16:45:42	****00051	311 17 4535	10.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	86153	FLETCHER	311	311
01/10/2026 19:06:52	****00811	311 17 2923	13 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	118233	WARD	311	311
01/10/2026 21:12:48	****01321	311 18 3660	8.36 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117299	MARTIN	311	311
01/10/2026 22:33:27	****01302	311 18 9938	10 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	128684	KAYS	311	311
01/10/2026 23:20:39	****01351	311 18 3661	12.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	87493	Boileau	311	311
01/11/2026 01:12:59	****01981	311 25 0628	15.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	1666	Goode	311	311
01/11/2026 02:25:36	****01261	311 18 4849	13.3 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	110994	McFARLAND	311	311
01/11/2026 07:11:19	****01831	311 25 8794	6.01 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13344	Hash	311	311

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01/11/2026 19:57:09	****01971	311 25 0690	19.4 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	1377	MARKHAM	311	311
01/12/2026 02:19:42	****01302	311 18 9938	10.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	128787	KAYS	311	311
01/12/2026 04:32:25	****01531	311 20 4197	16.1 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	57072	MCFARLAND	311	311
01/12/2026 05:33:59	****00281	311 14 0892	6.74 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	111108	zumwalt	315	311
01/12/2026 05:55:31	****01841	311 25 9123	8.26 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13450	LUTTRELL	311	311
01/12/2026 10:26:56	****01471	411 603 COMMAND 3	6.52 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	49970	49994 knoepfel	411	411
01/12/2026 10:27:34	****00801	311 15 3007	13 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	120049	golliday	311	311
01/12/2026 12:39:39	****00351	311 13 4107	12.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	107915	parker	315	311
01/12/2026 12:42:21	****01421	411 LADDER 2	15.9 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	31823	KRIMBILL	411	411
01/12/2026 13:42:41	****00051	311 17 4535	12 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	86303	FLETCHER	311	311
01/12/2026 14:02:57	****01311	311 18 3659	5.92 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	112490	SPINNER	311	311
01/12/2026 15:00:35	****00411	311 13 9181	13.1 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	83127	COMPTON	315	311
01/12/2026 17:24:01	****01463	411 ENGINE 1	12.8 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	63353	CROWDER	411	411
01/13/2026 00:59:51	****01861	311 25 7838	11.7 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	8611	DAVIS	311	311
01/13/2026 03:22:38	****01302	311 18 9938	10.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	128897	KAYS	311	311
01/13/2026 05:54:12	****01841	311 25 9123	6.58 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13520	LUTTRELL	311	311
01/13/2026 07:56:43	****01931	561 199 25 FORD	10.3 UN+	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	2767	2806 SCOTTJ	561	561
01/13/2026 12:17:10	****00281	311 14 0892	10.7 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	111230	zumwalt	315	311
01/13/2026 13:16:55	****01271	311 18 4850	8.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	70031	ARNOLD	311	311
01/13/2026 15:30:27	****01321	311 18 3660	10 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117444	MARTIN	311	311
01/13/2026 15:40:26	****00341	411 UTILITY 2	20.2 UNL	Quiktrip 0121	12100 S Waco Ave	Sapulpa	OK	74066	123658	RHODES	411	411
01/13/2026 15:42:51	****01311	311 18 3659	6.11 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	112562	SPINNER	311	311
01/13/2026 16:20:20	****01421	411 LADDER 2	8.73 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	31856	SCHULTZE	411	411
01/13/2026 19:45:39	****01463	411 ENGINE 1	13.7 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	63414	KRIMBILL	411	411
01/13/2026 21:23:15	****00051	311 17 4535	8.23 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	86413	FLETCHER	311	311
01/13/2026 22:08:48	****00534	311 16 8369	12.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	141318	TURNER	315	311
01/13/2026 22:14:57	****01302	311 18 9938	7.11 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	129000	KAYS	311	311
01/14/2026 08:06:15	****02011	561 197 19 FORD	36.7 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	85547	GERJES	561	561
01/14/2026 08:12:48	****01831	311 25 8794	7.07 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13390	Hash	311	311
01/14/2026 08:29:31	****01841	311 25 9123	8.34 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13617	LUTTRELL	311	311
01/14/2026 09:18:31	****01761	311 23 7425	21.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	20725	Jackson	311	311
01/14/2026 09:33:23	****00801	311 15 3007	14.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	120230	golliday	311	311
01/14/2026 10:03:29	****01881	562 25 7873	11.7 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	10155	MCDANIEL	562	562
01/14/2026 10:16:32	****01811	561 627 19 FORD	33 SUP	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	137915	STEED	531	561
01/14/2026 10:49:09	****00301	411 UTILITY 1	30.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	50273	ARAGON	411	411
01/14/2026 11:28:50	****01281	311 18 0441	10.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	50312	SCOTTD	311	311
01/14/2026 11:44:43	****01341	311 18 9940	7.85 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	77928	73630 FOSTER	311	311
01/14/2026 13:45:35	****01321	311 18 3660	3.7 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117505	MARTIN	311	311
01/14/2026 13:51:44	****01311	311 18 3659	3.96 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	112610	SPINNER	311	311
01/14/2026 15:05:26	****01821	311 25 0626	16.9 UNL	Quiktrip 0121	12100 S Waco Ave	Sapulpa	OK	74066	13418	SEMKE	311	311
01/14/2026 15:55:54	****00231	311 17 2922	13 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	136892	CHANDLEE	311	311
01/14/2026 17:05:54	****01421	411 LADDER 2	12.8 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	31907	MCCAWLEY	411	411
01/14/2026 22:28:41	****01302	311 18 9938	10.4 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	129114	KAYS	311	311
01/14/2026 23:06:57	****01471	411 603 COMMAND 3	9.17 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	50060	flora	411	411
01/15/2026 04:30:01	****01981	311 25 0628	14.6 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	1808	Goode	311	311
01/15/2026 07:52:13	****01463	411 ENGINE 1	13.1 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	63475	CROWDER	411	411
01/15/2026 07:57:16	****01501	311 20 4189	15.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	58182	Galloway	311	311
01/15/2026 08:06:48	****01951	311 25 0706	15.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	804	COLE	311	311
01/15/2026 08:33:51	****01751	311 23 7303	20.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	36650	simpson-brow	311	311
01/15/2026 09:15:41	****01961	311 25 0638	18.5 SUP	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	1078	Solomon	311	311
01/15/2026 12:20:28	****01781	411 602 COMMAND 2	18.1 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	22183	ZICKEFOOSE	411	411
01/15/2026 13:11:05	****01831	311 25 8794	8.83 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13442	Hash	311	311
01/15/2026 13:39:28	****00811	311 17 2923	11.7 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	118373	WARD	311	311
01/15/2026 13:46:23	****01321	311 18 3660	5.86 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117557	MARTIN	311	311
01/15/2026 16:10:14	****00131	311 14 0890	8.18 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	108945	COMPTON	315	311
01/15/2026 16:11:38	****01851	311 25 9080	14.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	8926	8870 miller	311	311
01/16/2026 01:25:54	****01351	311 18 3661	10.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	87572	87640 Boileau	311	311
01/16/2026 08:15:46	****01421	411 LADDER 2	14.7 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	31955	LAMBBDIN	411	411
01/16/2026 11:15:22	****01231	562 10 0502	26.4 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	114540	MCDANIEL	562	562
01/16/2026 12:16:32	****01321	311 18 3660	3.99 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117605	MARTIN	311	311
01/16/2026 12:43:59	****01341	311 18 9940	11.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	78102	FOSTER	311	311
01/16/2026 12:47:21	****01871	311 25 8786	17.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	22397	23364 simmons	311	311
01/16/2026 13:08:52	****00901	311 17 4536	12.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	71249	Mcnulty	311	311
01/16/2026 21:59:34	****01861	311 25 7838	14.1 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	8727	DAVIS	311	311
01/17/2026 06:24:02	****01831	311 25 8794	5.12 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13504	Hash	311	311
01/17/2026 12:23:15	****01841	311 25 9123	12.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13754	LUTTRELL	311	311

01/17/2026 12:24:05	****01341	311 18 9940	6.99 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	78202	FOSTER	311	311
01/17/2026 12:59:26	****01463	411 ENGINE 1	14.4 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	63549	MCCAULEY	411	411
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01/17/2026 13:44:18	****00811	311 17 2923	2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	118502	118396 WARD	311	311
01/17/2026 13:47:52	****00811	311 17 2923	11 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	118502	118631 WARD	311	311
01/17/2026 13:50:54	****01321	311 18 3660	8.35 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117703	MARTIN	311	311
01/17/2026 13:53:48	****01311	311 18 3659	6.15 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	112662	SPINNER	311	311
01/17/2026 13:54:55	****01881	562 25 7873	7.93 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	10255	MCDANIEL	562	562
01/17/2026 15:02:23	****00051	311 17 4535	8.34 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	86532	FLETCHER	311	311
01/17/2026 21:55:29	****01261	311 18 4849	14.6 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	111127	MCFARLAND	311	311
01/17/2026 22:02:48	****01351	311 18 3661	10.7 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	87865	87722 Boileau	311	311
01/17/2026 22:24:09	****01302	311 18 9938	9.59 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	129225	KAYS	311	311
01/18/2026 01:39:38	****01981	311 25 0628	18.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	1998	Goode	311	311
01/18/2026 08:11:41	****00801	311 15 3007	13.5 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	120404	golliday	311	311
01/18/2026 09:53:37	****01951	311 25 0706	16.1 SUP	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	941	COLE	311	311
01/18/2026 11:12:24	****01311	311 18 3659	6.36 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	112726	SPINNER	311	311
01/18/2026 13:57:26	****01321	311 18 3660	6.19 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117769	MARTIN	311	311
01/18/2026 17:56:04	****01851	311 25 9080	10.2 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	9033	miller	311	311
01/19/2026 06:00:47	****01841	311 25 9123	10.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13868	LUTTRELL	311	311
01/19/2026 07:31:59	****01463	411 ENGINE 1	15.9 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	63622	IRELAND	411	411
01/19/2026 08:29:26	****01901	411 RESCUE 2	12.5 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	7438	SCHULTZE	411	411
01/19/2026 08:56:43	****01731	311 23 7435	18.9 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	38095	38233 NUNNELEE	311	311
01/19/2026 09:10:59	****01501	311 20 4189	3.54 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	58239	58224 Galloway	311	311
01/19/2026 09:21:04	****01321	311 18 3660	8.08 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	117850	MARTIN	311	311
01/19/2026 12:32:19	****00281	311 14 0892	9.84 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	111327	zumwalt	315	311
01/19/2026 13:42:28	****00051	311 17 4535	12 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	86674	FLETCHER	311	311
01/19/2026 13:57:57	****01311	311 18 3659	8.34 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	112807	SPINNER	311	311
01/19/2026 16:00:50	****01471	411 603 COMMAND 3	10 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	50170	LAMBIDIN	411	411
01/19/2026 16:52:13	****01421	411 LADDER 2	14.8 DSL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	62005	32001 IRELAND	411	411
01/19/2026 18:26:05	****00534	311 16 8369	8.82 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	141438	TURNER	315	311
01/19/2026 21:41:15	****01821	311 25 0626	11.1 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13576	SEMKE	311	311
01/20/2026 02:03:55	****01971	311 25 0690	19.3 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	1677	MARKHAM	311	311
01/20/2026 02:46:17	****01261	311 18 4849	16 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	111239	MCFARLAND	311	311
01/20/2026 05:54:22	****01841	311 25 9123	5.63 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	13924	LUTTRELL	311	311
01/20/2026 07:02:14	****01341	311 18 9940	9.22 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	78000	78334 FOSTER	311	311
01/20/2026 07:45:04	****02011	561 197 19 FORD	30.8 UNL	Quiktrip 0101	712 S Elm St	Jenks	OK	74037	85723	GERJES	561	561
01/20/2026 07:49:14	****01362	411 604 FMARSHAL1	23.2 UNL	Quiktrip 0121	12100 S Waco Ave	Sapulpa	OK	74066	106409	o brien	411	411
01/20/2026 11:18:46	****01781	411 602 COMMAND 2	8.95 UNL	Quiktrip 0121	12100 S Waco Ave	Sapulpa	OK	74066	22286	ZICKEFOOSE	411	411
01/20/2026 11:22:38	****01991	411 2026 BRUSH 1	20.3 UNL	Quiktrip 0121	12100 S Waco Ave	Sapulpa	OK	74066	172	o brien	411	411
01/20/2026 11:23:52	****01991	411 2026 BRUSH 1	26.7 UNL	Quiktrip 0121	12100 S Waco Ave	Sapulpa	OK	74066	124	WATKINS	411	411
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2026 Regional Legislative Agenda

STATE PRIORITIES

ENSURING A PROSPEROUS ECONOMY

Create a Dedicated Funding Stream for Economic Development: The OneVoice Regional Legislative Coalition recommends the establishment of a permanent, dedicated funding source for economic development in Oklahoma. Currently, the state lacks a consistent funding mechanism for incentives, while nearly all of our competitor states maintain dedicated resources to recruit and retain jobs and capital investment. At the same time, the planned reduction of Oklahoma's state income tax threatens to eliminate our most effective incentive tool, the Quality Jobs program over the coming years. To remain competitive, Oklahoma must secure a stable funding stream for economic development that does not rely on project-by-project approvals or annual legislative intervention. Potential revenue sources include sports betting, settlement funds such as PFAS or other emerging opportunities, as well as other innovative streams. By creating a reliable and forward-looking mechanism, Oklahoma can strengthen its ability to attract investment, grow jobs and ensure long-term economic vitality.

Strengthen Accessible and Workforce Housing: The OneVoice Regional Legislative Coalition supports efforts to expand accessible and workforce housing as a critical economic and workforce development strategy. Rising housing costs have outpaced wages at a ratio of 5 to 1, leaving many essential workers (teachers, health care providers, first responders and service industry professionals) unable to comfortably afford available housing. This weakens labor markets, increases turnover and disrupts student learning, with unstable housing contributing to chronic absenteeism and lower graduation rates. To address these challenges, we urge lawmakers to revisit the rulemaking of the \$215 million Oklahoma Housing Stability Fund to ensure the program can be used alongside Low-Income Housing Tax Credits, streamline applications, eliminate unnecessary costs and restructure the urban/rural split to make the program more equitable. Targeted investment in financially accessible housing will strengthen Oklahoma's workforce, attract new employers and improve educational outcomes, while ensuring all Oklahomans have access to safe, stable, attainable housing.

Increase the Oklahoma Department of Tourism's Promotional Fund: The OneVoice Regional Legislative Coalition urges lawmakers to increase the Oklahoma Department of Tourism's Promotional Fund. Tourism is Oklahoma's third-largest industry, generating \$12.3 billion in economic impact, supporting 108,000 jobs and contributing \$875 million in tax revenue in 2023. To build on this success – especially as we approach the 2026 centennial of Route 66 – the OneVoice Regional Legislative Coalition supports increased funding for the Oklahoma Tourism and Recreation Department. Surrounding states invest more aggressively to attract visitors and Oklahoma must compete. With our unmatched stretch of Route 66, stunning state parks, world-class museums and cultural institutions, rich Native American heritage and thriving communities, greater investment will ensure we can promote, maintain and expand the assets that make Oklahoma a premier destination for national and international travelers.

Continue to Foster Healthy Partnership Between the 38 Federally Recognized Tribes and the State of Oklahoma: The OneVoice Regional Legislative Coalition supports continued efforts to foster and strengthen healthy partnerships between the 38 federally recognized tribes and the State of Oklahoma. These government-to-government relationships are essential to advancing shared goals of economic growth, public health, education and cultural preservation. By encouraging collaboration and mutual respect, Oklahoma can capitalize on its largest competitive advantage, ensuring more effective policy outcomes that benefit tribal citizens, the broader population and the state as a whole.

Support Oklahoma's Film and Music Industries: The OneVoice Regional Legislative Coalition supports protecting and expanding Oklahoma's film and music incentive programs to drive jobs, investment and cultural vibrancy. With the film sector generating more than \$200 million in direct impact in 2024, we urge raising the film incentive rebate cap to \$80 million and pursuing targeted incentives for local music venues and artists. Defending existing programs while expanding funding will keep Oklahoma competitive with neighboring states, attract productions, grow a skilled workforce and strengthen the state's creative economy.

Expand Supports for Working Families: The OneVoice Regional Legislative Coalition recognizes that too often parents and caregivers leave or remain out of the workforce because essential family supports are not available or accessible. To address this challenge, the coalition supports state policies and funding that remove barriers, expand accessibility and invest in the future workforce, our children. This includes expanding access to affordable, quality dependent care, including before and after school and summer programs, so parents can maintain financial stability, well-being and employment. Further, we support expanding access to no-cost or low-cost meals and transportation assistance to eliminate financial disincentives for families earning below the poverty line or just above benefit thresholds. In addition, providing access to health and mental health supports will improve attendance, productivity and family stability. Advancing these policies will increase labor force participation, reduce turnover and strengthen both local and state economies.

BUILD INFRASTRUCTURE CRITICAL TO BUSINESS

Continue and Increase Investment in Site Readiness: The OneVoice Regional Legislative Coalition urges the Oklahoma Legislature to continue and expand funding for site readiness. Companies looking to expand or relocate often move quickly and without shovel-ready sites, Oklahoma risks losing investment to better-prepared states. Site readiness funding helps communities ensure land is equipped with infrastructure, utilities and certifications, making Oklahoma more competitive in the national marketplace. These investments pay off through new capital investment, quality job creation and long-term tax revenue. By strengthening site readiness programs, the Legislature can position Oklahoma for sustained growth and secure opportunities for the next generation of workers.

Support Critically Needed Transportation Funding: The OneVoice Regional Legislative Coalition supports full funding of the Oklahoma Department of Transportation's Eight-Year Plan to return our streets and highways to a state of good repair. We further support investment in studies, planning and highway improvements necessary to upgrade the US-412 corridor between I-35, Tulsa and Northwest Arkansas to Federal Interstate standards. We support increased state appropriations to ODOT to ensure the effective and efficient construction, maintenance and improvement of all transportation facilities under its responsibility. We oppose the diversion of resources from the State Transportation Fund to other uses and support equitable distribution of state funding to ODOT Districts to keep Oklahoma's transportation network strong for citizens, businesses and industry.

Ensure Adequate Funding for Municipalities: The OneVoice Regional Legislative Coalition urges the legislature to protect existing sources of municipal funding, as Oklahoma is one of the few states that relies primarily on sales tax collections to fund municipal operations. To ensure that essential services such as public safety, public works and other municipal functions are supported at sustainable levels, we encourage the legislature to explore more stable and diversified revenue streams. In addition, we support the continued appropriation of one-time funds to assist with critical economic development projects, such as recent investments in levee improvements and the Tulsa Airman Center.

Implement Policies to Expedite Deployment of Critical Energy Infrastructure: The OneVoice Regional Legislative Coalition supports strengthening and promoting Oklahoma's energy network. We urge the state to implement policies that accelerate the deployment of critical infrastructure- particularly transmission lines and pipelines. This includes streamlining permitting, supporting timely construction of approved projects and investing in long term maintenance and modernization. To ensure reliability while new projects are underway, we recommend interim solutions such as grid-enhancing technologies that increase electricity flow and reduce congestion costs. Additionally, we support enhanced protections for critical infrastructure against unauthorized low-altitude aerial activity. These measures will help safeguard infrastructure, maintain operational integrity and ensure

public safety. By prioritizing these actions, Oklahoma can reinforce its energy leadership, meet rising demand and drive sustained economic growth across the state.

EDUCATED AND HEALTHY WORKFORCE

Address Mental Health and Homelessness Funding Modifications:

The OneVoice Regional Legislative Coalition supports investing in mental health, addiction treatment and homelessness wrap-around services by increasing Medicaid reimbursements for both outpatient and inpatient care. Improved reimbursements will sustain providers, expand access and help Oklahoma remain on par with surrounding states. Because Oklahomans are facing mental health crises at record rates and families are experiencing rising housing instability, the future of our workforce and communities is at risk. Solutions should include expanding inpatient and adolescent detox capacity, strengthening the behavioral health workforce, ensuring school-based support, enforcing mental health parity, fostering public-private partnerships and requiring managed care organizations to address social determinants of health, including housing security. By addressing mental health, addiction and homelessness together, Oklahoma can reduce strain on emergency services, provide stability for families and build healthier communities within Oklahoma.

Increase Appropriations to the Trauma Care Assistance Revolving Fund: The OneVoice Regional Legislative Coalition supports increased state appropriations to the Trauma Care Assistance Revolving Fund to offset uncompensated care losses for hospitals, ambulance services and physicians in Oklahoma's trauma care system. Oklahoma has historically lagged the nation in per capita Level I Trauma Centers. With Ascension St. John and Saint Francis Health System both achieving this designation, the demand on the trauma fund has grown. Oklahoma's overall injury mortality rate is 29% higher than the national average, underscoring the urgent need to expand trauma care capacity and ensure sufficient funding for these lifesaving services.

Create a Sustainable Future for Workforce Development and Higher Education in

Oklahoma: The OneVoice Regional Legislation Coalition asks state leaders to prioritize collaboration across pre-k-12 and post-secondary entities including, but not restricted to CareerTech, higher education and industry-recognized training programs in order to maximize our resources in securing quality and sustainable career pathways. Empower higher education to create a comprehensive vision for developing Oklahoma's 21st century workforce. The coalition further encourages the Oklahoma Legislature to work with OSHRE to define "credential of value"; review the State Regents systemwide strategic plan, Blueprint 2030; incentivize engagement of employers through work-based learning, experiential and/or applied learning; support research, development and innovation at higher education

institutions: and provide adequate resources for our higher education institutions, career tech and the Oklahoma Workforce Commission that meet the demands of Oklahoma's evolving workforce to ensure success for all students and adult learners.

Support Strategic Investments in Public Education: The OneVoice Regional Legislative Coalition recognizes the vital role public education plays in building a strong workforce and driving economic growth. While recent investments to support teachers and students are appreciated, Oklahoma must do more to address teacher shortages, close achievement gaps and maintain high-quality facilities for student learning. We support sustained increases in per pupil funding and competitive teacher pay to strengthen the educator pipeline, along with expanded access to early childhood education, afterschool enrichment and innovative career pathways. We also support aligning curriculum and assessments with high-demand industries and fostering stronger partnerships among schools, employers and higher education to prepare students for success. These strategic investments will improve outcomes, close opportunity gaps and ensure a skilled workforce that strengthens Oklahoma's ability to compete regionally and nationally.

Expand Health Care Workforce Opportunities: The OneVoice Regional Legislative Coalition supports a well-trained and accessible healthcare workforce, which is crucial to the success of Tulsa area businesses and the local economy. A healthy and well-supported workforce boosts productivity, reduces costs associated with absenteeism and burnout, fosters innovation and ensures our community's overall health and well-being. Strengthening the pipeline of the state's healthcare workforce requires utilizing state and federal resources to address health care workforce shortages to meet the needs of an aging and diverse population. The OneVoice Regional Legislative Coalition supports the expansion of health care residency opportunities and positions statewide through: prioritizing expanded funding for the Health Care Workforce Training Commission; providing opportunities across the continuum for health care loan repayment as an incentive for workers; and supporting full funding and implementation of the behavioral health workforce development fund to increase psychiatric residencies, master's-level licensure cohorts and training pipeline development.

FEDERAL PRIORITIES

ENSURING A PROSPEROUS ECONOMY

Renew the American Indian Lands Tax Credit: The OneVoice Regional Legislative Coalition encourages the renewal of the Federal American Indian Lands Tax Credit that applies retroactively and is renewed for a multi-year period into the future. The American Indian Lands Tax Credit is a key economic development tool for Oklahoma, allowing employment tax credits when employing tribal members or their spouses and the accelerated depreciation of investments made on former reservation land. Oklahoma has the largest percentage of American Indian population in the country and more than two-thirds of the state qualifies for this incentive. Extending the credit and ensuring its benefits are retroactive to its expiration, is critical in fostering continued business expansion of employment and investment in Oklahoma.

Expand Availability of Quality, Affordable Childcare: The OneVoice Regional Legislative Coalition supports the expansion of high quality and affordable childcare resources. The rising cost and scarce availability of quality childcare represents a significant constraint on Oklahoma's workforce and is a direct barrier to workforce participation. The childcare crisis is costing the Oklahoma economy an estimated \$1.2 billion annually in lost earnings, productivity and turnover. The OneVoice Legislative Coalition urges the federal government to support state programs that invest in families, such as Scholars for Excellence in Child Care, to aid in the state's expansion of childcare. The Coalition also supports increased subsidies through Federal programs such as the Child Care Development Fund to ensure workforce families can access affordable, reliable care.

Support downtown revitalization efforts to help address housing shortage: The OneVoice Regional Legislative Coalition supports legislative efforts such as the bipartisan Revitalizing Downtowns and Main Streets Act, which would help communities convert unused office space into affordable housing and mixed-use projects. Modeled after the successful Historic Tax Credit, the proposal creates a Qualified Office Conversion Tax Credit equal to 20 percent of qualified expenses for repurposing obsolete commercial buildings. To qualify, at least 20 percent of a project's units must be reserved for households earning no more than 80 percent of Area Median Income or meet local affordability requirements. This tool would help address Oklahoma's housing shortages by bringing new units online quickly, while also preventing further decay and spurring reinvestment in downtowns and main streets. It could immediately advance more than ten projects in Downtown Tulsa, with significant impact across the region and state.

Increase Accessible and Workforce Housing Supply: The OneVoice Regional Legislative Coalition supports federal action to expand accessible and workforce housing as a critical economic and workforce development strategy. Rising housing costs have outpaced wages at a ratio of five to one, leaving many essential workers such as teachers, health care

providers, first responders and service industry professionals unable to comfortably afford available housing. This weakens labor markets, increases turnover and disrupts student learning, with unstable housing contributing to chronic absenteeism and lower graduation rates. To address these challenges, we support expanded HUD and EDA funding, more flexible housing tax credits, incentives for adaptive reuse and zoning reform and financing programs that lower costs for workforce housing development.

BUILD INFRASTRUCTURE CRITICAL TO BUSINESS

Preserve and Expand Federal Historic Tax Credits: The OneVoice Regional Legislative Coalition supports expanding Federal Historic Tax Credits through initiatives like the Historic Tax Credit Growth and Opportunity Act. For over 30 years, these credits have encouraged private investment to preserve historic buildings and revitalize city cores. We support increasing the rehabilitation tax credit and modifying eligibility rules by lowering the rehabilitation threshold from 100% to 50% of project expenses, eliminating the basis adjustment requirement while increasing the credit to 30% for certain small projects and extending the credit to include historic school buildings still in use through the School Infrastructure Modernization Act. These measures will strengthen preservation efforts, stimulate investment and maintain the historic character of communities nationwide.

Support Timely Implementation of Improvements to US-412 to Bring the Corridor up to Interstate Standards: The OneVoice Regional Legislative Coalition supports upgrading the US-412 corridor to interstate standards and implementing its federal designation as future Interstate 42 from I-35 in Oklahoma to I-49 in northwest Arkansas. We call on ODOT and our congressional delegation to actively pursue funding initiatives and opportunities to complete this project quickly, as it will improve safety, enhance travel time reliability, strengthen connections between the Tulsa Metropolitan Area and northwest Arkansas and elevate the region's visibility and economic development potential at the national level.

Accelerate Permitting of Energy and Infrastructure Projects: The OneVoice Regional Legislative Coalition strongly supports efforts to accelerate federal permitting for projects necessary to achieve domestic energy independence and complete infrastructure projects. Legislative and Administrative efforts should focus on ensuring concurrent and timely permitting for all federally required approvals and encourage coordination and communication with state permitting. These projects would create a boom in the U.S. domestic economy, support job creation, strengthen our trade balance and increase product security and price stability on a global scale.

Pursue Congressionally Directed Spending Requests: The OneVoice Regional Legislative Coalition urges Congress and our congressional delegation to prioritize securing appropriations and federal grants for Northeast Oklahoma. To ensure that funding opportunities remain in our region, we must proactively and aggressively pursue all avenues of federal funding. These investments are critical to advancing economic development,

strengthening infrastructure and enhancing the overall quality of life for the communities we serve.

Support the Tulsa Space Test Center: The OneVoice Regional Legislative Coalition supports full federal engagement in the Tulsa Space Test Center, a critical facility advancing American leadership in space and strengthening our economy. Space is now both an operational warfighting domain and a fast-growing commercial sphere. To remain competitive and leverage new markets, spacecraft must move effectively in orbit, requiring next-generation propulsion systems. Developing these systems demands testing capacity the United States currently lacks. Oklahoma, Tulsa and private industry are investing in the Tulsa Space Test Center to help close this gap, providing infrastructure for commercial firms, research institutions and government agencies to bring new propulsion technologies to market. We ask the Oklahoma Congressional Delegation to support federal funding that enhances the Center's capabilities. Strengthening this facility will position Tulsa as a premier destination for propulsion testing, drive economic growth, create high-quality jobs and secure American preeminence in space.

Pursue all Funding to Address Infrastructure Needs and Support Federal Reauthorization of Surface Transportation: The OneVoice Regional Legislative Coalition supports pursuing all available federal funding opportunities, including competitive grants such as INFRA, MEGA, BUILD, the Bridge Investment Program and congressional directed funding, to implement critical regional transportation projects in partnership with ODOT and local and tribal governments. Priority projects include expressway-to-expressway interchanges with I 44, US 169 and SH 51; grade-separated interchanges and bridges on US 412 to meet interstate standards and secure I 42 designation; a new arterial bridge across the Navigation Channel at 71st Street to improve access to the Port of Inola Industrial Park; and a new south Tulsa bridge over the Arkansas River, along with other high-priority regional projects. We further support timely reauthorization of federal surface transportation programs with increased reliance on predictable formula grants for flexibility and streamlined competitive grants that reduce cost and administrative burden.

EDUCATED AND HEALTHY WORKFORCE

Support the Permanent Extension of the ACA's Current Premium Tax Credits: The OneVoice Regional Legislative Coalition supports the permanent extension of the Affordable Care Act's (ACA) current premium tax credits. Today, more than 300,000 Oklahomans receive critical tax credits to make quality, comprehensive health insurance coverage more affordable. These are hard-working Americans, such as small business owners, farmers, hourly workers, early retirees, entrepreneurs, etc., who purchase health insurance coverage on their own because they do not have access to large employer-sponsored coverage. By some estimates, more than 100,000 Oklahomans, both individuals and small business owners, will see their insurance premiums rise by almost 40% if credits lapse, driving up

Oklahoma's already high uninsured rate. The impact is far-reaching and will negatively affect Oklahoma's workforce. Nationally, more than 5 million people could become uninsured if Congress does not extend these tax credits. As the uninsured rate rises, hospitals and providers are faced with growing uncompensated care, impacting their ability to serve their communities and maintain the existing healthcare workforce.

Increase Funding for Hospitals and Healthcare Entities: The OneVoice Regional Legislative Coalition encourages federal lawmakers to engage local hospital leadership in solutions that address modifications to Medicaid made by the One Big Beautiful Bill Act. Tulsa region hospitals will see a loss of \$36 million in state fiscal year (SFY) 2029 with a cumulative impact of \$1.64 billion over the next ten years. Due to additional modifications made by the OBBBA, the Tulsa community is expected to see an increase in the uninsured population, further straining hospital resources to provide comprehensive care.

Protect and Strengthen Healthcare Workforce: The OneVoice Regional Legislative Coalition encourages a strong and healthy pipeline for the healthcare workforce. Healthcare across the country is facing historic workforce shortages. As Oklahoma expands our own education and training programs, enhance violence prevention efforts and address other clinician concerns, we urge Congress to support policies that replenish and strengthen the healthcare workforce, including increasing the number of Graduate Medical Education slots, expanding and improving loan repayment programs for nursing students and helping nursing schools recruit and retain qualified faculty and preceptors. Congress should also pass the SAVE Act which aims to protect healthcare workers from violence by enhancing penalties for people who assault them and providing hospitals with additional security and training resources.

Modernize Federal Immigration Policy to Attract and Retain Global Talent: The OneVoice Regional Legislative Coalition supports comprehensive federal immigration reform to strengthen America's competitiveness and meet workforce needs. Employers across all industries depend on access to international talent to fill critical skill gaps and drive innovation. Congress should modernize visa programs like H-1B, H-2B and F-1, streamline processing and ensure fair, efficient and affordable access for employers of all sizes. The Coalition also supports legislation such as the Dream Act to provide a pathway to legal status for undocumented youth educated in U.S. schools, helping grow a skilled, future-ready workforce.

Reform Federal Financial Aid: The OneVoice Regional Legislative Coalition supports reforming federal financial aid to align with today's workforce needs. Recent legislation will reduce access to federal aid dollars for students pursuing higher education, including for students pursuing graduate and professional degrees like health care. Restoring this access is essential to addressing workforce shortages and maintaining Oklahoma's talent pipeline.

We support simplifying student loans by eliminating interest and replacing it with a one-time, non-compounding origination fee, paired with income-based repayment plans. Federal aid eligibility should also expand to include short-term, industry-driven training programs and loan forgiveness should prioritize graduates in high-demand fields. These reforms will improve affordability, strengthen career readiness and ensure all students have opportunities to access the education and training needed to meet Oklahoma's workforce demands.



CITY OF JENKS
211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
PHONE (918) 299-5883 • FAX (918) 299-4489

MEMORANDUM

To: **Christopher Shrout, City Manager**
F. Robert Carr, Jr., P.E., Assistant City Manager

From: **Anthony Wilkins, P.E., City Engineer**

Date: **January 29, 2026**

Subject: **Elm Street Widening Project (111th Street to 121st Street)**
Phase 1 – Change Order Number 4

A contract for the South Elm Street Widening Project (111th Street to 121st Street), Phase 1, was awarded to Paragon Contractors, LLC (Tulsa, Oklahoma) on November 5, 2024, in the total amount of \$9,117,017.68. A portion of the award in an amount of \$490,857.99 was specific to construction of a trail on 116th Street (Elm Street east to 1st Street) (see attached map). Since the award, there have been three (3) approved change orders.

The trail was designed immediately adjacent to or over an existing 8-inch water line. After the contractor had mobilized and started site investigation, it was determined that the water line was asbestos-cement (AC). Asbestos is known to be a health hazard when fibers from the pipe become airborne. The pipe also becomes brittle with age due to gradual pipe degradation, can easily crack, is failure-prone, and cannot withstand normal high water system pressures. This type of water line material has not been produced since the early 1970's.

Our contractor indicated that the designed alignment of the trail presents a significant risk to the integrity of the AC water line during the trail construction for the following reasons:

- The trail construction requires soil vibration and compaction that could damage the pipe.
- Unless full subgrade compaction could be achieved, they would not provide a warranty for this portion of trail work.
- Even if full compaction could be achieved, there is a high likelihood the existing AC water line could be compromised during or after construction.
- Undetected damage caused during construction may lead to future failures not immediately attributable to construction activities.

The original contract did not account for the replacement of this water line. In order to address the above issues, city engineering staff prepared a design plan to move the water line away from the trail. A total of approximately 1,900 linear feet of 8-inch PVC and associated fittings was shown to be relocated. The contractor was requested to provide a cost for this work. Attached is their cost estimate in the amount of \$269,341.05. This new water line construction cost and the trail portion of the project add to a total of \$760,199.04.

The following exclusions related to this scope change and fee were stated which could add additional costs to this work:

1. Any private utility modifications or relocations
2. Testing, permitting, and all associated Infrastructure Development Process and Right of Way fees
3. Bonds
4. Surveying or control
5. Rock excavation and/or blasting
6. Handling or removal of hazardous materials (e.g., asbestos)

To protect the existing infrastructure, avoiding future damages resulting from potential pipe failure, and maintain project cost control, staff recommends the trail portion of this project be removed from the current contract scope. Both the trail and water line replacement would be considered in a future project that would be designed to enable application for applicable grant funding.

A Change Order (Number 4) removing the trail portion of the project from the original award has been submitted by the contractor in the deductive amount of \$422,467.24 (see attached). This document has been negotiated and reviewed by our contracted inspection team (Standard Engineering) with engineering staff concurrence. The resulting amended total contract amount will be \$9,164,959.01. No modification to the contract days is requested.

Staff recommends approval of Change Order No. 4 for the South Elm Street Widening Project (111th Street to 121st Street), Phase 1, submitted by Paragon Contractors, LLC, in the deductive amount of \$442,467.24, resulting in a revised contract total of \$9,164,959.01 to be reflected in the 2020 G.O. Bond funds (Account No. 27-840-5393).

Attachments:

- 116th St – Trail Site Map
- 116th St - 8" Water Line Estimate of Cost from Paragon Contractors
- Summary of costs included in Change Order No. 4



Date: 8/11/2025

Re: 116th St Waterline Change Order

Paragon Contractors is pleased to submit a change order on the above referenced project.

The scope of our quote reflects: Existing site conditions.

SCOPE OF WORK:

FURNISH ALL LABOR, MATERIALS AND EQUIPMENT:

Discreption	Unit	Price	Total
8" PVC Waterline	LF	\$123.51	\$234,669.00
Tie-in	EA	\$6,934.41	\$34,672.05
		Total:	\$269,341.05

Exclusions:

1. Any utility changes.
2. Testing / Permits / Fees / IDP Fees and Permits / ROW Fees and Permits
3. Bonds
4. Survey / control
7. Rock excavation and or blasting
11. Removal or handling of hazardous materials.

Any item not shown above

Sincerely,

Eric Shears
Eric@ParagonTulsa.com
(918)270-0037
(918) 582-8800

SECTION 00600
CHANGE ORDER

PROJECT: South Elm Street Widening Project (W. 111th Street to W. 121st Street)

CHANGE ORDER NUMBER: 004

DATE: January 06, 2026

CONTRACT DATE: January 06, 2025

CONTRACT FOR: South Elm Street Widening (W111th to W 1121st)
and 116th Street Trail

TO CONTRACTOR: Paragon Contractors LLC

The Contract is changed as follows:

Not valid until signed by the Owner and Contractor

The original Contract Sum was

\$ 9,117,017.68

Net change by previously authorized Change Orders

\$ 490,408.57

The Contract Sum prior to this Change Order was

\$ 9,607,426.25

The Contract Sum will be (increased) (~~decreased~~) (unchanged) by this
Change Order in the amount of

\$ -442,467.24

The new Contract Sum including this Change Order will be

\$ 9,164,959.01

The Contract Time will be (increased) (decreased) (~~unchanged~~) by _____ days.

The date of Substantial Completion as of the date of this Change Order therefore is March 06 2026
~~2024~~.

NOTE: This summary does not reflect changes in the Contract Sum Time which have been authorized by Construction Change Directive.

CONTRACTOR: Paragon Contractors LLC

OWNER: City of Jenks

ADDRESS: 2108 N David Patrick Ave
Tulsa, OK 74116

ADDRESS: 211 N Elm
Jenks, OK 74037

BY: 

BY: _____

DATE: 1-22-2026

DATE: _____

City of Jenks
Change Order #04
S. Elm St. Widening 121st to 111th

General Description: This change order adjusts the quantity of items existing pay items on the contract. During construction, the City of Jenks decided to remove the work for the trail section on 116th Street. This change order removes all unused quantities for pay items associated with the trail plans. Quantity adjustments were made to 7 pay items (198, 203, 204, 205, 206, 207, and 210) to account for materials ordered by contractor to be taken from City of Jenks warehouse stock.

Description	Unit	Price/unit	Contract Quantity	Contract Total	Change Order Quantity	Change Order Total
Pay Item 181 Clearing & Grubbing	LS	\$11,273.53	1	\$11,273.53	-1.00	-\$11,273.53
Pay Item 182 Unclassified Excavation	CY	\$34.53	650	\$22,444.50	-650.00	-\$22,444.50
Pay Item 183 Unclassified Borrow	CY	\$429.53	3	\$2,147.65	-3.00	-\$2,147.65
Pay Item 184 Temporary Silt Fence	LF	\$9.74	225	\$2,191.50	0.00	\$0.00
Pay Item 185 Temporary Sediment Filter	EA	\$736.59	1	\$736.59	-1.00	-\$736.59
Pay Item 186 Temporary Inlet Sediment Filter	EA	\$281.03	3	\$843.09	-3.00	-\$843.09
Pay Item 187 Solid Slab Sodding	SY	\$3.64	1500	\$5,460.00	-1,500.00	-\$5,460.00
Pay Item 188 6" Aggregate Base Type A Driveway	CY	\$112.22	27	\$3,029.94	-27.00	-\$3,029.94
Pay Item 189 8" Subgrade Method B	SY	\$1.52	2839	\$4,315.28	-2,839.00	-\$4,315.28
Pay Item 190 4" Superpave Type 54 (PG 64-22OK)	TON	\$118.09	546	\$64,477.14	-546.00	-\$64,477.14
Pay Item 191 Class A Concrete, Small Structures JBOX	CY	\$1,659.46	10	\$16,594.60	-10.00	-\$16,594.60
Pay Item 192 Reinforcing Steel JBOX and HDWALL	LB	\$12.01	151	\$1,813.51	-151.00	-\$1,813.51
Pay Item 193 Combined Curb and Gutter 6" Barrier	LF	\$57.36	1931	\$72,142.16	-1,931.00	-\$72,142.16
Pay Item 194 4" Concrete SW/Trail Woodchairs Raupps	SY	\$60.96	120	\$7,315.20	-120.00	-\$7,315.20
Pay Item 195 6" Concrete Driveway	SY	\$101.05	31	\$3,132.55	-31.00	-\$3,132.55
Pay Item 196 6" Asphalt Driveway	TON	\$293.66	42	\$12,333.72	-42.00	-\$12,333.72
Pay Item 197 Traffic Warning Device	SF	\$23.11	10	\$231.10	-10.00	-\$231.10
Pay Item 198 Inlet W/SMALL JCT CICI DES 2	EA	\$9,890.56	2	\$19,781.12	-1.00	-\$10,780.06
Pay Item 199 Inlet CICI DES 2	EA	\$8,753.70	1	\$8,753.70	-1.00	-\$8,753.70
Pay Item 200 Junction Boxes W/Special Openings	CF	\$210.86	163	\$34,370.18	-163.00	-\$34,370.18
Pay Item 201 Manhole Adjust to Grade	EA	\$1,984.09	1	\$1,984.09	-1.00	-\$1,984.09
Pay Item 202 Valve Boxes Adjust To Grade	EA	\$422.90	6	\$2,537.40	0.00	\$0.00
Pay Item 203 18" Corrugated Polypropylene Pipe	LF	\$153.12	66	\$10,105.92	-59.02	-\$9,036.72
Pay Item 204 36" Corrugated Polypropylene Pipe	LF	\$158.77	31	\$4,921.87	-21.53	-\$3,421.78
Pay Item 205 8" PVC Pipe with Restrained Joints	LF	\$100.21	152	\$15,231.92	-119.72	-\$11,997.36
Pay Item 206 8" Gate Valve RJ	EA	\$2,418.08	4	\$9,672.32	-1.77	-\$6,268.32
Pay Item 207 Standard Valve Box	EA	\$500.58	4	\$2,002.32	-3.81	-\$1,906.32
Pay Item 208 Valve Box Extension	EA	\$818.57	4	\$3,274.28	-4.00	-\$3,274.28
Pay Item 209 8" Solid Sleeve	EA	\$442.89	4	\$1,771.56	-4.00	-\$1,771.56
Pay Item 210 8" 22 1/2 Degree Fittings	EA	\$546.89	8	\$4,375.12	-5.89	-\$3,218.72
Pay Item 211 Removal of Structures & Obstructions	LSUM	\$67,670.32	1	\$67,670.32	-1.00	-\$67,670.32
Pay Item 212 Removal of Concrete Driveway	SY	\$144.99	31	\$3,564.69	-31.00	-\$3,564.69
Pay Item 213 Removal of Asphalt Driveway	SY	\$72.97	125	\$9,146.25	-125.00	-\$9,146.25
Pay Item 214 Sawing Pavement	LF	\$2.70	1921	\$5,213.70	-1615.00	-\$4,360.80
Pay Item 215 Pipe Railing	LF	\$288.91	11	\$3,178.01	-11.00	-\$3,178.01
Pay Item 216 Mobilization	LS	\$39,551.79	1	\$39,551.79	-1.25	-\$39,887.93
Pay Item 217 Remove & Re-Set Ground Mounted Sign	EA	\$231.13	3	\$693.39	-3.00	-\$693.39
Pay Item 218 Traffic Stripe Multi Poly 4" Wide	LF	\$11.56	456	\$5,271.36	-456.00	-\$5,271.36
Pay Item 219 Traffic Stripe Multi Poly 3" Wide	LF	\$28.89	48	\$1,386.72	-48.00	-\$1,386.72
Pay Item 220 Construction Sign 0 to 6.25 SF	SD	\$2.31	480	\$1,108.80	-480.00	-\$1,108.80
Pay Item 221 Construction Sign 6.25 to 15.99 SF	SD	\$1.16	1200	\$1,392.00	-1200.00	-\$1,392.00
Pay Item 222 Construction Sign 16.0 to 32.99 SF	SD	\$5.28	120	\$633.60	-120.00	-\$633.60
Pay Item 223 Tube Channelizers	SD	\$0.58	18000	\$10,440.00	-18000.00	-\$10,440.00
Change Order Total						-\$442,467.24

Dale Forrest **DALE FORREST**
 Signature Name (Printed)
 Subscribed and sworn before me this 22 day of JANUARY, year of 2026
 My commission expires 4-18-27
Polly Bennett
 Notary Public Commission Number

MANAGING MEMBER



City/County Official

Signature

RESOLUTION NO. 890

A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF JENKS, OKLAHOMA, SUPPORTING THE APPROVAL OF FEMA HAZARD MITIGATION GRANT FUNDING FOR DISASTER #4575-PROJECT 13-TULSA COUNTY 101ST & GARNETT INFRASTRUCTURE PROTECTION

WHEREAS, the City of Jenks recognizes the importance of proactive hazard mitigation to protect public safety and critical infrastructure in the region; and

WHEREAS, Disaster #4575 – Project 13 – Tulsa County 101st & Garnett Infrastructure Protection involves elevating approximately one mile of Garnett Road (from 91st to 101st Street) and the 101st Street intersection by five feet to prevent future flooding, a project that borders or is in close proximity to Broken Arrow, Tulsa, and Bixby; and

WHEREAS, is project, valued at over \$8 million as a reimbursable FEMA Hazard Mitigation Grant, has advanced through all required FEMA steps and guidelines under Tulsa County's leadership and is now awaiting final approval from the U.S. Secretary of Homeland Security for Phase 2 funding; and

WHEREAS, timely approval will enable the project to proceed to construction bidding, ensuring continued momentum from earlier phases and benefiting the regional community by reducing flood-related disruptions; and

WHEREAS, U.S. Representative Kevin Hern and U.S. Senator Markwayne Mullin have previously expressed support for this project to the Secretary of Homeland Security; and

WHEREAS, the City Council of Jenks deems it in the public interest of residents of Tulsa County to join in advocating for this federal investment.

NOW BE IT RESOLVED BY THE CITY OF JENKS, THAT:

Section 1. That the City Council hereby expresses its strong support for the approval of Disaster #4575 – Project 13 – Tulsa County 101st & Garnett Infrastructure Protection for Phase 2 FEMA Hazard Mitigation Grant funding.

Section 2. That the City Council respectfully requests that the Honorable Kristi Noem, Secretary of Homeland Security, provide fair and prompt consideration and approval of this project at the earliest opportunity.

Section 3. That the Mayor is authorized to transmit a copy of this Resolution, along with a supporting letter, to Secretary Noem, with copies to U.S. Senator Markwayne Mullin, U.S. Representative Kevin Hern, and Tulsa County leadership.

Section 4. That this Resolution shall take effect immediately upon its adoption.

ADOPTED by the Council: February 3, 2026

ATTEST:

Mayor

(SEAL) City Clerk

APPROVED AS TO FORM:

City Attorney

To	Mayor Box, Vice Mayor Brown and City Council Christopher Shrout, City Manager
Hearing Date	February 03, 2026
Request	Amendments to the adopted (UDO) Unified Development Standards of Chapter 16, Article 7 Sign Standards, no changes were made to Article 3
Location	UDO Standards
Applicant	City of Jenks

Staff Report

Preparer | Marcaé Hilton

Attachments

- ☐ UDO Standards
- ☐ Recommended Changes to UDO

Preparer

Houseal Lavign
Marcaé Hilton

Background Information

STAFF COMMENTARY | This request is to recommend amendments to the UDO sign standards (Article 7 of Chapter 16). Staff took recent requests, from business owners seeking signs, under consideration and evaluated the sign language accordingly. Staff also reviewed the former version of the “zoning code” prior to the “UDO” adoption and made a few edits to closer meet the standards previously allowed, while still protecting and preserving the right of free speech and expression.

PC APPROVAL | (PC) Planning Commission | Conditionally approved 7-0-0 per staff recommendation. Staff asked for additional review from City Attorney prior to submission to City Council; the PC was favorable and approved with conditions. Ms. Nowlin, City Attorney, has reviewed the language as presented.

PLANNING DATA

Public Comment: A few citizens have made comments; staff has made reasonable adjustments.

Request: Amend certain sections of the Sign Standards in the UDO

Staff Evaluation & Recommendation

EVALUATION | Staff has provided additional language to the sign code to better accommodate requests from the public and to align with federal law.

A new section named “Sports facility sponsorship signs” was added. The purpose of this section is to allow limited sponsorship signage within publicly owned or operated athletic and private recreational facilities in a manner that supports facility funding, preserves community character, and ensures safe and orderly use of

public property. These regulations are intended to be content-neutral, viewpoint-neutral, and administered through ministerial review.

RECOMMENDATION: Staff and Planning Commission recommend approval of the changes to the UDO sign standards. Staff has included the “ARTICLE_7_SIGN_STANDARDS” as a separate item.

1. Add the definition of a monument sign to the definition section of the UDO in next round of edits.

**Definition of Monument Sign, the sign base shall be greater than 25% of the width of the sign face to be considered a monument. Z:\A - Planning\Zoning Code\UDO Updates 2025.11*

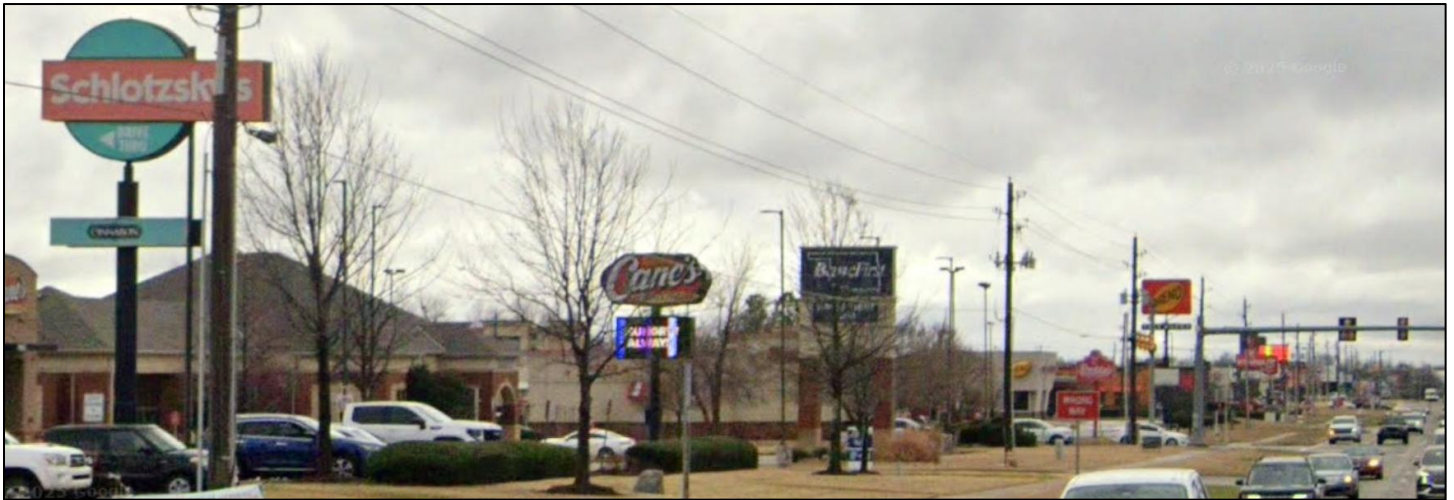


Figure 1: Memorial | pole signs



Figure 2: Memorial | multi-tenant monument sign



Figure 3: Memorial | multi-tenant monument sign



Figure 4: Memorial | Multi-tenant monument sign



Figure 5: Memorial | Multi-tenant monument sign

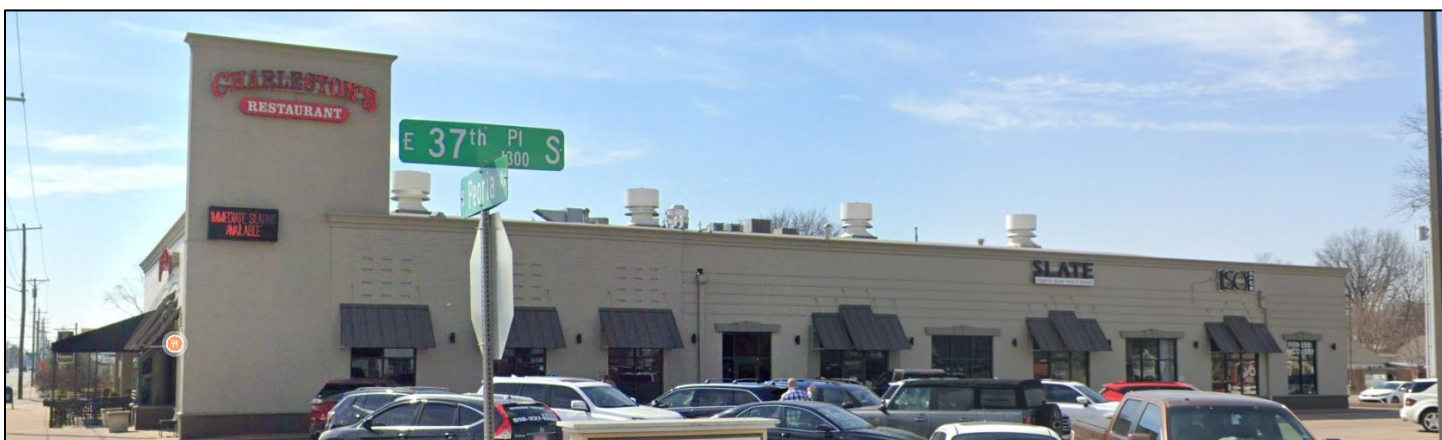


Figure 6: Brookside | Sign above wall, Peoria

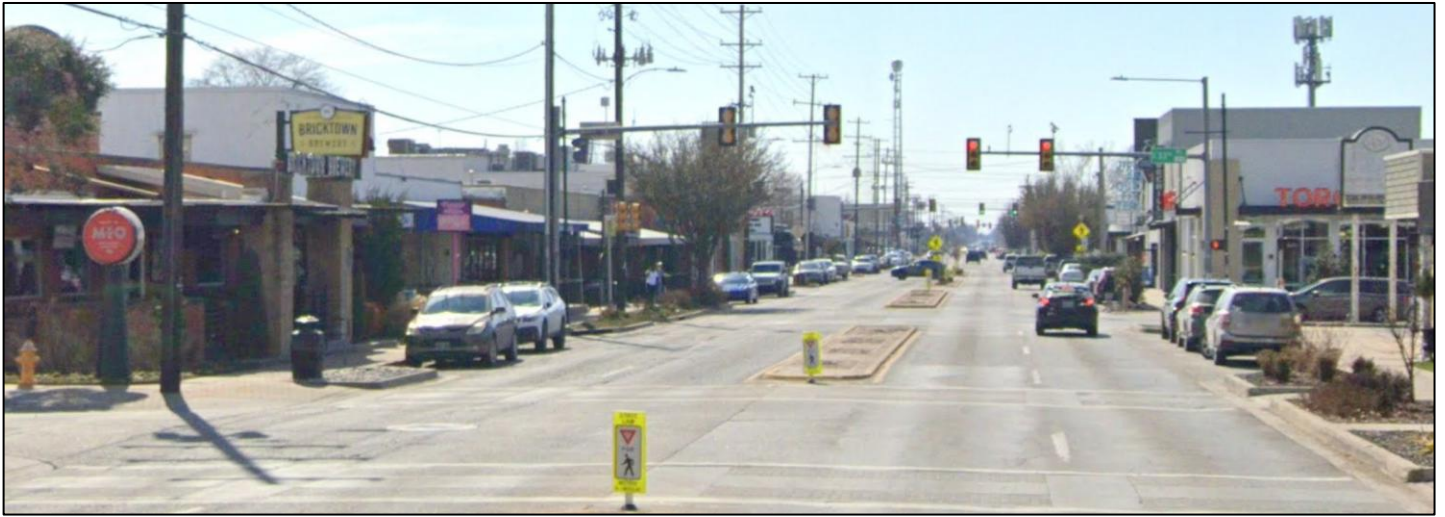


Figure 7: Brookside | facing south, pole sign, wall sign, awning sign

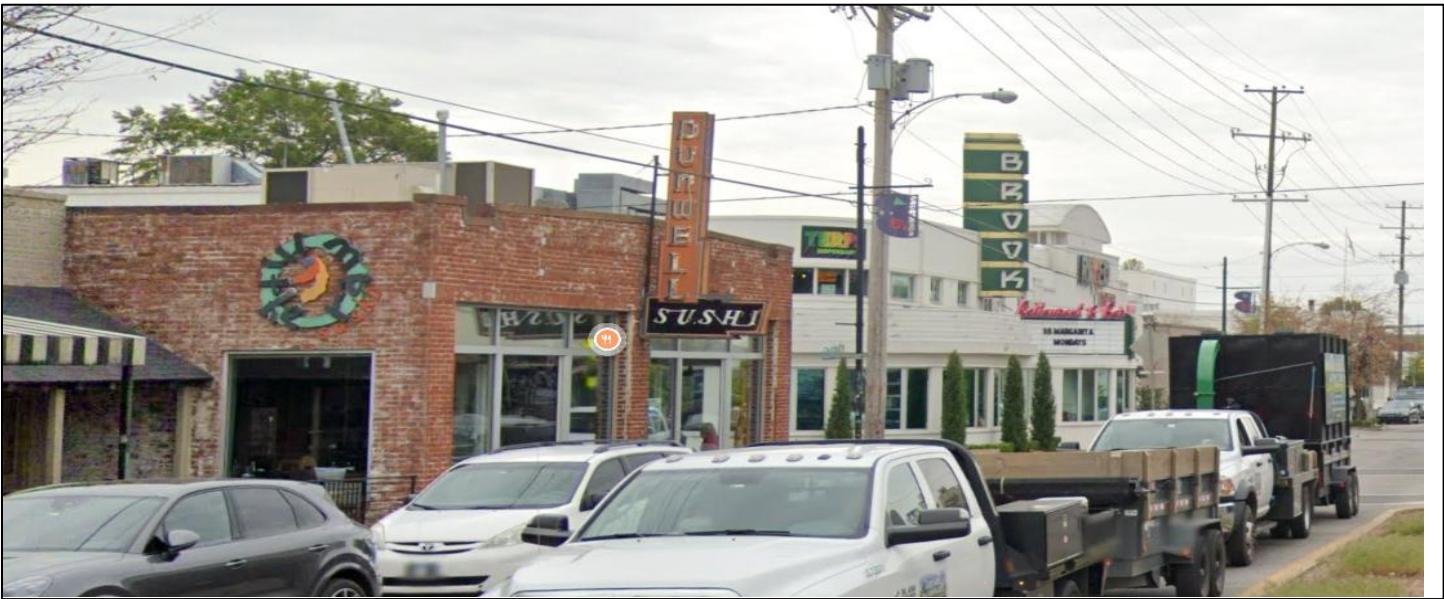


Figure 8: Brookside | Sign above wall, Peoria



Figure 9: Jenks Main Street wall signs



Figure 10: Jenks Main Street pole signs



Figure 11: Jenks | Main Street | pole signs



Figure 12: Jenks | Main Street | pole signs



Figure 13: Jenks | Main Street | non-conforming monument sign



Figure 14: Jenks | Main Street | pole signs



Figure 15: Jenks | Main Street | pole signs



Figure 16: Jenks | Main Street | pole signs



Figure 17: Jenks | Elm Street | pole signs



Figure 18: Jenks | Jenks Landing | Multi-tenant signs



Figure 19: Glenpool Walmart Subdivision | pole signs



Figure 20: Glenpool Walmart Subdivision | monument sign



Figure 21: Glenpool | pole signs



Figure 22: Glenpool | multi-tenant and pole signs



Figure 23: Memorial | pole signs



Figure 24: Memorial | Monument and pole signs



Figure 25: Memorial | Monument and Pole Signs



Figure 26: Broken Arrow | Multi-tenant pole sign

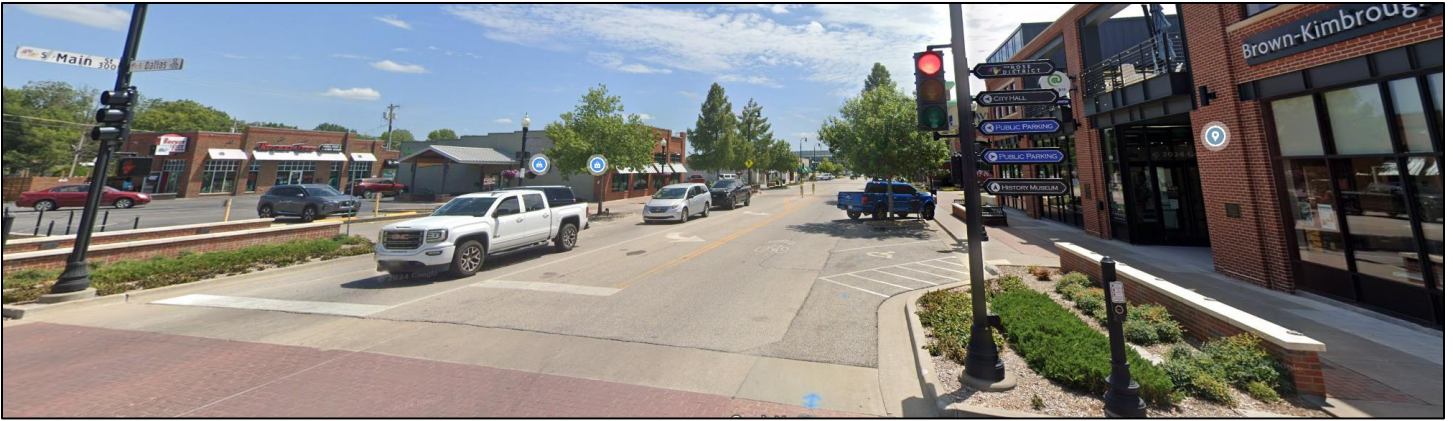


Figure 27: Broken Arrow | Memorial | way finding



Figure 28: Broken Arrow Main Street | Monument sign



Figure 29: Broken Arrow Main Street | Monument sign and billboard



Figure 30: Jenks Main Street | wayfinding and traffic signs.

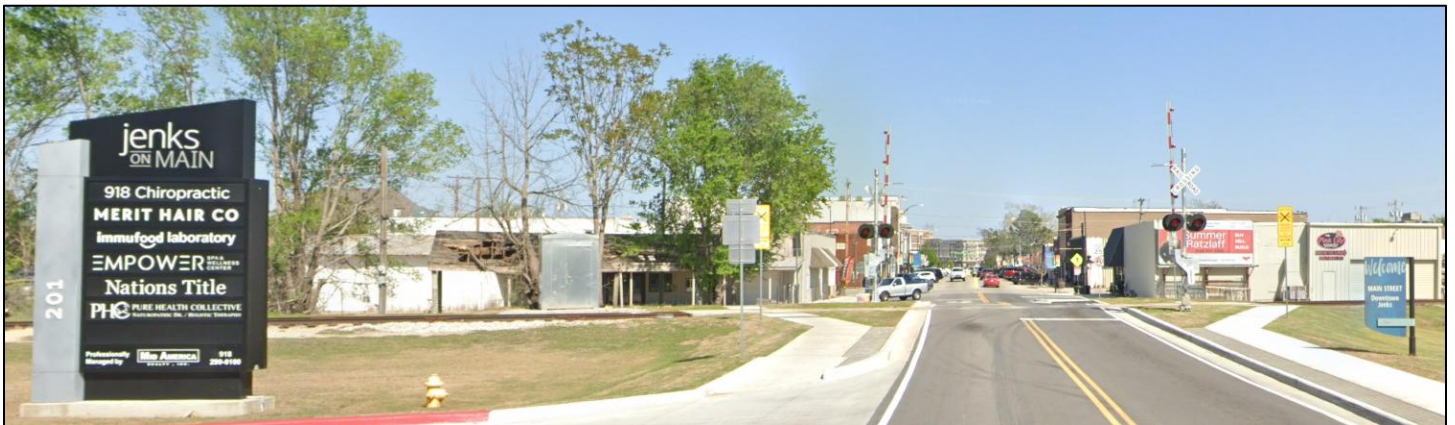


Figure 31: Jenks Main Street | Multitenant monument sign, way finding, billboard



Figure 32: Electronic Message Board



Figure 33: Animated Neon Sign



Figure 34: Cabinet Sign



Figure 35: cabinet sign



Figure 36: canopy sign



Figure 37: canopy sign



Figure 38: Canopy Sign



Figure 39: Monument Sign



Figure 40: Multi-tenant sign



Figure 41: Post Sign

ARTICLE 7. SIGN STANDARDS

Sec. 16-7-1. Purpose and Intent.

- (A) *Purpose.* The purpose of this article is to set out regulations for the erection and maintenance of signs visible from the public right-of-way while preserving the right of free speech and expression.
- (B) *Scope.* The regulations of [this] article shall provide a balanced and fair legal framework for design, construction, and placement of signs that:
- (1) Promotes the safety of persons and property by ensuring that signs do not create a hazard by:
 - (a) Collapsing, catching fire, or otherwise decaying,
 - (b) Confusing or distracting motorists, or
 - (c) Impairing drivers' ability to see pedestrians, obstacles, or other vehicles, or to read traffic signs.
 - (2) Promotes the efficient communication of messages, and ensures that persons exposed to signs:
 - (a) Are not overwhelmed by the number of messages presented, and
 - (b) Are able to exercise freedom of choice to observe or ignore said messages according to the observer's purpose.
 - (3) Protects the public welfare and enhances the appearance and economic value of the community by protecting scenic views and avoiding sign clutter that can compromise the character, quality, and viability of commercial corridors,
 - (4) Ensures that signs are compatible with their surroundings, and prevents the construction of signs that are a nuisance to occupants of adjacent and contiguous property due to brightness, reflectivity, bulk, or height,
 - (5) Promotes the use of signs that are aesthetically pleasing, of appropriate scale, and integrated with the built environment, in order to meet the objectives related to the quality and character of development set forth in the Comprehensive Plan of the City of Jenks,
 - (6) Enhances property values and business opportunities,
 - (7) Assists in wayfinding, and
 - (8) Provides fair and consistent permitting and enforcement.
- (C) *Authority.* The City Council finds that:
- (1) This article advances important and substantial governmental interests,
 - (2) The regulations set out in this article are unrelated to the suppression of constitutionally-protected free expression and do not involve the content of protected messages which may be displayed on signs, nor do they involve the viewpoint of individual speakers,
 - (3) The incidental restriction on the freedom of speech is no greater than is essential to the furtherance of the interests protected by this article, and
 - (4) Certain types of speech are not protected by the First Amendment due to the harm that they cause to individuals or the community, and speech that is harmful to minors may be prohibited in places that are accessible to minors.

-
- (5) Any Planned Unit Development ordinance or Specific Use approved prior to the adoption of this UDO which references compliance with the City of Jenks Zoning Code shall meet the applicable sign standards of this UDO.

(D) *General Findings of Fact.* The City Council finds that:

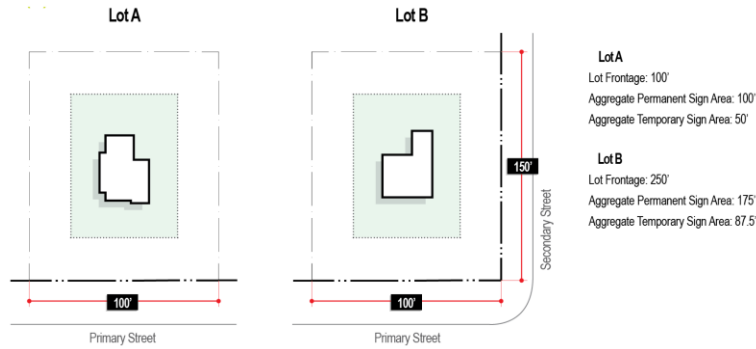
- (1) The ability to display signs of reasonable size and dimensions is vital to the health and sustainability of many businesses, and the display of signs with noncommercial messages is a traditional component of the freedom of speech, but the constitutional guarantee of free speech may be limited by appropriate and constrained regulation that is unrelated to the expression itself,
- (2) The City has an important and substantial interest in preventing sign clutter (which is the proliferation of signs of increasing size and dimensions as a result of competition among property owners for the attention of passing motorists), because sign clutter degrades the character of the community, makes the community a less attractive place for commerce and private investment, and dilutes or obscures messages displayed along the City's streets by creating visual confusion and aesthetic blight,
- (3) Sign clutter can be prevented by regulations that balance the legitimate needs of individual property owners to convey their commercial and noncommercial messages against the comparable needs of adjacent and nearby property owners and the interest of the community as a whole in providing for a high-quality community character,
- (4) Temporary signs that are not constructed of weather-resistant materials are often damaged or destroyed by wind, rain, and sun, and after such damage or destruction, degrade the aesthetics of the City's streets if they are not removed,
- (5) The City has an important and substantial interest in keeping its rights-of-way clear of obstructions and litter,
- (6) The City has an important and substantial interest in protecting the health of its tree canopy, which contributes to the character and value of the community, and
- (7) The uncontrolled use of billboard signs and their location, density, size, shape, motion, illumination, and demand for attention can be injurious to the purposes of this UDO, and destructive to community character and property values, and that, as such, restrictions on the display of off-premises commercial messages are necessary and desirable.

(Ord. No. 1581 , § II, 4-5-2022)

Sec. 16-7-2. Limit on Sign Area.

- (A) Reserved.
- (B) *Temporary Sign Area Limit.* Each lot shall be allowed aggregate temporary sign area equal to one-half square foot of sign area per linear foot of lot frontage.
- (C) *Premises Having Frontage on More Than One Dedicated Street.* Premises having frontage on more than one dedicated street will be allowed an additional one-half square foot of aggregate sign area for each lineal foot of the secondary lot frontage; however additional sign area shall only be displayed on the secondary frontage.
- (D) *Irregularly Shaped Lots.* Irregularly shaped lots with minimal lot frontage, relative to more typically shaped lots in the district, may petition for additional aggregate sign area through the Comprehensive Sign Plan process as detailed in section 16-7-9.

Figure 7.1: Limit on Sign Area



(Ord. No. 1581 , § II, 4-5-2022; Ord. No. 1624 , § V, 10-17-2023)

Sec. 16-7-3. Sign Measurement.

- (A) *Sign Height.* Sign height shall be measured by the total distance between the highest point on the sign to the average elevation of the ground upon which the sign supports are placed, except when the sign supports rest upon a berm or other area elevated above the surrounding ground or when the sign supports rest upon a ditch or other area lower than the surrounding ground. In such cases, the elevation of the centerline of the adjacent roadway shall be considered as the ground level.

Figure 7.2: Sign Height Measurement



- (B) *Sign Area.* Unless otherwise defined, sign area is determined by the total area enclosed by a continuous perimeter along the edges of a sign, including any frame or border. The area of a sign composed of individually-affixed letters is determined by the total area of the smallest geometric shape enclosing the copy. A maximum of two geometric shapes may be utilized. The calculation for a double-faced sign shall be the area of one face only.

Figure 7.3: Sign Area Measurement



(Ord. No. 1581 , § II, 4-5-2022)

Sec. 16-7-4. Permitted Sign Types.

KEY: The following key is to be used in the interpretation of Table 16-7-4.

(A) ~~(A)~~ — Permitted Sign Types (P).

(1) Sign types marked as "P" in the table shall be ~~permitted~~ allowed subject to all applicable regulations of this UDO.

(2) ~~Require~~ and only after the issuance of a Sign Permit prior to installation, as detailed in section 16-9-3(F).

(B) ~~Allowed-Conditional~~ Sign Types (C). Sign types marked as "AC" in the table shall be allowed subject to all applicable regulations of this UDO.

(C) ~~Prohibited~~ Sign Types (-). A ~~blank space~~ hyphen in the table indicates that a sign type is ~~not~~ NOT allowed in the respective zoning district.

(D) ~~Unlisted~~ Sign Types. Sign types that are ~~not~~ NOT included in Table 16-7-4 shall be considered prohibited.

Table 16-7-4: Permitted Sign Types by District												
Sign Type	District											
	R Districts	AG	OL	OM	LC	CS	CG	DC	DT	RTC	IL	IM
Permanent Signs												
Wall Sign	P (1)	P (1)	P	P	P	P	P	P	P	P	P	P
Single-Tenant Monument Sign	P (1)(2)	P (1)	P	P	P	P	P	-	-	P	P	P
Multi-Tenant Monument Sign	-	<u>P (1)</u>	P	P	P	P	P	-	-	P	P	P
Post Sign, Permanent	-	<u>P (1)</u>	-	-	-	-	-	P	P	-	-	-
-Pole/Pylon Sign	-	-	-	-	-	P (3)	P (3)	-	-	-	P (3)	P (3)
Awning/Canopy Sign	P (1)	P (1)	P	P	P	P	P	P	P	P	P	P
Blade Sign	-	<u>P (1)</u>	P	P	P	P	P	P	P	P	P	P
Window Sign, Permanent	-	<u>P (1)</u>	P	P	P	P	P	P	P	P	P	P
Billboard Sign	-	-	-	-	-	P (3)	P (3)	-	-	-	P (3)	P (3)
<u>Digital Sign</u>	<u>P (1)</u>	<u>P (1)</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>P</u>

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(Supp. No. 6)

<u>Electronic Message Board</u>	<u>P (1)</u>	<u>P (1)</u>	<u>-</u>	<u>-</u>	<u>P</u>	<u>P</u>	<u>P</u>	<u>-</u>	<u>-</u>	<u>P</u>	<u>-</u>	<u>-</u>
Temporary Signs												
<u>Sign Type</u>	<u>R Districts</u>	<u>AG</u>	<u>OL</u>	<u>OM</u>	<u>LC</u>	<u>CS</u>	<u>CG</u>	<u>DC</u>	<u>DT</u>	<u>RTC</u>	<u>IL</u>	<u>IM</u>
Wall-Mounted Banner Sign	P (1)	P (1)	P	P	P	P	P	P	P	P	P	P
Ground-Mounted Banner Sign	P (1)	P (1)	P	P	P	P	P	<u>-</u>	<u>-</u>	P	P	P
Feather Sign	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>-</u>	P	P	<u>-</u>	<u>-</u>	<u>-</u>	P	P
Window Sign, Temporary	<u>-</u>	<u>-</u>	P	P	P	P	P	P	P	P	P	P
Post Sign, Temporary	<u>AP</u>	<u>AP</u>	<u>AP</u>	<u>AP</u>	<u>AP</u>	<u>AP</u>	<u>AP</u>	<u>AP</u>	<u>AP</u>	<u>AP</u>	<u>AP</u>	<u>AP</u>
<u>Sports facility sponsorship signs</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>	<u>C</u>
Yard Sign	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>AC</u>	<u>-</u>	<u>-</u>	<u>-</u>	<u>AC</u>	<u>AC</u>
Notes:												
(1) Sign shall be <u>permitted-allowed</u> for nonresidential, mixed use, or multifamily developments only.												
(2) Sign shall be <u>permitted-allowed</u> at entryways or gateways to subdivisions or neighborhoods only.												
(3) Sign spacing requirements for Billboard Signs are found in the Oklahoma Department of Transportation "Outdoor Advertising Brochure," billboards may be placed along United States Federal Highways, Federal Interstate Highways, State of Oklahoma Highways, U.S. or State Toll ways or Turnpikes only.												

(Ord. No. 1581 , § II, 4-5-2022; Ord. No. 1624 , § V(Att. D), 10-17-2023)

Sec. 16-7-5. Permanent Sign Standards.

(A) Wall Signs.

(1) Sign Area.

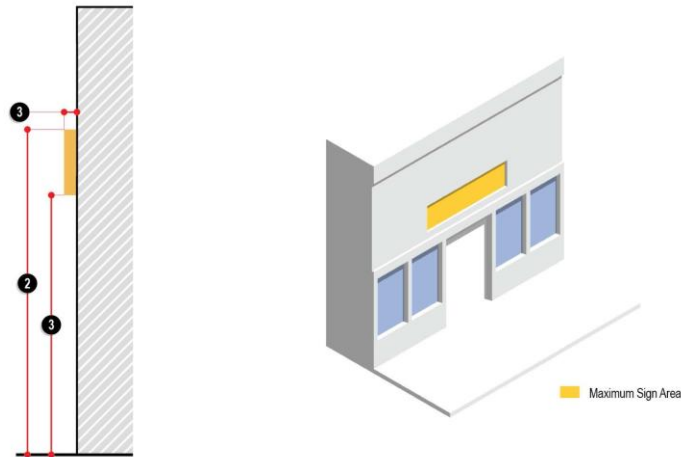
- The maximum sign area of wall signs in the AG, R, OL, LC, DT, and DC Districts shall not exceed (5%) five percent of the total area of the facade of the wall to which the sign is to be affixed, up to (40) forty square feet.
- The maximum sign area of wall signs in the OM, CS, RTC, and IL Districts shall not exceed (10%) ten percent of the total area of the facade of the wall to which the sign is to be affixed, up to (50) fifty square feet.
- The maximum sign area of wall signs in the CG and IM Districts shall not exceed (15%) 15 percent of the total area of the facade of the wall to which the sign is to be affixed, up to (60) sixty square feet.

- Sign Height.* No wall sign shall protrude above the highest roofline or the top of the parapet wall or mansard roof.

(3) Sign Depth.

- A wall sign shall not extend more than (6") six inches from the wall of the building or structure to which it is attached.
- A wall sign shall maintain a minimum vertical clearance of (10') ten feet from grade.

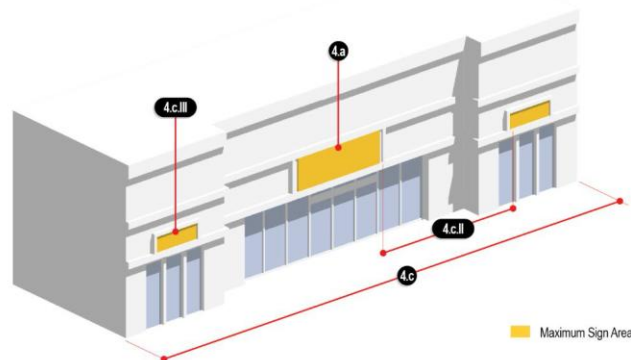
Figure 7.4: Wall Sign Area, Height, and Projection



(4) *Number of Signs.*

- (a) Single tenant buildings shall be permitted a total of (2) two wall signs; however only (1) one wall sign shall be displayed on any single building façade.
- (b) Multi-tenant buildings shall be permitted (1) one wall sign per unit.
- (c) A maximum of (2) two secondary wall signs may be authorized for buildings with lineal frontage in excess of (75') seventy feet by the City Planner provided such additional signage is:
 - (I) In keeping with the overall design and architecture of the building,
 - (II) A minimum of (20') twenty feet from the primary wall sign and other secondary wall signs,
 - (III) A maximum of (50%) fifty percent of the size of the primary wall sign,
 - (IV) Less visually prominent on the site than the building's primary wall sign, and
 - (V) The total area of all primary and secondary wall signs does not exceed the maximum wall sign area as established in section 16-7-5(A)(1).

Figure 7.5: Secondary Wall Signs



- (5) *Sign Copy.* If the sign copy utilized on a wall sign is either individually affixed letters, raceway letters, applied vinyl, or printed, etched, or otherwise incorporated directly on the sign's backing plate, the City Planner may approve an increase in sign area up to an additional (5%) five percent of the total area of

the face of the wall to which the sign is to be affixed. Box/cabinet signs shall be prohibited in the Downtown Commercial District.

(6) *Other Provisions.*

- (a) No wall sign shall cover any architectural features (architectural features shall include but not be limited to, pediment, cornice, belt course, pier, windows, pilaster, roof, decorative stone or inlay, kick plate/bulkhead, raised or colored brick pattern, and corbel) of the building to which it is affixed.
- (b) No wall sign shall be affixed to HVAC screening, elevator overrun, or other structures protruding from the roof of the principal building, excluding architectural features that are an integral part of the principal building.

(B) *Single-Tenant Monument Signs.*

(1) *Sign Area.*

- (a) The maximum sign area of single-tenant monument signs in the AG, R, OL, and LC, Districts shall not exceed (1530) fifteen-thirty square feet.
 - i. Residential Subdivisions are limited to (15) fifteen square feet unless they meet the following criteria.
 - o Residential Subdivisions may be approved for additional square footage when accompanied by a PUD; and the signage is part of the entry feature.
 - o Entry feature signage for residential subdivisions may be approved for lettering up to 2 feet in height when attached to a wall less than 3 feet in height.
 - o Digital signs are not permitted in the residential zonings.
- (b) The maximum sign area of single-tenant monument signs in the OM, CS, RTC, and IL Districts shall not exceed (3045) forty-five thirty-square feet.
- (c) The maximum sign area of single-tenant monument signs in the CG and IM Districts shall not exceed (4555) fortyfifty-five square feet.
- (d) The maximum sign area of (100) one hundred square feet is allowed for a single-tenant monument sign within (500') five hundred feet of United States Federal Highways, Federal Interstate Highways, State of Oklahoma Highways, U.S. or State Toll ways or Turnpikes only, measured by the shortest distance from the physical edge of paving to the sign location.

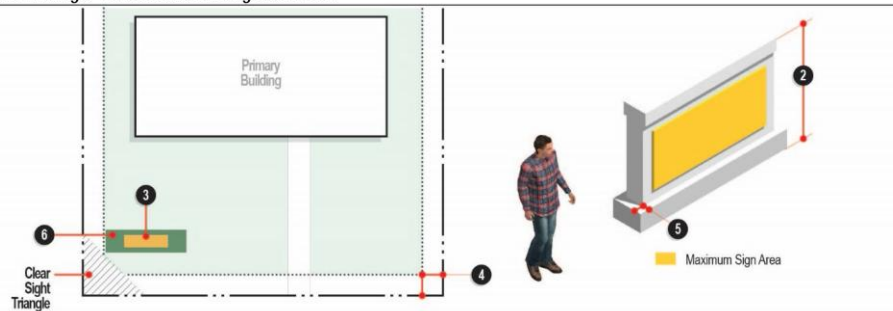
(2) *Sign Height.*

- (a) The maximum sign height of single-tenant monument signs in the AG, R, OL, and LC Districts shall not exceed (5') five feet.
- (b) The maximum sign height of single-tenant monument signs in the OM, CS, RTC, and IL Districts shall not exceed (7') seven feet.
- (c) The maximum sign height of single-tenant monument signs in the CG and IM Districts shall not exceed (10') ten feet.
- (d) The maximum sign height of (30) thirty feet is allowed for a single-tenant monument sign within (500') five hundred feet of United States Federal Highways, Federal Interstate Highways, State of Oklahoma Highways, U.S. or State Toll ways or Turnpikes measured by the shortest distance from the physical edge of paving to the sign location.

- (3) *Number of Signs.* A maximum of one single-tenant monument sign shall be permitted per lot frontage.

- (4) *Location.* Single-tenant monument signs shall comply with the following locational standards.
 - (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements.
 - (b) Shall not block points of ingress or egress.
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system.
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
- (5) *Sign Base.* The base of single-tenant monument sign, including all structural components, shall extend horizontally from the sign face a minimum of (10%) ten percent and a maximum of (25%) twenty-five percent of the width of the sign face. The base of single-tenant monument signs shall be constructed from masonry, stone, or similar high-quality materials in keeping with the materials and design of the principal building of the lot.
- (6) *Landscape Requirement.* All single-tenant monument signs shall be required to plant and maintain a landscape area at the base of the sign. The minimum area of the landscape area shall be equal to half of the square footage of the sign area of the associated sign. Landscape areas shall be planted with one shrub or native grass per every (3) three square feet of required landscape area.
- (7) *Other Provisions.* A single-tenant monument sign shall not be permitted on a lot frontage with an existing single-tenant monument sign or pole/pylon sign.

Figure 7.6: Single-Tenant Monument Sign Standards

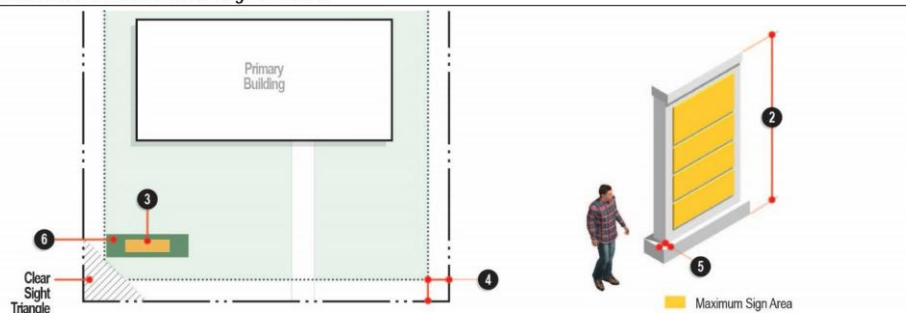


(C) *Multi-Tenant Monument Signs.*

- (1) *Sign Area.*
 - (a) The maximum sign area of multi-tenant monument signs in the RAG, OL, and LC Districts shall not exceed ~~(3050)~~ thirty-five square feet.
 - (b) The maximum sign area of multi-tenant monument signs in the OM, CS, RTC, and IL Districts shall not exceed ~~(6075)~~ sixty-seventy-five square feet.
 - (c) The maximum sign area of multi-tenant monument signs in the CG and IM Districts shall not exceed (90) ninety square feet.
 - (d) The maximum sign area of (200) two hundred square feet is allowed for a multi-tenant monument sign within (500') five hundred feet of United States Federal Highways, Federal Interstate Highways, State of Oklahoma Highways, U.S. or State Toll ways or Turnpikes only, measured by the shortest distance from the physical edge of paving to the sign location.
- (2) *Sign Height.*
 - (a) The maximum sign height of multi-tenant monument signs in the RAG, OL, and LC Districts shall not exceed (10') ten feet.

- (b) The maximum sign height of single-tenant monument signs in the OM, CS, RTC, and IL Districts shall not exceed (14') fourteen feet.
 - (c) The maximum sign height of single-tenant monument signs in the CG and IM Districts shall not exceed (20') twenty feet.
 - (d) The maximum sign height of (30) thirty square feet is allowed for a multi-tenant monument sign within (500') five hundred feet of United States Federal Highways, Federal Interstate Highways, State of Oklahoma Highways, U.S. or State Toll ways or Turnpikes only, measured by the shortest distance from the physical edge of paving to the sign location.
- (3) *Number of Signs.* A maximum of one multi-tenant monument sign shall be permitted per lot frontage.
 - (4) *Location.* Multi-tenant monument signs shall be located a minimum of five feet from all property lines, rights-of-way, and utility easements; shall not block points of ingress or egress; be placed in any sidewalk or pedestrian circulation system and shall not be located in a clear sight triangle as detailed in section 16-6-6.
 - (5) *Sign Base.* The base of multi-tenant monument signs, including all structural components, shall extend horizontally from the sign face a minimum of ten percent and a maximum of 25 percent of the width of the sign face. The base of single-tenant monument signs shall be constructed from masonry, stone, or similar high-quality materials in keeping with the materials and design of the principal building of the lot.
 - (6) *Landscape Requirement.* All multi-tenant monument signs shall be required to plant and maintain a landscape area at the base of the sign. The minimum area of the landscape area shall be equal to half of the square footage of the sign area of the associated sign. Landscape areas shall be planted with one shrub or native grass per every (3) three square feet.
 - (7) *Other Provisions.* A multi-tenant monument sign shall not be permitted on a lot frontage with an existing monument sign or pole/pylon sign.

Figure 7.7: Multi-Tenant Monument Sign Standards

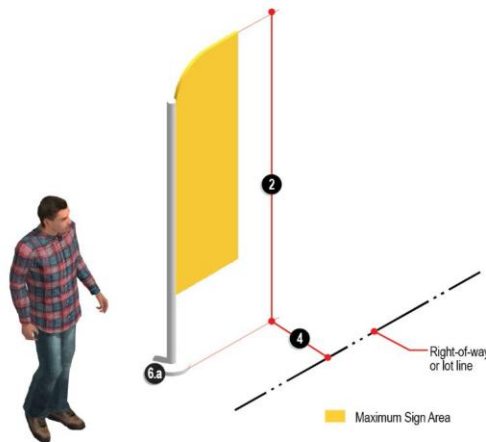


(D) *Post Sign, Permanent.*

- (1) *Sign Area.* The maximum sign area of a permanent post sign shall not exceed (6) six square feet.
- (2) *Sign Height.* The maximum height of a permanent post sign shall not exceed (6') six feet.
- (3) *Number of Signs.* A maximum of (1) one permanent post sign shall be allowed per lot frontage.
- (4) *Location.* Permanent post signs shall meet the following locational requirements.
 - (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements.
 - (b) Shall not block points of ingress or egress.

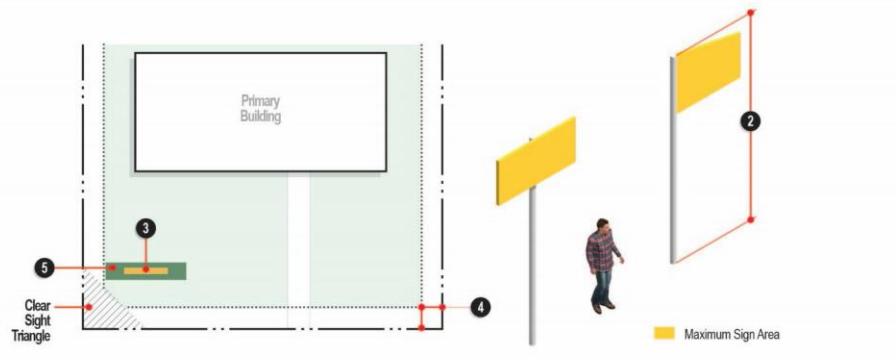
- (c) Shall not be placed in any sidewalk or pedestrian circulation system, and
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
- (5) *Other Provisions.*
- (a) Permanent post signs shall be securely anchored into the ground or secured in a portable base designed for such function.
 - (b) Permanent Post signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

Figure 7.8: Permanent Post Sign Standards



- (E) *Pole/Pylon Signs.*
- (1) *Sign Area.* The sign area of pole/pylon signs shall not exceed (30) thirty square feet in any district.
 - (2) *Sign Height.* The sign height of pole/pylon signs shall not exceed (40') forty feet in any district.
 - (3) *Number of Signs.* A maximum of one pole/pylon sign shall be permitted per lot.
 - (4) *Location.* Pole/Pylon signs shall comply with the following locational standards.
 - (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements.
 - (b) Shall not block points of ingress or egress.
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system, and
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
 - (5) *Landscape Requirement.* All pole/pylon signs shall be required to plant and maintain a landscape area at the base of the sign. The minimum area of the landscape area shall be equal to the square footage of the sign area of the associated sign. Landscape areas shall be planted with one shrub or native grass per every (3) three square feet.
 - (6) *Other Provisions.* A pole/pylon sign shall not be permitted on a lot frontage with an existing monument sign or pole/pylon sign.

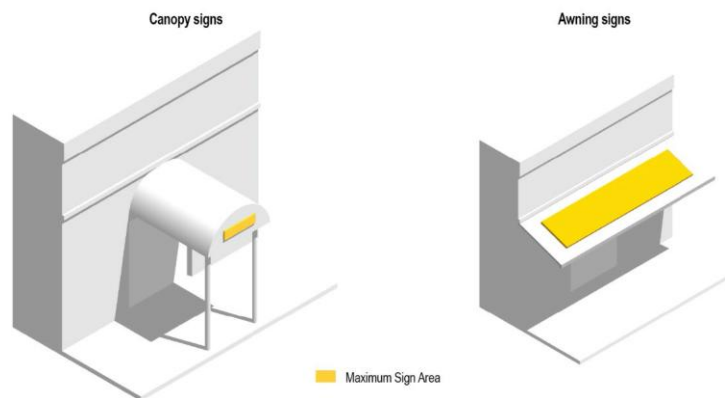
Figure 7.9: Pole/Pylon Sign Standards



(F) *Awning/Canopy Signs.*

- (1) *Sign Area.* The maximum sign area of awning/canopy signs shall be (50%) fifty percent of the face of the awning or canopy upon which the sign shall be printed or affixed. The area of the awning or canopy sign shall count towards the maximum amount of sign area permitted for wall signs as detailed in section 16-7-5(A)(1).
- (2) *Other Provisions.* Awning/canopy signs shall only be permitted on awnings/canopies extending above ground floor entrances or windows.

Figure 7.10: Awning-Canopy Sign Standards

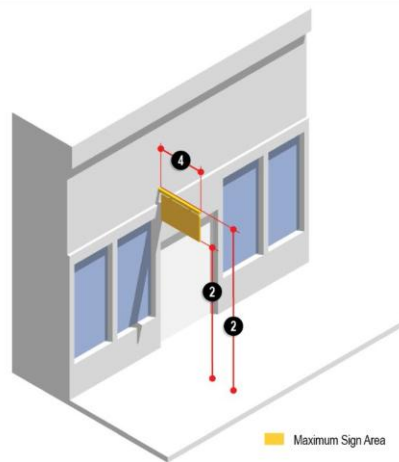


(G) *Blade/Projecting Signs.*

- (1) *Sign Area.*
 - (a) The maximum permitted sign area of blade signs shall be (4) four square feet.
 - (b) The maximum permitted sign area of projecting signs shall be equal to twice the median height of the building.
- (2) *Height.*
 - (a) Blade signs shall not extend above the roofline of the building to which it is attached, or a maximum of (12') twelve feet, whichever is less, and shall maintain a minimum vertical clearance of (10') ten feet.
 - (b) Projecting signs shall not exceed the height of the parapet or wall to which it is attached by more than (25%) twenty-five percent and shall maintain a minimum vertical clearance of (10') ten feet.

-
- (3) *Number of Signs.* A maximum of (1) one blade sign shall be permitted per ground floor nonresidential tenant space. A blade sign may be displayed on the same building frontage as a wall or an awning or canopy sign, and projecting sign.
 - (4) *Projection.* Blade signs shall horizontally project a maximum of (4') four feet from the mean elevation of the building to which it is attached or with staff recommendation and approval of Planning Commission. Projecting blade signs shall not be continuously attached to the surface of the wall.
 - (5) *Other Provisions.*
 - (a) *Illumination.*
 - i. Blade signs shall not be internally illuminated.
 - ii. Projecting signs may incorporate neon or other illumination; staff may require approval from Planning Commission for other requests.
 - (b) Blade and Projecting signs may encroach upon, extend, or project over a public right-of-way or easement. The property owner may be required to provide a release or hold harmless to the City prior to issuing permits for any such signs.

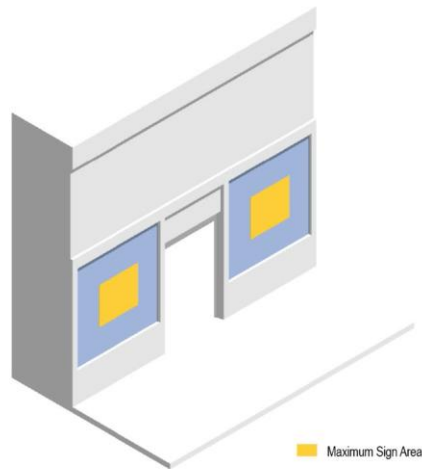
Figure 7.11: Blade Sign Standards



(H) *Window Signs, Permanent.*

- (1) *Sign Area.* The maximum permitted sign area of a permanent window sign shall be ~~(25%)~~ twenty-five percent of the square footage of the individual window on which the sign shall be located. Permanent window sign area shall be counted in ~~aggregate-combination~~ with temporary window sign area.

Figure 7.12: Permanent Window Sign Standards

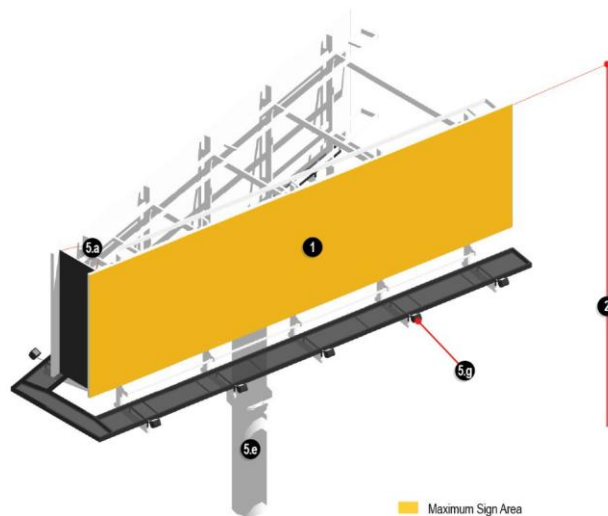


(I) *Billboard Signs.*

- (1) *Sign Area.* The maximum sign area of billboard signs shall not exceed (14' x 48') fourteen feet by forty-eight feet and may include an additional (3' x 48') three-foot by ~~forty-eight foot~~forty-eight-foot marquee located at the base of the sign face.
- (2) *Sign Height.* The maximum height of billboard signs shall not exceed (50') fifty feet.
- (3) *Sign Separation.*
 - (a) A minimum distance of 1,000 linear feet shall be required between billboard signs. The separation requirement shall apply to the side of the roadway the sign is located upon.
 - (b) Billboard signs shall maintain a minimum separation of (50') fifty feet from any monument sign or pole/pylon sign. The separation requirement shall be measured in a straight line from the nearest point on the sign to the nearest point of any monument sign or pole/pylon sign.
- (4) *Location.*
 - (a) No billboard sign shall be located within (300') three hundred feet of a public park. The setback requirement shall be measured in a straight line from the nearest point on the sign to the nearest point on the property of the park.
 - (b) Billboard signs, if visible from an R district or if visible from a designated residential development area, shall be setback from such district or area a minimum linear distance equal to the area of the billboard sign. The setback requirement shall be measured in a straight line from the nearest point on a sign to the nearest point of an R district or residential development area boundary line.
 - (c) No portion of a billboard sign shall be located within (10') ten feet of a freeway right-of-way. The setback requirement shall be measured in a straight line from the nearest point on a sign to the nearest point of the freeway right-of-way boundary line.
 - (d) No billboard sign shall be permitted to be located upon or constructed within a required landscape zone, off-street parking area, or off-street loading area, nor to otherwise obstruct vehicular or pedestrian access or circulation or pose any other hazard to motor vehicle traffic exiting, entering, or traveling within the site on which the sign is located.
- (5) *Other Provisions.*

- (a) No billboard sign shall contain more than (2) two sides, and only (1) one side shall be included in the computation of display surface area. The (2) two sides shall face in opposite directions. "Opposite" shall, in addition to its ordinary meaning, include V-shaped signs when the angle of separation of the display surfaces does not exceed 30 degrees.
- (b) A billboard sign shall be oriented to be primarily visible from the freeway.
- (c) No billboard sign shall contain flashing, blinking, or traveling lights or reflective glitter.
- (d) Cutouts or extensions shall be permitted, in addition to the display surface area permitted in this section, so long as the cutouts or extensions do not exceed (15%) fifteen percent of the display surface area.
- (e) No billboard sign shall be supported by more than (1) one post or column unless required by site engineering considerations and is certified as such by a registered professional engineer.
- (f) Billboard signs which have animation, revolving or rotating components or movement shall be prohibited.
- (g) Illumination on the face of billboard signs shall not exceed 70 foot-candles measured at a two-foot distance.
- (h) Any illumination shall be by constant light.
- (i) Billboard signs may include electronic message boards for a maximum of 100 percent of the permitted sign area subject to compliance with all standards of section 16-7-7(B).

Figure 7.13: Billboard Sign Standards



(Ord. No. 1581 , § II, 4-5-2022; Ord. No. 1624 , § V, 10-17-2023)

Sec. 16-7-6. Temporary Sign Standards.

(A) General Standards for Permitted Temporary Signs.

- (1) *Concurrent Display.* A maximum of two permitted temporary signs, as permitted-allowed per district, may be displayed on a lot concurrently.
- (2) *Display ~~Period~~Location.*

- (a) The ~~permitted display period of a permitted~~ temporary sign. ~~shall be a maximum of (30) thirty days.~~
 - i. Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements;
 - ii. Shall not block points of ingress or egress;
 - iii. Shall not be placed in any sidewalk or pedestrian circulation system, except when there is an additional (5') five feet of clear pedestrian circulation.
 - iv. Shall not be located in a clear sight triangle as detailed in section 16-6-6.
 - (b) ~~A total of (3) three nonconcurrent display periods shall be permitted per single-tenant building or unit of a multitenant building per calendar year.~~
 - (c) Nonconcurrent display periods shall be separated by a minimum of (3014) thirty-fourteen days, excluding residential yard signs.
- (B) *Wall-Mounted Banner Signs.* (Cannot be a permanent sign.)
- (1) *Sign Area.*
 - (a) The maximum sign area of wall-mounted banner signs in the R, OL, LC, and DC Districts shall not exceed (2.5%) two and one-half percent of the total area of the face of the wall to which the sign is to be affixed.
 - (b) The maximum sign area of wall-mounted banner signs in the OM, CS, RTC, and IL Districts shall not exceed (5%) five percent of the total area of the face of the wall to which the sign is to be affixed.
 - (c) The maximum sign area of wall-mounted banner signs in the AG, CG and IM Districts shall not exceed (7.5%) seven and one-half percent of the total area of the face of the wall to which the sign is to be affixed.
 - (2) *Sign Height.* No wall-mounted banner sign shall protrude above the highest roofline or above the top of the parapet wall or mansard roof.
 - (3) *Number of Signs.* A maximum of one wall-mounted banner sign shall be permitted per lot frontage of a single-tenant building or unit of a multi-tenant building.
 - (4) *Location.* Wall-mounted banner signs shall be affixed to a building.
 - (5) *Projection.* Wall-mounted banner signs shall be affixed flat against the building to which they are mounted.

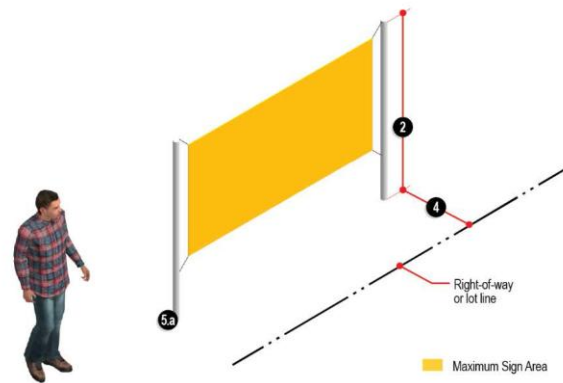
Figure 7.14: Wall Mounted Banner Sign Standards



- (C) *Ground-Mounted Banner Signs.* (Cannot be a permanent sign.)
 - (1) *Sign Area.* The maximum sign area of a ground-mounted banner sign shall not exceed (~~3230~~) thirty-two square feet.

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- (2) *Sign Height.* The maximum height of a ground-mounted banner sign shall not exceed (6') six feet.
 - (3) *Number of Signs.* A maximum of (1) one ground-mounted banner sign shall be permitted per lot frontage.
 - (4) *Location.* Ground-mounted banner signs shall meet the following locational requirements.
 - (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements;
 - (b) Shall not block points of ingress or egress;
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system, and
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
 - (5) *Other Provisions.*
 - (a) Ground-mounted banner signs shall be securely anchored into the ground or secured in a portable base designed for such function.
 - (b) Ground-mounted banner signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

Figure 7.15: Ground Mounted Banner Sign Standards

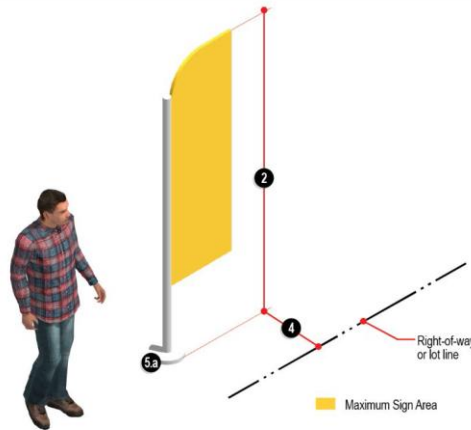


- (D) *Feather Sign.*
- (1) *Sign Area.* The maximum sign area of feather signs shall not exceed (16) sixteen square feet.
 - (2) *Sign Height.* The maximum height of a feather sign shall not exceed (8') eight feet.
 - (3) *Number of Signs.* A maximum of (1) one feather sign shall be permitted per (25') twenty-five feet of linear lot frontage.
 - (4) *Sign Separation.* Each feather sign shall be separated from another feather sign by at least (25') twenty-five feet.
 - (5) *Location.* Feather signs shall meet the following locational requirements.
 - (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements.
 - (b) Shall not block points of ingress or egress.
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system.
 - (d) ~~and shall~~ shall not be located in a clear sight triangle as detailed in section 16-6-6.

(6) *Other Provisions.*

- (a) Feather signs shall be securely anchored into the ground or secured in a portable base designed for such function.
- (b) Feather signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

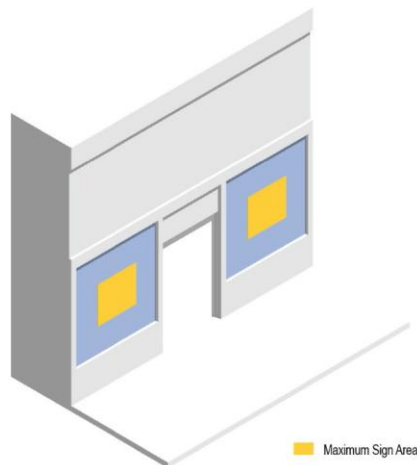
Figure 7.16: Feather Sign Standards



(E) *Window Sign, Temporary.*

- (1) *Sign Area.* The maximum sign area of a temporary window sign shall be (30%) thirty percent of the square footage of the individual window on which the sign shall be located. Temporary window sign area shall be counted in aggregate with permanent window sign area.

Figure 7.17: Temporary Window Sign Standards

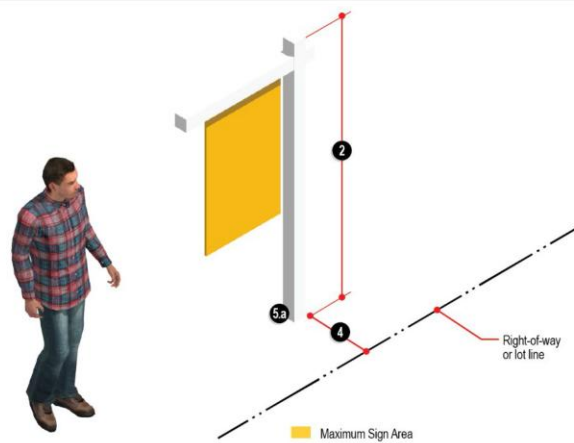


(F) *Post Signs, Temporary.*

- (1) *Sign Area.* The maximum sign area of a temporary post sign shall not exceed (6) six square feet.
- (2) *Sign Height.* The maximum height of a temporary post sign shall not exceed (6') six feet.
- (3) *Number of Signs.* A maximum of one temporary post sign shall be allowed per lot frontage.

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- (4) *Location.* Temporary post signs shall meet the following locational requirements.
- (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements.
 - (b) Shall not block points of ingress or egress.
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system.
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
- (5) *Other Provisions.*
- (a) Temporary post signs shall be securely anchored into the ground or secured in a portable base designed for such function.
 - (b) Temporary post signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

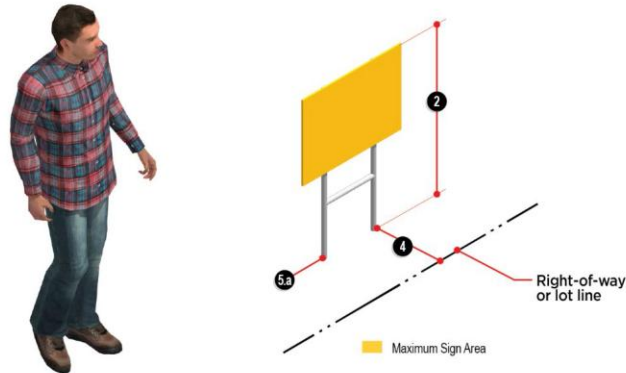
Figure 7.18: Temporary Post Sign Standards



- (G) *Yard Signs.*
- (1) *Sign Area.* The maximum sign area of a yard sign shall not exceed (4) four square feet.
 - (2) *Sign Height.* The maximum height of a yard sign shall not exceed (3.5') three and one-half feet.
 - (3) *Number of Signs.*
 - (a) A maximum of (2) two Up to (5) five yard signs may be displayed concurrently for a period of (30) thirty consecutive days.
 - (b) An unlimited number of yard signs may be displayed concurrently for a period of 48 hours.
 - (4) *Location.* Yard signs shall meet the following locational criteria.
 - (a) Yard signs shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements;
 - (b) Shall not block points of ingress or egress;
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system, and
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
 - (5) *Other Provisions.*
-

- (a) Yard signs shall be securely anchored into the ground or secured in a portable base designed for such function.
- (b) Yard signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.
- (c) Yard signs in residential districts displayed for a period of 48 hours or less shall be exempt from the requirements of this section.

Figure 7.19: Yard Sign Standards



(H) Sports facility sponsorship signs.

- (1) Purpose and Intent. The purpose of this section is to allow limited sponsorship signage within publicly owned or operated athletic and private recreational facilities in a manner that supports facility funding, preserves community character, and ensures safe and orderly use of public property. These regulations are intended to be content-neutral, viewpoint-neutral, and administered through ministerial review.
- (2) Definition. Sports Facility Sponsorship Sign
 - (a) A sign located within or upon a publicly owned or operated athletic or private recreational facility that identifies or recognizes a business, organization, or individual that has provided financial or in-kind support for the construction, maintenance, operation, or programming of the facility or a related event.
 - (b) Such signs are intended solely for sponsorship recognition and do not constitute general advertising or a public forum for expressive speech.
- (3) Location. Sports facility sponsorship signs are permitted, without regard in all zoning districts, as temporary uses at the following places.
 - (a) Limited to interior areas of the facility or designated exterior areas directly associated with the athletic use.
 - (b) Shall not be placed within public rights-of-way unless expressly authorized by the City.
- (4) Size and Number.
 - (a) Maximum sign area and number per facility shall be established by administrative policy or facility sponsorship guidelines adopted by the City.
- (5) First Amendment Considerations
 - (a) Nothing in this section shall be construed to regulate speech based on viewpoint or ideology. The

City's regulation of Sports Facility Sponsorship Signs is based on location, form, duration, and sponsorship status, consistent with the City's authority to manage signage within a limited or nonpublic forum.

— (Ord. No. 1581, § II, 4-5-2022; Ord. No. 1624, § V, 10-17-2023)

Sec. 16-7-7. General Sign Standards.

(A) *Illumination.*

- (1) *Location and Design of Light Source.* Whenever an external artificial light source is used for a sign, such source shall be located, shielded, and directed so as not to be directly visible from any public street or private residence. No receptacle or device housing a permitted light source for a sign shall protrude more than 12 inches from the face of the sign or building to which it is attached except if such light source is ground-mounted, locked in place, and cannot be redirected.
- (2) *Level of Illumination.* In no event shall the illumination of any sign, resulting from any internal or external artificial light source, exceed the outdoor lighting standards established in section 16-6-7. All artificial illumination shall be so designed, located, shielded, and directed as to prevent the casting of glare or direct light upon adjacent property or streets.
- (3) *Signs Adjacent to Residential Areas.* Any illuminated sign located on a lot abutting or across a street from, and visible from, any residentially zoned area shall not be illuminated between the hours of ten 10:00 p.m. and 7:00 a.m. except that such sign may remain illuminated during such time as the activity to which the sign pertains is open for business so long as such sign is not a public or private nuisance.

(B) *Electronic Message Boards (EMB).* Single-tenant and multi-tenant monument signs, pole/pylon signs, and billboard signs may incorporate electronic message boards in accordance with the following.

- (1) Streaming video and audio prohibited—except during times when a special event permit has been issued for activities on or adjacent to the location of the sign through a Staff Administrative Process
- (2) EMB's are prohibited within the Downtown Core as identified in the Comprehensive Plan "Downtown Sub Area Plan-Downtown Land Use and Development:"
- (23) Each message must be displayed for a minimum of (8) eight seconds.
- (34) Change of message must be accomplished in (2) two seconds.
- (45) Change of message must occur simultaneously on the entire sign.
- (56) No flashing, dimming, or brightening may occur except to accommodate a message change.
- (67) Electronic message boards must contain a default mechanism that freezes an image in case of malfunction.
- (78) Electronic message boards shall automatically adjust intensity of display based on natural ambient light conditions. No such sign shall display an illuminative brightness exceeding 500 NITs at any time between one-half hour after sunset until one-half hour before sunrise or 6,500 NITs between one-half hour before sunrise until one-half hour after sunset.
- (89) Electronic message boards shall be able to display multicolor high quality images based on display size. Multi-color display shall be able to show a minimum of 281 trillion color shades.
- (910) Electronic message boards shall comply with Table 16-7-7(B)(9).

Table 16-7-7(B)(9): Resolution to Size Matrix	
Size of Electronic Message Board	Maximum Pixel Size
10 sqft—25 sqft	10 mm

26 sqft— 75 sqft	16 mm
76 sqft— 125 sqft	19 mm
126 sq ft and larger	23 mm

(1011) Electronic message boards shall be turned off ~~between the hours of 10:00 p.m. and 7:00 a.m. Monday through Friday and 2:00 a.m. and 8:00 a.m. on Saturday and Sunday~~ outside of operating hours when located within (300') three-hundred feet of a residential lot.

(1112) Operators must be able to respond to a malfunction or safety issue within one hour of notification.

(1213) Applications shall be reviewed by the City Engineer and determined that the sign placement does not interfere with traffic control devices within (300') three-hundred feet of the sign or traffic circulation upon roadways, if determination is not approved by City Engineer a report from a traffic engineer certifying that the proposed sign does not interfere with the design characteristics of the traffic circulation and traffic control devices shall be required.

(C) *Visibility Standards.* All signs shall comply with the visibility standards established in section 16-6-6.

(Ord. No. 1581 , § II, 4-5-2022)

Sec. 16-7-8. Prohibited Signs and Content.

(A) *Prohibited Signs.* The following sign types shall be prohibited in all zoning districts:

- (1) Roof Signs, unless part of an approved PUD or Planning Commission approval.
- (2) Outline Lighting on windows, facades and roofs excluding seasonal ~~decor~~ décor as determined by city staff.
- (3) Signs with flashing lights,
- (4) Snipe Signs,
- (5) Streamers,
- (6) Spinners,
- (7) Propellors,
- (8) Inflatable Shapes, and
- (9) Signs which encroach on the public right-of-way.
- (10) Cabinet signs are prohibited within the Downtown Core (DC), Downtown Transition (DT) and the Riverfront Tourist Commercial (RTC).

(B) *Prohibited Content.*

- (1) The following content is prohibited without reference to the viewpoint of the individual speaker:
 - (a) Text or graphics of an indecent or immoral nature and harmful to minors,
 - (b) Text or graphics that advertise unlawful activity,
 - (c) Text or graphics that are obscene, fighting words, defamation, incitement to imminent lawless action, or true threats, or
 - (d) Text or graphics that present a clear and present danger due to their potential confusion with traffic control signs or signs that provide public safety information (for example, signs that use

the words "Stop," "Yield," "Caution," or "Danger," or comparable words, phrases, symbols, or characters in such a manner as to imply a safety hazard that does not exist).

- (2) The narrow classifications of content that are prohibited by this subsection are either not protected by the United States or Oklahoma Constitutions, or are offered limited protection that is outweighed by the substantial governmental interests in protecting the public safety and welfare. It is the intent of the City Council that each paragraph of this Subsection be individually severable in the event that a court of competent jurisdiction were to hold one or more of them to be inconsistent with the United States or Oklahoma Constitutions.

(Ord. No. 1581 , § II, 4-5-2022)

Sec. 16-7-9. Comprehensive Sign Plan.

- (A) *Intent.* The intent of the comprehensive sign program is to set forth a theme as to the placement, lettering style, color, materials, mounting method, and other related design considerations of signs.
- (B) *Applicability.* Any building or development on an irregularly shaped lot or part of a commercial subdivision greater than (25) twenty-five acres may elect to submit a comprehensive sign plan to receive additional aggregate sign area beyond the maximum established in section 16-7-2. After the approval of a comprehensive sign plan, no permanent sign shall be erected, placed, or maintained except in conformance with the Comprehensive Sign Plan.
- (C) *Conditions.* The City Planner may attach conditions, requirements, or standards necessary to assure that the signs covered by the Comprehensive Sign Plan will not be materially detrimental to persons or property in the vicinity. In making its determination, the City Planner shall not base any condition on the content of a sign.
- (D) *Evaluation Criteria.*
- (1) *Placement.* All signs shall be placed where they are visible and legible. Factors to be considered include the location of a sign relative to traffic movement and access points, site features, other structures, and orientation relative to viewing distances and viewing angles. Wall Signs may be approved on building walls other than the wall of a unit of a multi-tenant building in which some units have little or no visibility from the street.
- (2) *Quantity.* The number of signs that may be approved within any development shall be sufficient to provide necessary facilitation of internal circulation of vehicular and pedestrian traffic and wayfinding for safety of the occupants of vehicles and pedestrians. Factors to be considered shall be those that impact safety considerations such as the size of the development and the number of development sub-areas.
- (3) *Size.* All signs shall be no larger than necessary for visibility and legibility but in no instance shall the sign area or sign height exceed the maximum established per sign type per district. Factors to be considered in determining appropriate size include topography, volume, and speed of traffic, viewing distances and angles, proximity to adjacent uses, and placement of display.
- (E) *Application.* A comprehensive sign plan shall be submitted on a form established by the City Planner. The application shall contain the following information as well as all other information required by the City Planner to ensure compliance with the comprehensive sign plan evaluation criteria.
- (1) Name, address, and telephone number of the applicant.
- (2) Location of building, structure, or lot to which or upon which the comprehensive sign plan shall apply.
- (3) Name of person, firm, corporation, or association developing the comprehensive sign plan.

-
- (4) Written consent of the owner or lessee of the building, structure, or land to which the proposed comprehensive sign plan is applicable.
 - (5) Scale drawing of all signs included in the comprehensive sign plan indicating the dimensions, the materials to be used, the type of illumination, if any, and the method of construction and attachment. Said drawings shall be drawn at a scale no smaller than one-eighth inch equals one foot and shall be prepared, signed, and sealed by a registered professional engineer when required by the City Engineer.
 - (6) A scale drawing indicating the location and position of all signs included in the comprehensive sign plan in relation to nearby buildings or structures. Said drawing shall be at a scale no smaller than (1") one inch equals (50') fifty feet.
- (F) *Review and Action.* The City Planner shall review the comprehensive sign plan application and approve, approve with conditions, or deny the application based on the evaluation criteria. A written decision including the findings on the evaluation criteria shall be rendered to the applicant.
- (G) *Appeals.* Any applicant who receives a notice of denial from the City Planner may, within (30) thirty days after receipt of such decision, appeal such decision to the Board of Adjustment by filing a written notice of appeal with the City Planner with an explanation as to why said decision was not warranted according to the applicant.
- (1) *Criteria.* The Board of Adjustment shall find that the City Planner misapplied or erroneously interpreted one of the evaluation criteria in item (D) of this section to determine that the denial decision was not warranted. A written decision including the findings on the evaluation criteria shall be rendered to the applicant.
- (H) *Amendments to Comprehensive Sign Plans.*
- (1) *Minor Amendments.* Minor amendments may be approved by the City Planner and shall include any change in the site plan or design details of an approved Comprehensive Sign Plan which is consistent with the standards and conditions applied to the Plan. A minor amendment shall not:
 - (a) Increase the sign area or sign height of any sign,
 - (b) Allow for additional signs to be erected, constructed, and/or displayed,
 - (c) Replace an approved sign type with another sign type, including electronic message boards, and
 - (d) Alter the square footage of associated landscape areas.
 - (2) *Major Amendments.* Major amendments shall require the resubmittal of a Comprehensive Sign Plan application and shall include any change in the site plan or design details of an approved Comprehensive Sign Plan which is not consistent with the standards and conditions applied to the Plan and not considered a minor amendment.

(Ord. No. 1581 , § II, 4-5-2022)

Sec. 16-7-10. Installation, Safety, Maintenance, and Abandonment, and Enforcement.

(A) ~~{A}~~ Sign Permit required prior to Installation.

- (1) Prior to installation a sign permit must be submitted to the permit department for review and approval.**
- (2) Signs installed without an approved permit are subject to immediate fine.**
 - a. Sign companies/individuals with one or more violations may be barred from future permit applications.**

(3) Sign permits that do not provide the information required in the UDO sign standards will be returned without review.

(4) Payment of Approved Permit.

a. Payment of permit is required prior to installation. Signs installed without purchasing the permit will be fined per the fee schedule.

b. Payments are nonrefundable once processed.

(B) Every sign and all parts thereof, including framework, supports, background, anchors and wiring systems shall be constructed and maintained in compliance with the applicable codes of the City.

(BC) All signs, together with all supports, braces, guys, and anchors shall be kept in proper repair in accordance with the provisions of this UDO. When not galvanized or constructed of approved corrosion resistive, noncombustible materials, signs shall be painted when necessary, to prevent corrosion, rust, peeling paint, and excessive fading. Failure of owners to keep signs maintained in good mechanical and visual repair shall be deemed a violation of this UDO.

(CD) It shall be the duty and responsibility of the owner or lessee of every sign to maintain the immediate premises occupied by the sign in a clean condition, free of rubbish. Any landscaping surrounding the sign shall be kept trimmed and in good repair. If the landscaping installed at the time of sign approval dies, said landscaping shall be replaced immediately or as soon as weather permits.

(DE) Every existing sign shall be subject to an inspection whenever the City Planner or other designated city official deems it necessary. In the event an inspection demonstrates that repairs, and/or maintenance is necessary, the sign owner shall be notified and required to complete said repairs and/or maintenance within 30 days of notification. The City Planner of other designated city official is authorized to grant one 30-day extension, if, upon written request, it is deemed necessary due to extenuating circumstances.

(EF) If ~~the a~~ City Planner ~~official~~ shall find that any sign is unsafe or unsecure, or is a threat to the public safety, or was, after the adoption of this UDO constructed, erected, or maintained in violation of the provisions of this title, he or she shall give written notice per the provisions of this UDO. Such notice shall specify the manner in which the sign is unsafe or in violation of this UDO.

(FG) Sign copy shall be removed and in the case of a wall sign, the building façade shall be repaired, by the owner or lessee of the premises upon which the sign is located when the use which the sign is associated is no longer conducted on the premises. The sign copy shall be removed within ~~(30)~~ thirty days of when the use ceases to operate. If the owner or lessee fails to remove the sign copy, the City Planner shall give the owner 30 days written notice to remove it. Failure to comply with the notice shall be deemed a violation of this UDO.

(H) Violations, Penalties, and Enforcement and penalties.

(1) Administrative Violations. Violations of this Article are designated as administrative violations and shall be enforced through the City's administrative enforcement process. Such violations are subject to civil penalties; they are not criminal offenses.

(2) Civil Penalties. A civil penalty not to exceed (\$100.00) One Hundred Dollars per day may be assessed for each day a violation continues following the compliance deadline. Administrative enforcement is not an exclusive remedy. The City may pursue lawful civil actions to enforce compliance or recover costs.

(3) Enforcement Authority. This Article shall be enforced by the City Planner, Code Enforcement Officer, or other designated City official. Law enforcement officers may assist upon request but shall not issue citations for administrative violations under this Article.

ORDINANCE NO. 1680

AN ORDINANCE OF THE CITY COUNCIL OF THE CITY OF JENKS, COUNTY OF TULSA, STATE OF OKLAHOMA, AMENDING CITY CODE §§ 16-7 (SIGN STANDARDS); REPEALING ALL ORDINANCES OR PARTS THEREOF IN CONFLICT HERewith; PROVIDING FOR SEVERABILITY; AND DECLARING AN EMERGENCY.

.....
WHEREAS, the City of Jenks has identified areas of the Unified Development Ordinance that require updating to meet current best practices and to better align with City goals; and

WHEREAS, a public hearing on said code change was held by the Jenks Planning Commission on January 08, 2026, and a public hearing on said code change was held by the Jenks City Council on February 03, 2026, and due consideration has been given to any public comments; and

WHEREAS, the City Council of the City of Jenks, Oklahoma finds that the changes promote the health, safety, or general welfare of the Jenks community and that the same is necessary and expedient.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF JENKS, OKLAHOMA, AS FOLLOWS:

SECTION I. Chapter 16 Article 7 – Sign Standards shall be amended to read as follows:

See “Attachment A”

SECTION II. That all ordinances or parts of ordinances in conflict herewith be and the same are hereby expressly repealed.

SECTION III. If any section, sentence, clause or phrase of this ordinance or any part thereof is for any reason found to be invalid by a court of competent jurisdiction, such decision shall not affect the validity of the remainder of this ordinance or any part thereof.

Approved this ____ day of _____ 2026

CITY OF JENKS, OKLAHOMA

MAYOR

SECTION IV. Since the immediate operation of the provisions of the Ordinance is necessary for the preservation of public health, welfare and safety, an emergency is hereby declared to exist and this ordinance shall be in full force and effect from and after its passage by the City Council.

Emergency Clause approved separately this ____ day of _____ 2026.

CITY OF JENKS, OKLAHOMA

MAYOR

Attest:

CITY CLERK

Approved as to form:

CITY ATTORNEY

ARTICLE 7. SIGN STANDARDS

Sec. 16-7-1. Purpose and Intent.

- (A) *Purpose.* The purpose of this article is to set out regulations for the erection and maintenance of signs visible from the public right-of-way while preserving the right of free speech and expression.
- (B) *Scope.* The regulations of [this] article shall provide a balanced and fair legal framework for design, construction, and placement of signs that:
- (1) Promotes the safety of persons and property by ensuring that signs do not create a hazard by:
 - (a) Collapsing, catching fire, or otherwise decaying,
 - (b) Confusing or distracting motorists, or
 - (c) Impairing drivers' ability to see pedestrians, obstacles, or other vehicles, or to read traffic signs.
 - (2) Promotes the efficient communication of messages, and ensures that persons exposed to signs:
 - (a) Are not overwhelmed by the number of messages presented, and
 - (b) Are able to exercise freedom of choice to observe or ignore said messages according to the observer's purpose.
 - (3) Protects the public welfare and enhances the appearance and economic value of the community by protecting scenic views and avoiding sign clutter that can compromise the character, quality, and viability of commercial corridors,
 - (4) Ensures that signs are compatible with their surroundings, and prevents the construction of signs that are a nuisance to occupants of adjacent and contiguous property due to brightness, reflectivity, bulk, or height,
 - (5) Promotes the use of signs that are aesthetically pleasing, of appropriate scale, and integrated with the built environment, in order to meet the objectives related to the quality and character of development set forth in the Comprehensive Plan of the City of Jenks,
 - (6) Enhances property values and business opportunities,
 - (7) Assists in wayfinding, and
 - (8) Provides fair and consistent permitting and enforcement.
- (C) *Authority.* The City Council finds that:
- (1) This article advances important and substantial governmental interests,
 - (2) The regulations set out in this article are unrelated to the suppression of constitutionally-protected free expression and do not involve the content of protected messages which may be displayed on signs, nor do they involve the viewpoint of individual speakers,
 - (3) The incidental restriction on the freedom of speech is no greater than is essential to the furtherance of the interests protected by this article, and
 - (4) Certain types of speech are not protected by the First Amendment due to the harm that they cause to individuals or the community, and speech that is harmful to minors may be prohibited in places that are accessible to minors.

-
- (5) Any Planned Unit Development ordinance or Specific Use approved prior to the adoption of this UDO which references compliance with the City of Jenks Zoning Code shall meet the applicable sign standards of this UDO.

(D) *General Findings of Fact.* The City Council finds that:

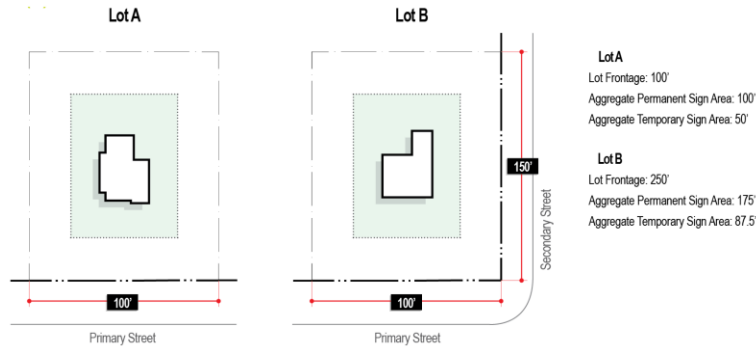
- (1) The ability to display signs of reasonable size and dimensions is vital to the health and sustainability of many businesses, and the display of signs with noncommercial messages is a traditional component of the freedom of speech, but the constitutional guarantee of free speech may be limited by appropriate and constrained regulation that is unrelated to the expression itself,
- (2) The City has an important and substantial interest in preventing sign clutter (which is the proliferation of signs of increasing size and dimensions as a result of competition among property owners for the attention of passing motorists), because sign clutter degrades the character of the community, makes the community a less attractive place for commerce and private investment, and dilutes or obscures messages displayed along the City's streets by creating visual confusion and aesthetic blight,
- (3) Sign clutter can be prevented by regulations that balance the legitimate needs of individual property owners to convey their commercial and noncommercial messages against the comparable needs of adjacent and nearby property owners and the interest of the community as a whole in providing for a high-quality community character,
- (4) Temporary signs that are not constructed of weather-resistant materials are often damaged or destroyed by wind, rain, and sun, and after such damage or destruction, degrade the aesthetics of the City's streets if they are not removed,
- (5) The City has an important and substantial interest in keeping its rights-of-way clear of obstructions and litter,
- (6) The City has an important and substantial interest in protecting the health of its tree canopy, which contributes to the character and value of the community, and
- (7) The uncontrolled use of billboard signs and their location, density, size, shape, motion, illumination, and demand for attention can be injurious to the purposes of this UDO, and destructive to community character and property values, and that, as such, restrictions on the display of off-premises commercial messages are necessary and desirable.

(Ord. No. 1581 , § II, 4-5-2022)

Sec. 16-7-2. Limit on Sign Area.

- (A) Reserved.
- (B) *Temporary Sign Area Limit.* Each lot shall be allowed aggregate temporary sign area equal to one-half square foot of sign area per linear foot of lot frontage.
- (C) *Premises Having Frontage on More Than One Dedicated Street.* Premises having frontage on more than one dedicated street will be allowed an additional one-half square foot of aggregate sign area for each lineal foot of the secondary lot frontage; however additional sign area shall only be displayed on the secondary frontage.
- (D) *Irregularly Shaped Lots.* Irregularly shaped lots with minimal lot frontage, relative to more typically shaped lots in the district, may petition for additional aggregate sign area through the Comprehensive Sign Plan process as detailed in section 16-7-9.

Figure 7.1: Limit on Sign Area



(Ord. No. 1581 , § II, 4-5-2022; Ord. No. 1624 , § V, 10-17-2023)

Sec. 16-7-3. Sign Measurement.

- (A) *Sign Height.* Sign height shall be measured by the total distance between the highest point on the sign to the average elevation of the ground upon which the sign supports are placed, except when the sign supports rest upon a berm or other area elevated above the surrounding ground or when the sign supports rest upon a ditch or other area lower than the surrounding ground. In such cases, the elevation of the centerline of the adjacent roadway shall be considered as the ground level.

Figure 7.2: Sign Height Measurement



- (B) *Sign Area.* Unless otherwise defined, sign area is determined by the total area enclosed by a continuous perimeter along the edges of a sign, including any frame or border. The area of a sign composed of individually-affixed letters is determined by the total area of the smallest geometric shape enclosing the copy. A maximum of two geometric shapes may be utilized. The calculation for a double-faced sign shall be the area of one face only.

Figure 7.3: Sign Area Measurement



(Ord. No. 1581 , § II, 4-5-2022)

Sec. 16-7-4. Permitted Sign Types.

KEY: The following key is to be used in the interpretation of Table 16-7-4.

(A) *Permitted Sign Types (P).*

- (1) Sign types marked as "P" in the table shall be allowed subject to all applicable regulations of this UDO.
- (2) Require the issuance of a Sign Permit prior to installation, as detailed in section 16-9-3(F).

(B) *Conditional Sign Types (C).* Sign types marked as "C" in the table shall be allowed subject to all applicable regulations of this UDO.

(C) *Prohibited Sign Types (-).* A hyphen in the table indicates that a sign type is NOT allowed in the respective zoning district.

(D) *Unlisted Sign Types.* Sign types that are NOT included in Table 16-7-4 shall be considered prohibited.

Table 16-7-4: Permitted Sign Types by District												
Sign Type	District											
	R Districts	AG	OL	OM	LC	CS	CG	DC	DT	RTC	IL	IM
Permanent Signs												
Wall Sign	P (1)	P (1)	P	P	P	P	P	P	P	P	P	P
Single-Tenant Monument Sign	P (1)(2)	P (1)	P	P	P	P	P	-	-	P	P	P
Multi-Tenant Monument Sign	-	P (1)	P	P	P	P	P	-	-	P	P	P
Post Sign, Permanent	-	P (1)	-	-	-	-	-	P	P	-	-	-
Pole/Pylon Sign	-	-	-	-	-	P (3)	P (3)	-	-	-	P (3)	P (3)
Awning/Canopy Sign	P (1)	P (1)	P	P	P	P	P	P	P	P	P	P
Blade Sign	-	P (1)	P	P	P	P	P	P	P	P	P	P
Window Sign, Permanent	-	P (1)	P	P	P	P	P	P	P	P	P	P
Billboard Sign	-	-	-	-	-	P (3)	P (3)	-	-	-	P (3)	P (3)
Digital Sign	P (1)	P (1)	P	P	P	P	P	P	-	P	P	P
Electronic Message Board	P (1)	P (1)	-	-	P	P	P	-	-	P	-	-

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(Supp. No. 6)

Temporary Signs												
Sign Type	R Districts	AG	OL	OM	LC	CS	CG	DC	DT	RTC	IL	IM
Wall-Mounted Banner Sign	P (1)	P (1)	P	P	P	P	P	P	P	P	P	P
Ground-Mounted Banner Sign	P (1)	P (1)	P	P	P	P	P	-	-	P	P	P
Feather Sign	-	-	-	-	-	P	P	-	-	-	P	P
Window Sign, Temporary	-	-	P	P	P	P	P	P	P	P	P	P
Post Sign, Temporary	P	P	P	P	P	P	P	P	P	P	P	P
Sports facility sponsorship signs	C	C	C	C	C	C	C	C	C	C	C	C
Yard Sign	C	C	C	C	C	C	C	-	-	-	C	C
Notes:												
(1) Sign shall be allowed for nonresidential, mixed use, or multifamily developments only.												
(2) Sign shall be allowed at entryways or gateways to subdivisions or neighborhoods only.												
(3) Sign spacing requirements for Billboard Signs are found in the Oklahoma Department of Transportation "Outdoor Advertising Brochure," billboards may be placed along United States Federal Highways, Federal Interstate Highways, State of Oklahoma Highways, U.S. or State Toll ways or Turnpikes only.												

(Ord. No. 1581 , § II, 4-5-2022; Ord. No. 1624 , § V(Att. D), 10-17-2023)

Sec. 16-7-5. Permanent Sign Standards.

(A) Wall Signs.

(1) Sign Area.

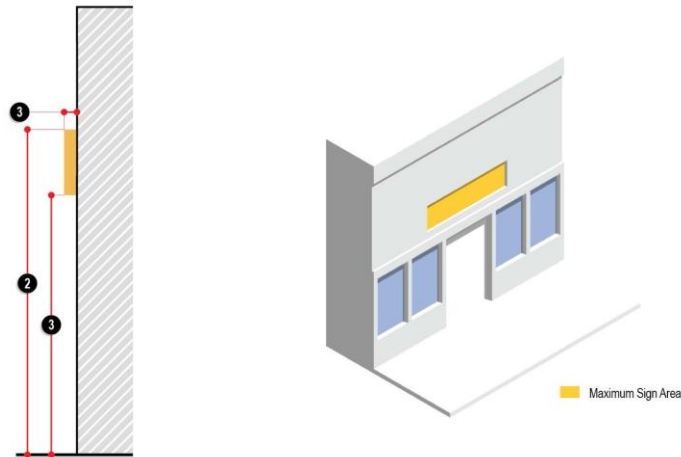
- (a) The maximum sign area of wall signs in the AG, R, OL, LC, DT, and DC Districts shall not exceed (5%) five percent of the total area of the facade of the wall to which the sign is to be affixed, up to (40) forty square feet.
- (b) The maximum sign area of wall signs in the OM, CS, RTC, and IL Districts shall not exceed (10%) ten percent of the total area of the facade of the wall to which the sign is to be affixed, up to (50) fifty square feet.
- (c) The maximum sign area of wall signs in the CG and IM Districts shall not exceed (15%) 15 percent of the total area of the façade of the wall to which the sign is to be affixed, up to (60) sixty square feet.

(2) Sign Height. No wall sign shall protrude above the highest roofline or the top of the parapet wall or mansard roof.

(3) Sign Depth.

- (a) A wall sign shall not extend more than (6") six inches from the wall of the building or structure to which it is attached.
- (b) A wall sign shall maintain a minimum vertical clearance of (10') ten feet from grade.

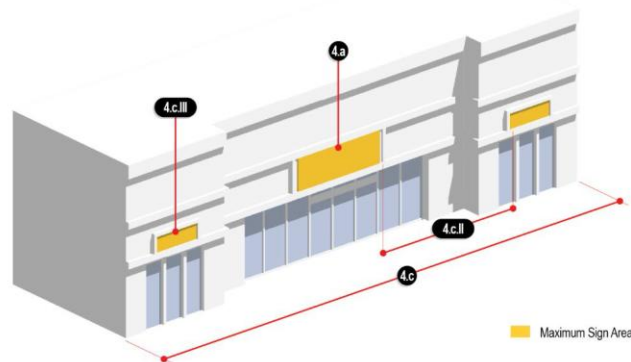
Figure 7.4: Wall Sign Area, Height, and Projection



(4) *Number of Signs.*

- (a) Single tenant buildings shall be permitted a total of (2) two wall signs; however only (1) one wall sign shall be displayed on any single building façade.
- (b) Multi-tenant buildings shall be permitted (1) one wall sign per unit.
- (c) A maximum of (2) two secondary wall signs may be authorized for buildings with lineal frontage in excess of (75') seventy feet by the City Planner provided such additional signage is:
 - (I) In keeping with the overall design and architecture of the building,
 - (II) A minimum of (20') twenty feet from the primary wall sign and other secondary wall signs,
 - (III) A maximum of (50%) fifty percent of the size of the primary wall sign,
 - (IV) Less visually prominent on the site than the building's primary wall sign, and
 - (V) The total area of all primary and secondary wall signs does not exceed the maximum wall sign area as established in section 16-7-5(A)(1).

Figure 7.5: Secondary Wall Signs



- (5) *Sign Copy.* If the sign copy utilized on a wall sign is either individually affixed letters, raceway letters, applied vinyl, or printed, etched, or otherwise incorporated directly on the sign's backing plate, the City Planner may approve an increase in sign area up to an additional (5%) five percent of the total area of

the face of the wall to which the sign is to be affixed. Box/cabinet signs shall be prohibited in the Downtown Commercial District.

(6) *Other Provisions.*

- (a) No wall sign shall cover any architectural features (architectural features shall include but not be limited to, pediment, cornice, belt course, pier, windows, pilaster, roof, decorative stone or inlay, kick plate/bulkhead, raised or colored brick pattern, and corbel) of the building to which it is affixed.
- (b) No wall sign shall be affixed to HVAC screening, elevator overrun, or other structures protruding from the roof of the principal building, excluding architectural features that are an integral part of the principal building.

(B) *Single-Tenant Monument Signs.*

(1) *Sign Area.*

- (a) The maximum sign area of single-tenant monument signs in the AG, R, OL, and LC, Districts shall not exceed (30) thirty square feet.
 - i. Residential Subdivisions are limited to (15) fifteen square feet unless they meet the following criteria.
 - Residential Subdivisions may be approved for additional square footage when accompanied by a PUD; and the signage is part of the entry feature.
 - Entry feature signage for residential subdivisions may be approved for lettering up to 2 feet in height when attached to a wall less than 3 feet in height.
 - Digital signs are not permitted in the residential zonings.
- (b) The maximum sign area of single-tenant monument signs in the OM, CS, RTC, and IL Districts shall not exceed (45) forty-five square feet.
- (c) The maximum sign area of single-tenant monument signs in the CG and IM Districts shall not exceed (55) fifty-five square feet.
- (d) The maximum sign area of (100) one hundred square feet is allowed for a single-tenant monument sign within (500') five hundred feet of United States Federal Highways, Federal Interstate Highways, State of Oklahoma Highways, U.S. or State Toll ways or Turnpikes only, measured by the shortest distance from the physical edge of paving to the sign location.

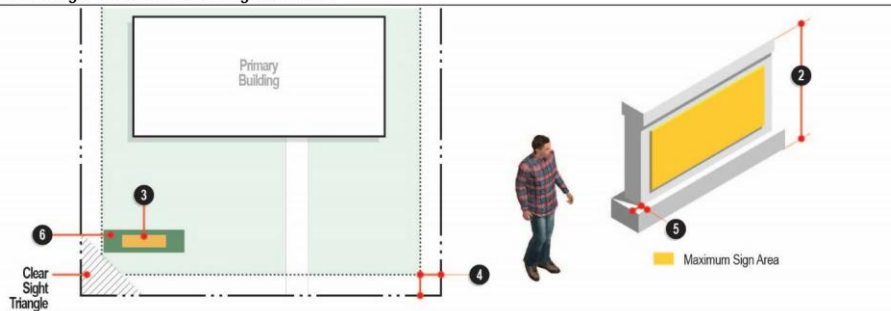
(2) *Sign Height.*

- (a) The maximum sign height of single-tenant monument signs in the AG, R, OL, and LC Districts shall not exceed (5') five feet.
- (b) The maximum sign height of single-tenant monument signs in the OM, CS, RTC, and IL Districts shall not exceed (7') seven feet.
- (c) The maximum sign height of single-tenant monument signs in the CG and IM Districts shall not exceed (10') ten feet.
- (d) The maximum sign height of (30) thirty feet is allowed for a single-tenant monument sign within (500') five hundred feet of United States Federal Highways, Federal Interstate Highways, State of Oklahoma Highways, U.S. or State Toll ways or Turnpikes measured by the shortest distance from the physical edge of paving to the sign location.

(3) *Number of Signs.* A maximum of one single-tenant monument sign shall be permitted per lot frontage.

-
- (4) *Location.* Single-tenant monument signs shall comply with the following locational standards.
 - (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements.
 - (b) Shall not block points of ingress or egress.
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system.
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
 - (5) *Sign Base.* The base of single-tenant monument sign, including all structural components, shall extend horizontally from the sign face a minimum of (10%) ten percent and a maximum of (25%) twenty-five percent of the width of the sign face. The base of single-tenant monument signs shall be constructed from masonry, stone, or similar high-quality materials in keeping with the materials and design of the principal building of the lot.
 - (6) *Landscape Requirement.* All single-tenant monument signs shall be required to plant and maintain a landscape area at the base of the sign. The minimum area of the landscape area shall be equal to half of the square footage of the sign area of the associated sign. Landscape areas shall be planted with one shrub or native grass per every (3) three square feet of required landscape area.
 - (7) *Other Provisions.* A single-tenant monument sign shall not be permitted on a lot frontage with an existing single-tenant monument sign or pole/pylon sign.

Figure 7.6: Single-Tenant Monument Sign Standards

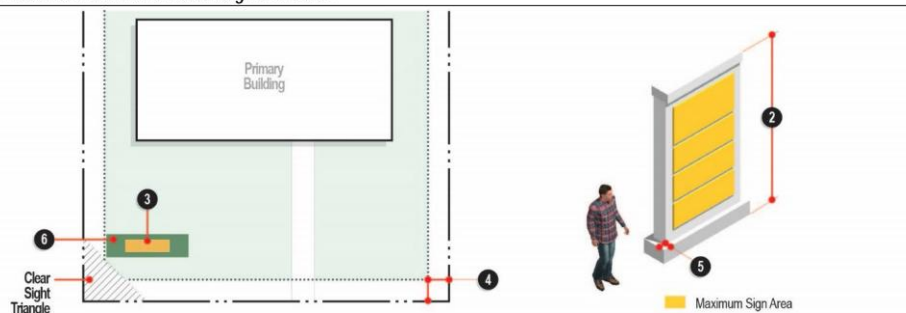


(C) *Multi-Tenant Monument Signs.*

- (1) *Sign Area.*
 - (a) The maximum sign area of multi-tenant monument signs in the AG, OL, and LC Districts shall not exceed (50) fifty square feet.
 - (b) The maximum sign area of multi-tenant monument signs in the OM, CS, RTC, and IL Districts shall not exceed (75) seventy-five square feet.
 - (c) The maximum sign area of multi-tenant monument signs in the CG and IM Districts shall not exceed (90) ninety square feet.
 - (d) The maximum sign area of (200) two hundred square feet is allowed for a multi-tenant monument sign within (500') five hundred feet of United States Federal Highways, Federal Interstate Highways, State of Oklahoma Highways, U.S. or State Toll ways or Turnpikes only, measured by the shortest distance from the physical edge of paving to the sign location.
 - (2) *Sign Height.*
 - (a) The maximum sign height of multi-tenant monument signs in the AG, OL, and LC Districts shall not exceed (10') ten feet.
-

- (b) The maximum sign height of single-tenant monument signs in the OM, CS, RTC, and IL Districts shall not exceed (14') fourteen feet.
 - (c) The maximum sign height of single-tenant monument signs in the CG and IM Districts shall not exceed (20') twenty feet.
 - (d) The maximum sign height of (30) thirty square feet is allowed for a multi-tenant monument sign within (500') five hundred feet of United States Federal Highways, Federal Interstate Highways, State of Oklahoma Highways, U.S. or State Toll ways or Turnpikes only, measured by the shortest distance from the physical edge of paving to the sign location.
- (3) *Number of Signs.* A maximum of one multi-tenant monument sign shall be permitted per lot frontage.
 - (4) *Location.* Multi-tenant monument signs shall be located a minimum of five feet from all property lines, rights-of-way, and utility easements; shall not block points of ingress or egress; be placed in any sidewalk or pedestrian circulation system and shall not be located in a clear sight triangle as detailed in section 16-6-6.
 - (5) *Sign Base.* The base of multi-tenant monument signs, including all structural components, shall extend horizontally from the sign face a minimum of ten percent and a maximum of 25 percent of the width of the sign face. The base of single-tenant monument signs shall be constructed from masonry, stone, or similar high-quality materials in keeping with the materials and design of the principal building of the lot.
 - (6) *Landscape Requirement.* All multi-tenant monument signs shall be required to plant and maintain a landscape area at the base of the sign. The minimum area of the landscape area shall be equal to half of the square footage of the sign area of the associated sign. Landscape areas shall be planted with one shrub or native grass per every (3) three square feet.
 - (7) *Other Provisions.* A multi-tenant monument sign shall not be permitted on a lot frontage with an existing monument sign or pole/pylon sign.

Figure 7.7: Multi-Tenant Monument Sign Standards

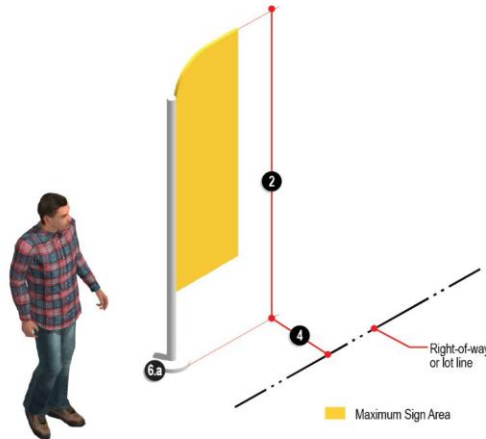


(D) *Post Sign, Permanent.*

- (1) *Sign Area.* The maximum sign area of a permanent post sign shall not exceed (6) six square feet.
- (2) *Sign Height.* The maximum height of a permanent post sign shall not exceed (6') six feet.
- (3) *Number of Signs.* A maximum of (1) one permanent post sign shall be allowed per lot frontage.
- (4) *Location.* Permanent post signs shall meet the following locational requirements.
 - (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements.
 - (b) Shall not block points of ingress or egress.

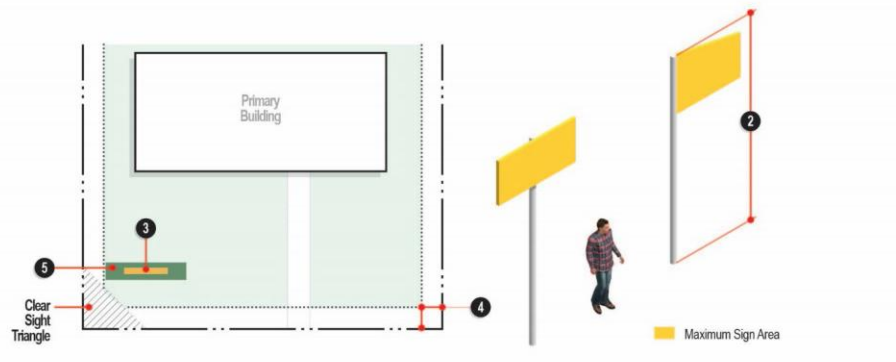
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- (c) Shall not be placed in any sidewalk or pedestrian circulation system.
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
- (5) *Other Provisions.*
- (a) Permanent post signs shall be securely anchored into the ground or secured in a portable base designed for such function.
 - (b) Permanent Post signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

Figure 7.8: Permanent Post Sign Standards



- (E) *Pole/Pylon Signs.*
- (1) *Sign Area.* The sign area of pole/pylon signs shall not exceed (30) thirty square feet in any district.
 - (2) *Sign Height.* The sign height of pole/pylon signs shall not exceed (40') forty feet in any district.
 - (3) *Number of Signs.* A maximum of one pole/pylon sign shall be permitted per lot.
 - (4) *Location.* Pole/Pylon signs shall comply with the following locational standards.
 - (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements.
 - (b) Shall not block points of ingress or egress.
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system.
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
 - (5) *Landscape Requirement.* All pole/pylon signs shall be required to plant and maintain a landscape area at the base of the sign. The minimum area of the landscape area shall be equal to the square footage of the sign area of the associated sign. Landscape areas shall be planted with one shrub or native grass per every (3) three square feet.
 - (6) *Other Provisions.* A pole/pylon sign shall not be permitted on a lot frontage with an existing monument sign or pole/pylon sign.

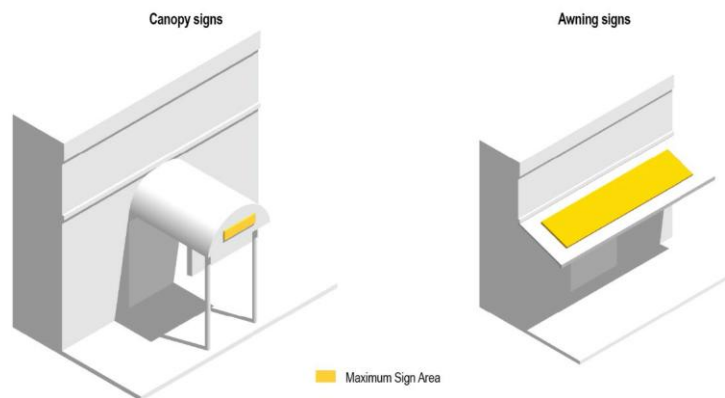
Figure 7.9: Pole/Pylon Sign Standards



(F) *Awning/Canopy Signs.*

- (1) *Sign Area.* The maximum sign area of awning/canopy signs shall be (50%) fifty percent of the face of the awning or canopy upon which the sign shall be printed or affixed. The area of the awning or canopy sign shall count towards the maximum amount of sign area permitted for wall signs as detailed in section 16-7-5(A)(1).
- (2) *Other Provisions.* Awning/canopy signs shall only be permitted on awnings/canopies extending above ground floor entrances or windows.

Figure 7.10: Awning-Canopy Sign Standards

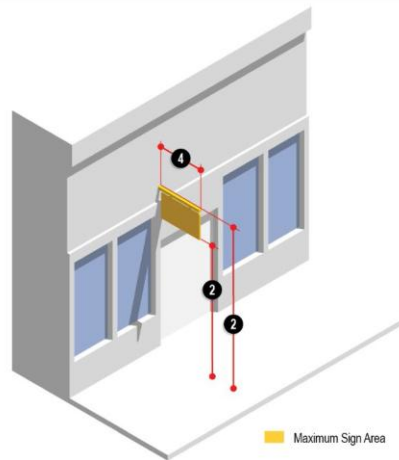


(G) *Blade/Projecting Signs.*

- (1) *Sign Area.*
 - (a) The maximum permitted sign area of blade signs shall be (4) four square feet.
 - (b) The maximum permitted sign area of projecting signs shall be equal to twice the median height of the building.
- (2) *Height.*
 - (a) Blade signs shall not extend above the roofline of the building to which it is attached, or a maximum of (12') twelve feet, whichever is less, and shall maintain a minimum vertical clearance of (10') ten feet.
 - (b) Projecting signs shall not exceed the height of the parapet or wall to which it is attached by more than (25%) twenty-five percent and shall maintain a minimum vertical clearance of (10') ten feet.

-
- (3) *Number of Signs.* A maximum of (1) one blade sign shall be permitted per ground floor nonresidential tenant space. A blade sign may be displayed on the same building frontage as a wall or an awning or canopy sign, and projecting sign.
 - (4) *Projection.* Blade signs shall horizontally project a maximum of (4') four feet from the mean elevation of the building to which it is attached or with staff recommendation and approval of Planning Commission. Projecting blade signs shall not be continuously attached to the surface of the wall.
 - (5) *Other Provisions.*
 - (a) *Illumination.*
 - i. Blade signs shall not be internally illuminated.
 - ii. Projecting signs may incorporate neon or other illumination; staff may require approval from Planning Commission for other requests.
 - (b) Blade and Projecting signs may encroach upon, extend, or project over a public right-of-way or easement. The property owner may be required to provide a release or hold harmless to the City prior to issuing permits for any such signs.

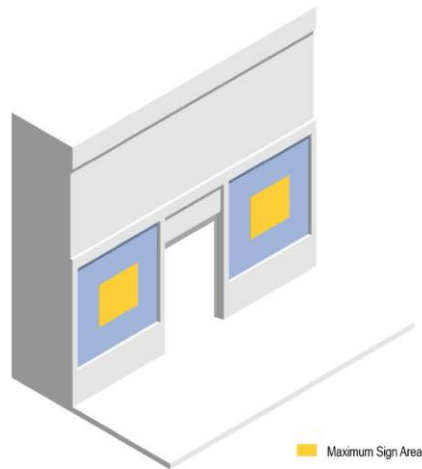
Figure 7.11: Blade Sign Standards



(H) *Window Signs, Permanent.*

- (1) *Sign Area.* The maximum permitted sign area of a permanent window sign shall be (25%) twenty-five percent of the square footage of the individual window on which the sign shall be located. Permanent window sign area shall be counted in combination with temporary window sign area.

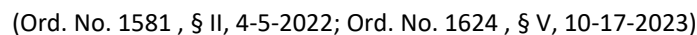
Figure 7.12: Permanent Window Sign Standards



(I) *Billboard Signs.*

- (1) *Sign Area.* The maximum sign area of billboard signs shall not exceed (14' x 48') fourteen feet by forty-eight feet and may include an additional (3' x 48') three-by forty-eight-foot marquee located at the base of the sign face.
 - (2) *Sign Height.* The maximum height of billboard signs shall not exceed (50') fifty feet.
 - (3) *Sign Separation.*
 - (a) A minimum distance of 1,000 linear feet shall be required between billboard signs. The separation requirement shall apply to the side of the roadway the sign is located upon.
 - (b) Billboard signs shall maintain a minimum separation of (50') fifty feet from any monument sign or pole/pylon sign. The separation requirement shall be measured in a straight line from the nearest point on the sign to the nearest point of any monument sign or pole/pylon sign.
 - (4) *Location.*
 - (a) No billboard sign shall be located within (300') three hundred feet of a public park. The setback requirement shall be measured in a straight line from the nearest point on the sign to the nearest point on the property of the park.
 - (b) Billboard signs, if visible from an R district or if visible from a designated residential development area, shall be setback from such district or area a minimum linear distance equal to the area of the billboard sign. The setback requirement shall be measured in a straight line from the nearest point on a sign to the nearest point of an R district or residential development area boundary line.
 - (c) No portion of a billboard sign shall be located within (10') ten feet of a freeway right-of-way. The setback requirement shall be measured in a straight line from the nearest point on a sign to the nearest point of the freeway right-of-way boundary line.
 - (d) No billboard sign shall be permitted to be located upon or constructed within a required landscape zone, off-street parking area, or off-street loading area, nor to otherwise obstruct vehicular or pedestrian access or circulation or pose any other hazard to motor vehicle traffic exiting, entering, or traveling within the site on which the sign is located.
 - (5) *Other Provisions.*
-

- Figure 7.13: Billboard Sign Standards**



- (1) *Concurrent Display.* A maximum of two permitted temporary signs, as allowed per district, may be displayed on a lot concurrently.
- (2) *Display Location.*
 - (a) The permitted temporary sign.

- i. Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements;
 - ii. Shall not block points of ingress or egress;
 - iii. Shall not be placed in any sidewalk or pedestrian circulation system, except when there is an additional (5') five feet of clear pedestrian circulation.
 - iv. Shall not be located in a clear sight triangle as detailed in section 16-6-6.
 - (b)
 - (c) Nonconcurrent display periods shall be separated by a minimum of (14) fourteen days., excluding residential yard signs.
- (B) *Wall-Mounted Banner Signs. (Cannot be a permanent sign.)*
- (1) *Sign Area.*
 - (a) The maximum sign area of wall-mounted banner signs in the R, OL, LC, and DC Districts shall not exceed (2.5%) two and one-half percent of the total area of the face of the wall to which the sign is to be affixed.
 - (b) The maximum sign area of wall-mounted banner signs in the OM, CS, RTC, and IL Districts shall not exceed (5%) five percent of the total area of the face of the wall to which the sign is to be affixed.
 - (c) The maximum sign area of wall-mounted banner signs in the AG, CG and IM Districts shall not exceed (7.5%) seven and one-half percent of the total area of the face of the wall to which the sign is to be affixed.
 - (2) *Sign Height.* No wall-mounted banner sign shall protrude above the highest roofline or above the top of the parapet wall or mansard roof.
 - (3) *Number of Signs.* A maximum of one wall-mounted banner sign shall be permitted per lot frontage of a single-tenant building or unit of a multi-tenant building.
 - (4) *Location.* Wall-mounted banner signs shall be affixed to a building.
 - (5) *Projection.* Wall-mounted banner signs shall be affixed flat against the building to which they are mounted.

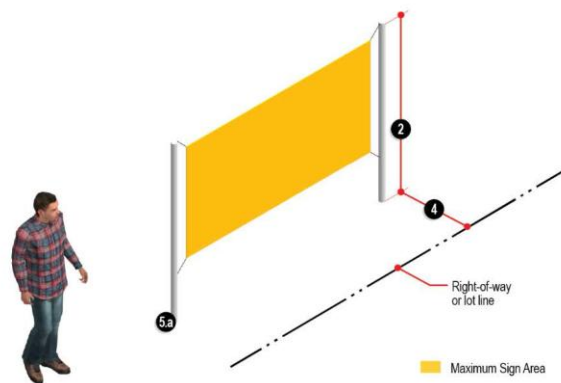
Figure 7.14: Wall Mounted Banner Sign Standards



- (C) *Ground-Mounted Banner Signs. (Cannot be a permanent sign.)*
- (1) *Sign Area.* The maximum sign area of a ground-mounted banner sign shall not exceed (30) thirty square feet.
 - (2) *Sign Height.* The maximum height of a ground-mounted banner sign shall not exceed (6') six feet.
 - (3) *Number of Signs.* A maximum of (1) one ground-mounted banner sign shall be permitted per lot frontage.
 - (4) *Location.* Ground-mounted banner signs shall meet the following locational requirements.

- (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements;
 - (b) Shall not block points of ingress or egress;
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system, and
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
- (5) *Other Provisions.*
- (a) Ground-mounted banner signs shall be securely anchored into the ground or secured in a portable base designed for such function.
 - (b) Ground-mounted banner signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

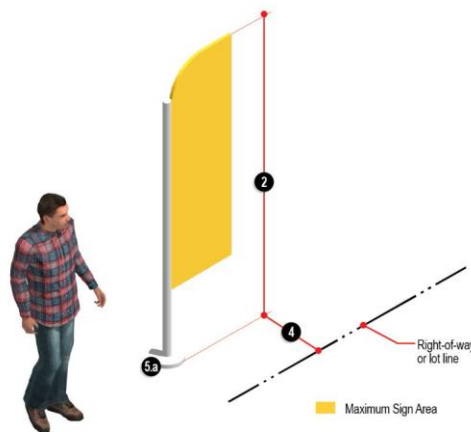
Figure 7.15: Ground Mounted Banner Sign Standards



(D) *Feather Sign.*

- (1) *Sign Area.* The maximum sign area of feather signs shall not exceed (16) sixteen square feet.
- (2) *Sign Height.* The maximum height of a feather sign shall not exceed (8') eight feet.
- (3) *Number of Signs.* A maximum of (1) one feather sign shall be permitted per (25') twenty-five feet of linear lot frontage.
- (4) *Sign Separation.* Each feather sign shall be separated from another feather sign by at least (25') twenty-five feet.
- (5) *Location.* Feather signs shall meet the following locational requirements.
 - (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements.
 - (b) Shall not block points of ingress or egress.
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system.
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
- (6) *Other Provisions.*
 - (a) Feather signs shall be securely anchored into the ground or secured in a portable base designed for such function.
 - (b) Feather signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

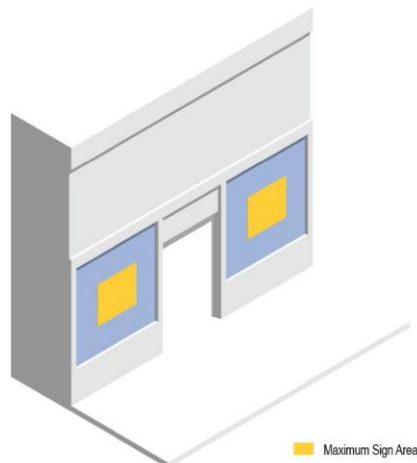
Figure 7.16: Feather Sign Standards



(E) *Window Sign, Temporary.*

- (1) *Sign Area.* The maximum sign area of a temporary window sign shall be (30%) thirty percent of the square footage of the individual window on which the sign shall be located. Temporary window sign area shall be counted in aggregate with permanent window sign area.

Figure 7.17: Temporary Window Sign Standards

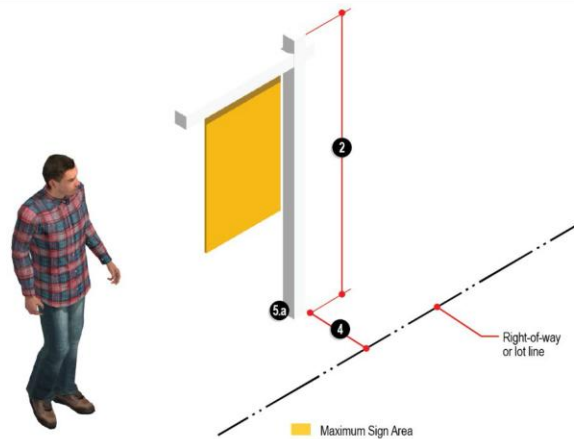


(F) *Post Signs, Temporary.*

- (1) *Sign Area.* The maximum sign area of a temporary post sign shall not exceed (6) six square feet.
- (2) *Sign Height.* The maximum height of a temporary post sign shall not exceed (6') six feet.
- (3) *Number of Signs.* A maximum of one temporary post sign shall be allowed per lot frontage.
- (4) *Location.* Temporary post signs shall meet the following locational requirements.
 - (a) Shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements.
 - (b) Shall not block points of ingress or egress.
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system.

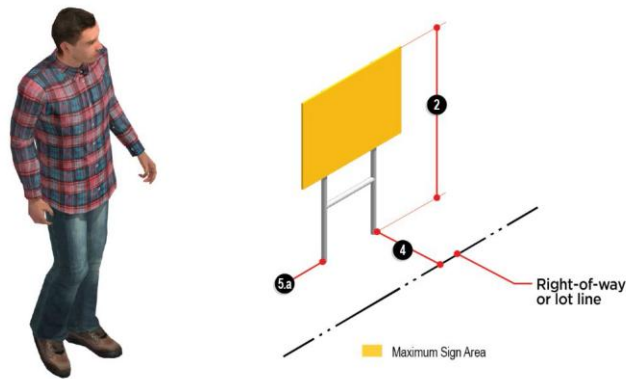
- (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
- (5) *Other Provisions.*
 - (a) Temporary post signs shall be securely anchored into the ground or secured in a portable base designed for such function.
 - (b) Temporary post signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.

Figure 7.18: Temporary Post Sign Standards



- (G) *Yard Signs.*
 - (1) *Sign Area.* The maximum sign area of a yard sign shall not exceed (4) four square feet.
 - (2) *Sign Height.* The maximum height of a yard sign shall not exceed (3.5') three and one-half feet.
 - (3) *Number of Signs.*
 - (a) Up to (5) five yard signs may be displayed concurrently.
 - (b) An unlimited number of yard signs may be displayed concurrently for a period of 48 hours.
 - (4) *Location.* Yard signs shall meet the following locational criteria.
 - (a) Yard signs shall be located a minimum of (5') five feet from all property lines, rights-of-way, and utility easements;
 - (b) Shall not block points of ingress or egress;
 - (c) Shall not be placed in any sidewalk or pedestrian circulation system, and
 - (d) Shall not be located in a clear sight triangle as detailed in section 16-6-6.
 - (5) *Other Provisions.*
 - (a) Yard signs shall be securely anchored into the ground or secured in a portable base designed for such function.
 - (b) Yard signs shall be maintained in good condition and shall not sag, lie on the ground, be torn, or otherwise kept in a disorderly state.
 - (c) Yard signs in residential districts displayed for a period of 48 hours or less shall be exempt from the requirements of this section.

Figure 7.19: Yard Sign Standards



(H) Sports facility sponsorship signs.

- (1) Purpose and Intent. The purpose of this section is to allow limited sponsorship signage within publicly owned or operated athletic and private recreational facilities in a manner that supports facility funding, preserves community character, and ensures safe and orderly use of public property. These regulations are intended to be content-neutral, viewpoint-neutral, and administered through ministerial review.
- (2) Definition. Sports Facility Sponsorship Sign
 - (a) A sign located within or upon a publicly owned or operated athletic or private recreational facility that identifies or recognizes a business, organization, or individual that has provided financial or in-kind support for the construction, maintenance, operation, or programming of the facility or a related event.
 - (b) Such signs are intended solely for sponsorship recognition and do not constitute general advertising or a public forum for expressive speech.
- (3) Location. Sports facility sponsorship signs are permitted, without regard in all zoning districts, as temporary uses at the following places.
 - (a) Limited to interior areas of the facility or designated exterior areas directly associated with the athletic use.
 - (b) Shall not be placed within public rights-of-way unless expressly authorized by the City.
- (4) Size and Number.
 - (a) Maximum sign area and number per facility shall be established by administrative policy or facility sponsorship guidelines adopted by the City.
- (5) First Amendment Considerations
 - (a) Nothing in this section shall be construed to regulate speech based on viewpoint or ideology. The City's regulation of Sports Facility Sponsorship Signs is based on location, form, duration, and sponsorship status, consistent with the City's authority to manage signage within a limited or nonpublic forum.

Sec. 16-7-7. General Sign Standards.

(A) *Illumination.*

- (1) *Location and Design of Light Source.* Whenever an external artificial light source is used for a sign, such source shall be located, shielded, and directed so as not to be directly visible from any public street or private residence. No receptacle or device housing a permitted light source for a sign shall protrude more than 12 inches from the face of the sign or building to which it is attached except if such light source is ground-mounted, locked in place, and cannot be redirected.
 - (2) *Level of Illumination.* In no event shall the illumination of any sign, resulting from any internal or external artificial light source, exceed the outdoor lighting standards established in section 16-6-7. All artificial illumination shall be so designed, located, shielded, and directed as to prevent the casting of glare or direct light upon adjacent property or streets.
 - (3) *Signs Adjacent to Residential Areas.* Any illuminated sign located on a lot abutting or across a street from, and visible from, any residentially zoned area shall not be illuminated between the hours of ten 10:00 p.m. and 7:00 a.m. except that such sign may remain illuminated during such time as the activity to which the sign pertains is open for business so long as such sign is not a public or private nuisance.
- (B) *Electronic Message Boards (EMB).* Single-tenant and multi-tenant monument signs, pole/pylon signs, and billboard signs may incorporate electronic message boards in accordance with the following.
- (1) Streaming video and audio prohibited except during times when a special event permit has been issued for activities on or adjacent to the location of the sign through a Staff Administrative Process
 - (2) EMB's are prohibited within the Downtown Core as identified in the Comprehensive Plan "Downtown Sub Area Plan-Downtown Land Use and Development"
 - (3) Each message must be displayed for a minimum of (8) eight seconds.
 - (4) Change of message must be accomplished in (2) two seconds.
 - (5) Change of message must occur simultaneously on the entire sign.
 - (6) No flashing, dimming, or brightening may occur except to accommodate a message change.
 - (7) Electronic message boards must contain a default mechanism that freezes an image in case of malfunction.
 - (8) Electronic message boards shall automatically adjust intensity of display based on natural ambient light conditions. No such sign shall display an illuminative brightness exceeding 500 NITs at any time between one-half hour after sunset until one-half hour before sunrise or 6,500 NITs between one-half hour before sunrise until one-half hour after sunset.
 - (9) Electronic message boards shall be able to display multicolor high quality images based on display size. Multi-color display shall be able to show a minimum of 281 trillion color shades.
 - (10) Electronic message boards shall comply with Table 16-7-7(B)(9).

Table 16-7-7(B)(9): Resolution to Size Matrix	
Size of Electronic Message Board	Maximum Pixel Size
10 sqft—25 sqft	10 mm
26 sqft—75 sqft	16 mm
76 sqft—125 sqft	19 mm
126 sq ft and larger	23 mm

- (11) Electronic message boards shall be turned off outside of operating hours when located within (300') three-hundred feet of a residential lot.
- (12) Operators must be able to respond to a malfunction or safety issue within one hour of notification.

-
- (13) Applications shall be reviewed by the City Engineer and determined that the sign placement does not interfere with traffic control devices within (300') three-hundred feet of the sign or traffic circulation upon roadways, if determination is not approved by City Engineer a report from a traffic engineer certifying that the proposed sign does not interfere with the design characteristics of the traffic circulation and traffic control devices shall be required.

(C) *Visibility Standards.* All signs shall comply with the visibility standards established in section 16-6-6.

(Ord. No. 1581 , § II, 4-5-2022)

Sec. 16-7-8. Prohibited Signs and Content.

(A) *Prohibited Signs.* The following sign types shall be prohibited in all zoning districts:

- (1) Roof Signs, unless part of an approved PUD or Planning Commission approval,
- (2) Outline Lighting on windows, facades and roofs excluding seasonal décor-as determined by city staff
- (3) Signs with flashing lights,
- (4) Snipe Signs,
- (5) Streamers,
- (6) Spinners,
- (7) Propellors,
- (8) Inflatable Shapes, and
- (9) Signs which encroach on the public right-of-way.
- (10) Cabinet signs are prohibited within the Downtown Core (DC), Downtown Transition (DT) and the Riverfront Tourist Commercial (RTC).

(B) *Prohibited Content.*

- (1) The following content is prohibited without reference to the viewpoint of the individual speaker:
 - (a) Text or graphics of an indecent or immoral nature and harmful to minors,
 - (b) Text or graphics that advertise unlawful activity,
 - (c) Text or graphics that are obscene, fighting words, defamation, incitement to imminent lawless action, or true threats, or
 - (d) Text or graphics that present a clear and present danger due to their potential confusion with traffic control signs or signs that provide public safety information (for example, signs that use the words "Stop," "Yield," "Caution," or "Danger," or comparable words, phrases, symbols, or characters in such a manner as to imply a safety hazard that does not exist).
- (2) The narrow classifications of content that are prohibited by this subsection are either not protected by the United States or Oklahoma Constitutions, or are offered limited protection that is outweighed by the substantial governmental interests in protecting the public safety and welfare. It is the intent of the City Council that each paragraph of this Subsection be individually severable in the event that a court of competent jurisdiction were to hold one or more of them to be inconsistent with the United States or Oklahoma Constitutions.

(Ord. No. 1581 , § II, 4-5-2022)

Sec. 16-7-9. Comprehensive Sign Plan.

- (A) *Intent.* The intent of the comprehensive sign program is to set forth a theme as to the placement, lettering style, color, materials, mounting method, and other related design considerations of signs.
- (B) *Applicability.* Any building or development on an irregularly shaped lot or part of a commercial subdivision greater than (25) twenty-five acres may elect to submit a comprehensive sign plan to receive additional aggregate sign area beyond the maximum established in section 16-7-2. After the approval of a comprehensive sign plan, no permanent sign shall be erected, placed, or maintained except in conformance with the Comprehensive Sign Plan.
- (C) *Conditions.* The City Planner may attach conditions, requirements, or standards necessary to assure that the signs covered by the Comprehensive Sign Plan will not be materially detrimental to persons or property in the vicinity. In making its determination, the City Planner shall not base any condition on the content of a sign.
- (D) *Evaluation Criteria.*
 - (1) *Placement.* All signs shall be placed where they are visible and legible. Factors to be considered include the location of a sign relative to traffic movement and access points, site features, other structures, and orientation relative to viewing distances and viewing angles. Wall Signs may be approved on building walls other than the wall of a unit of a multi-tenant building in which some units have little or no visibility from the street.
 - (2) *Quantity.* The number of signs that may be approved within any development shall be sufficient to provide necessary facilitation of internal circulation of vehicular and pedestrian traffic and wayfinding for safety of the occupants of vehicles and pedestrians. Factors to be considered shall be those that impact safety considerations such as the size of the development and the number of development sub-areas.
 - (3) *Size.* All signs shall be no larger than necessary for visibility and legibility but in no instance shall the sign area or sign height exceed the maximum established per sign type per district. Factors to be considered in determining appropriate size include topography, volume, and speed of traffic, viewing distances and angles, proximity to adjacent uses, and placement of display.
- (E) *Application.* A comprehensive sign plan shall be submitted on a form established by the City Planner. The application shall contain the following information as well as all other information required by the City Planner to ensure compliance with the comprehensive sign plan evaluation criteria.
 - (1) Name, address, and telephone number of the applicant.
 - (2) Location of building, structure, or lot to which or upon which the comprehensive sign plan shall apply.
 - (3) Name of person, firm, corporation, or association developing the comprehensive sign plan.
 - (4) Written consent of the owner or lessee of the building, structure, or land to which the proposed comprehensive sign plan is applicable.
 - (5) Scale drawing of all signs included in the comprehensive sign plan indicating the dimensions, the materials to be used, the type of illumination, if any, and the method of construction and attachment. Said drawings shall be drawn at a scale no smaller than one-eighth inch equals one foot and shall be prepared, signed, and sealed by a registered professional engineer when required by the City Engineer.
 - (6) A scale drawing indicating the location and position of all signs included in the comprehensive sign plan in relation to nearby buildings or structures. Said drawing shall be at a scale no smaller than (1") one inch equals (50') fifty feet.

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- (F) *Review and Action.* The City Planner shall review the comprehensive sign plan application and approve, approve with conditions, or deny the application based on the evaluation criteria. A written decision including the findings on the evaluation criteria shall be rendered to the applicant.
- (G) *Appeals.* Any applicant who receives a notice of denial from the City Planner may, within (30) thirty days after receipt of such decision, appeal such decision to the Board of Adjustment by filing a written notice of appeal with the City Planner with an explanation as to why said decision was not warranted according to the applicant.
- (1) *Criteria.* The Board of Adjustment shall find that the City Planner misapplied or erroneously interpreted one of the evaluation criteria in item (D) of this section to determine that the denial decision was not warranted. A written decision including the findings on the evaluation criteria shall be rendered to the applicant.
- (H) *Amendments to Comprehensive Sign Plans.*
- (1) *Minor Amendments.* Minor amendments may be approved by the City Planner and shall include any change in the site plan or design details of an approved Comprehensive Sign Plan which is consistent with the standards and conditions applied to the Plan. A minor amendment shall not:
- (a) Increase the sign area or sign height of any sign,
 - (b) Allow for additional signs to be erected, constructed, and/or displayed,
 - (c) Replace an approved sign type with another sign type, including electronic message boards, and
 - (d) Alter the square footage of associated landscape areas.
- (2) *Major Amendments.* Major amendments shall require the resubmittal of a Comprehensive Sign Plan application and shall include any change in the site plan or design details of an approved Comprehensive Sign Plan which is not consistent with the standards and conditions applied to the Plan and not considered a minor amendment.

(Ord. No. 1581 , § II, 4-5-2022)

Sec. 16-7-10. Installation, Safety, Maintenance, Abandonment, and Enforcement.

- (A) Sign Permit required prior to Installation.
- (1) Prior to installation a sign permit must be submitted to the permit department for review and approval.
- (2) Signs installed without an approved permit are subject to immediate fine.
- a. Sign companies/individuals with one or more violations may be barred from future permit applications.
- (3) Sign permits that do not provide the information required in the UDO sign standards will be returned without review.
- (4) Payment of Approved Permit.
- a. Payment of permit is required prior to installation. Signs installed without purchasing the permit will be fined per the fee schedule.
 - b. Payments are nonrefundable once processed.
- (B) Every sign and all parts thereof, including framework, supports, background, anchors and wiring systems shall be constructed and maintained in compliance with the applicable codes of the City.
- (C) All signs, together with all supports, braces, guys, and anchors shall be kept in proper repair in accordance with the provisions of this UDO. When not galvanized or constructed of approved corrosion resistive, noncombustible materials, signs shall be painted when necessary, to prevent corrosion, rust, peeling paint,

and excessive fading. Failure of owners to keep signs maintained in good mechanical and visual repair shall be deemed a violation of this UDO.

- (D) It shall be the duty and responsibility of the owner or lessee of every sign to maintain the immediate premises occupied by the sign in a clean condition, free of rubbish. Any landscaping surrounding the sign shall be kept trimmed and in good repair. If the landscaping installed at the time of sign approval dies, said landscaping shall be replaced immediately or as soon as weather permits.
- (E) Every existing sign shall be subject to an inspection whenever the City Planner or other designated city official deems it necessary. In the event an inspection demonstrates that repairs, and/or maintenance is necessary, the sign owner shall be notified and required to complete said repairs and/or maintenance within 30 days of notification. The City Planner or other designated city official is authorized to grant one 30-day extension, if, upon written request, it is deemed necessary due to extenuating circumstances.
- (F) If a City official shall find that any sign is unsafe or unsecure, or is a threat to the public safety, or was, after the adoption of this UDO constructed, erected, or maintained in violation of the provisions of this title, he or she shall give written notice per the provisions of this UDO. Such notice shall specify the manner in which the sign is unsafe or in violation of this UDO.
- (G) Sign copy shall be removed and in the case of a wall sign, the building façade shall be repaired, by the owner or lessee of the premises upon which the sign is located when the use which the sign is associated is no longer conducted on the premises. The sign copy shall be removed within (30) thirty days of when the use ceases to operate. If the owner or lessee fails to remove the sign copy, the City Planner shall give the owner 30 days written notice to remove it. Failure to comply with the notice shall be deemed a violation of this UDO.
- (H) Violations, Penalties, and Enforcement and penalties.
 - (1) Administrative Violations. Violations of this Article are designated as administrative violations and shall be enforced through the City's administrative enforcement process. Such violations are subject to civil penalties; they are not criminal offenses.
 - (2) Civil Penalties. A civil penalty not to exceed (\$100.00) One Hundred Dollars per day may be assessed for each day a violation continues following the compliance deadline. Administrative enforcement is not an exclusive remedy. The City may pursue lawful civil actions to enforce compliance or recover costs.
 - (3) Enforcement Authority. This Article shall be enforced by the City Planner, Code Enforcement Officer, or other designated City official. Law enforcement officers may assist upon request but shall not issue citations for administrative violations under this Article.