

**AGENDA
JENKS PLANNING COMMISSION
THURSDAY, JULY 9, 2026, 6:00 PM
JENKS CITY HALL, 211 NORTH ELM**

If you require special accommodations pursuant to the Americans with Disabilities Act, please notify the City Clerk's Office at (918) 299-5883 or email agendas@jenksok.org.

CALL TO ORDER

ROLL CALL

INVOCATION

PLEDGE OF ALLEGIANCE

BUSINESS

Official action can only be taken on items which appear on the agenda. The Planning Commission may adopt, approve, ratify, deny, defer, recommend, amend, strike, or continue any agenda item (except for Item 1).

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under "Consent" are considered by the Commission to be routine and will be enacted by one motion. Any Commissioner may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)
 - A. Approve minutes of the regular meeting held on June 04, 2026
 - B. Approve Plat 26-24, a Preliminary & Final Plat for Brakes Plus. General Location: W 101 PL S
 - C. Approve Plat 26-25 - a Preliminary Plat Plat for West Main. General Location: 700 W Main
 - D. Notice of ROW-UEC 26-03 - A Utility Easement Closure near E C St directly north of 401 E "B" St
 - E. Continue proposed amendments to the Jenks Unified Development Ordinance: Article 3 – Base District Specific Standards, Article 6 – Development Standards, Article 7 – Sign Standards, and Article 8 – Subdivision Standards to the August 06, 2026, meeting.
2. Consideration and appropriate action relating to items removed from the Consent Agenda
3. Discussion on proposed updates to the Unified Development Ordinance.

OTHER BUSINESS

1. Planning Updates

ADJOURNMENT

MINUTES
JENKS PLANNING COMMISSION
THURSDAY, JUNE 4, 2026, 6:00 PM
JENKS CITY HALL, 211 NORTH ELM

CALL TO ORDER

The Agenda for the Jenks Planning Commission was posted on the City's website at 6:06 PM on June 01, 2026. The meeting was called to order at 06:00 PM on the above date with Chair Scott West presiding at Jenks City Hall.

ROLL CALL

Present

Amy Bors
Craig Bowman
Rob Sellers
Dakota Williams
Chair Scott West

Absent

Gina Wilson
Greg Nixon

INVOCATION

Francisco Davila of Park Church gave the invocation.

PLEDGE OF ALLEGIANCE

Was given.

BUSINESS

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under "Consent" are considered by the Commission to be routine and will be enacted by one motion. Any Commissioner may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)
 - A. Approve minutes of the regular meeting held on May 07, 2026.
 - B. Approve Preliminary Plat for Lahoma Family North. General Location: 121st St & HWY 75.
 - C. Approve Preliminary Plat for The Summit at Pine Ridge. General Location: E of NE Corner of 141st ST & Elm St
 - D. Approve JL 26-419, a minor subdivision (lot split and combination) near 458 E 113th St.
 - E. Approve JZ 26 PUD 153.mi1, a Minor Amendment to Bentley Ranch to decrease the minimum lot width from 80' to 75' for a maximum of 2 lots and to relocate a pocket park south by around 160' while adding a drainage reserve area along the south property line.

Rob Sellers made a motion to approve Item 1. Amy Bors seconded the motion. A roll call vote of members was taken as follows:
Yes: Amy Bors, Craig Bowman, Rob Sellers, Scott West, Dakota Williams
No: None

Motion Carried.

2. Consideration and appropriate action relating to items removed from the Consent Agenda

Withdrawn.

3. Election of Chair

Rob Sellers made a motion to elect Scott West as Chair. Amy Bors seconded the motion. A roll call vote of members was taken as follows:

Yes: Amy Bors, Craig Bowman, Rob Sellers, Scott West, Dakota Williams

No: None

Motion Carried. Scott West elected as Chair.

4. Election of Vice Chair

Rob Sellers made a motion to elect Craig Bowman as Vice Chair. Scott West seconded the motion. A roll call vote of members was taken as follows:

Yes: Amy Bors, Craig Bowman, Rob Sellers, Scott West, Dakota Williams

No: None

Motion Carried. Craig Bowman elected as Vice Chair.

OTHER BUSINESS

1. Planning Updates

Planning Director Marcae Hilton gave her update.

ADJOURNMENT

Jenks Planning Commission adjourned at 06:06 PM.

Jenks | PC Staff Report



To	Dr. Scott West, Chair and Planning Commission
Hearing Date	July 09, 2026
Case	JZ 26-24 BRAKES PLUS PRELIMINARY/FINAL PLAT
Request	Approval of Preliminary/Final Plat
Location	W 101 PL S JENKS 74037

Staff Report	Preparer Karl Fritschen /MH
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Attachments	Preparer
Plat Documents	Madeline Knecht, Olsson
	Engineering

Background Information

Parcel Account #	R98224822432760
Owner	TAG TULSA LLC
Address	W 101st PL S
Proposed Use	AUTO SERVICING

Request	Approval of Preliminary/Final Plat
Public Comment	None Not Advertised
STR	Section: 24, Township: 18N, Range: 12E
Comprehensive Plan	Local Commercial
Gross Acres	0.63 +/-
Plat Name	Brakes Plus Addition
	Block 1
	Lot 1
Current Zoning	CS (Commercial Shopping) & PUD-67 (No standards were established) (Ordinance 1485, 1322, 1214, 1600); CS, Commercial (Ordinance 1682)
Access Points	1 (one) off shared drive into Reasor's parking lot

STAFF COMMENTARY | The City of Jenks is in receipt of a preliminary/final plat for Brakes Plus. The property is 0.63 acres in size consisting of 1 Lot in 1 Block and is located just north of Reasor's on the south side of West 101st Place South. Considering that the property is being proposed as a 1

Lot, 1 Block subdivision, staff has allowed both the preliminary and final plat to be reviewed concurrently.

The property is on an infill lot with a surrounding mix of commercial, retail and service-oriented uses. with access being proposed off of the existing drive which is in a recorded access easement into the Reasor's parking lot to the south. The property meets the bulk and area requirements for the CS zoning district and utilities are available to serve the site.

(E) Major Subdivisions.

(1) Purpose. A Major Subdivision is a subdivision which does not meet the criteria for a Minor Subdivision as detailed in section 16-8-4(D)(1).

(2) Major Subdivision Review Criteria.

(a) Comprehensive Plan Alignment. The Major Subdivision is consistent with the goals, objectives, and policies set forth in the Comprehensive Plan and other adopted plans and policy documents of the City.

(b) UDO Compliance. The Major Subdivision is consistent with the provisions of the UDO and the governing district.

(3) Platting Requirement. For any land which has been rezoned upon application, no building permit shall be issued until that portion of the tract on which the permit is sought has been included within a subdivision plat or replat, as the case may be, submitted to the Planning Commission for their review and recommendation, approved by the City Council, and filed of record in the office of the County Clerk where the property is situated.

(4) Preplatting Conference. The purpose of the preplatting conference is two-fold, as described in this subsection.

(a) The conference provides the City the opportunity to describe the community's vision to the applicant.

(b) The conference gives the applicant an opportunity to discuss their development plans, explain how the plans will further the community's vision, and obtain input and direction from staff. The Planning Commission and City Council may be involved early in the process. The ultimate goal of this process is to help the applicant develop a plan that fosters the community's vision, while minimizing the cost to the applicant.

(c) Preplatting Conference. The mandatory discussion is for following:

□ Lot dimensions and area conform with UDO requirements and Comprehensive Plan,

□ General topography of the tract,

□ Existing adjoining developments,

□ Existing streams, floodplains, and storm drainage (if any),

□ Existing public and private utilities and easements,

□ Proposed land use (i.e. residential, commercial, parks, schools, drainage detention facilities).

□ Proposed layout of streets, lots and blocks,

□ Proposed subdivision name,

□ Name, address and telephone of tract landowner and subdivider,

□ Any other pertinent information, including a statement or a layout describing or depicting how proposed utilities are to be handled.

(5) Preliminary Plat. The purpose of the preliminary plat application is to provide the City with an overall plan for the proposed development.

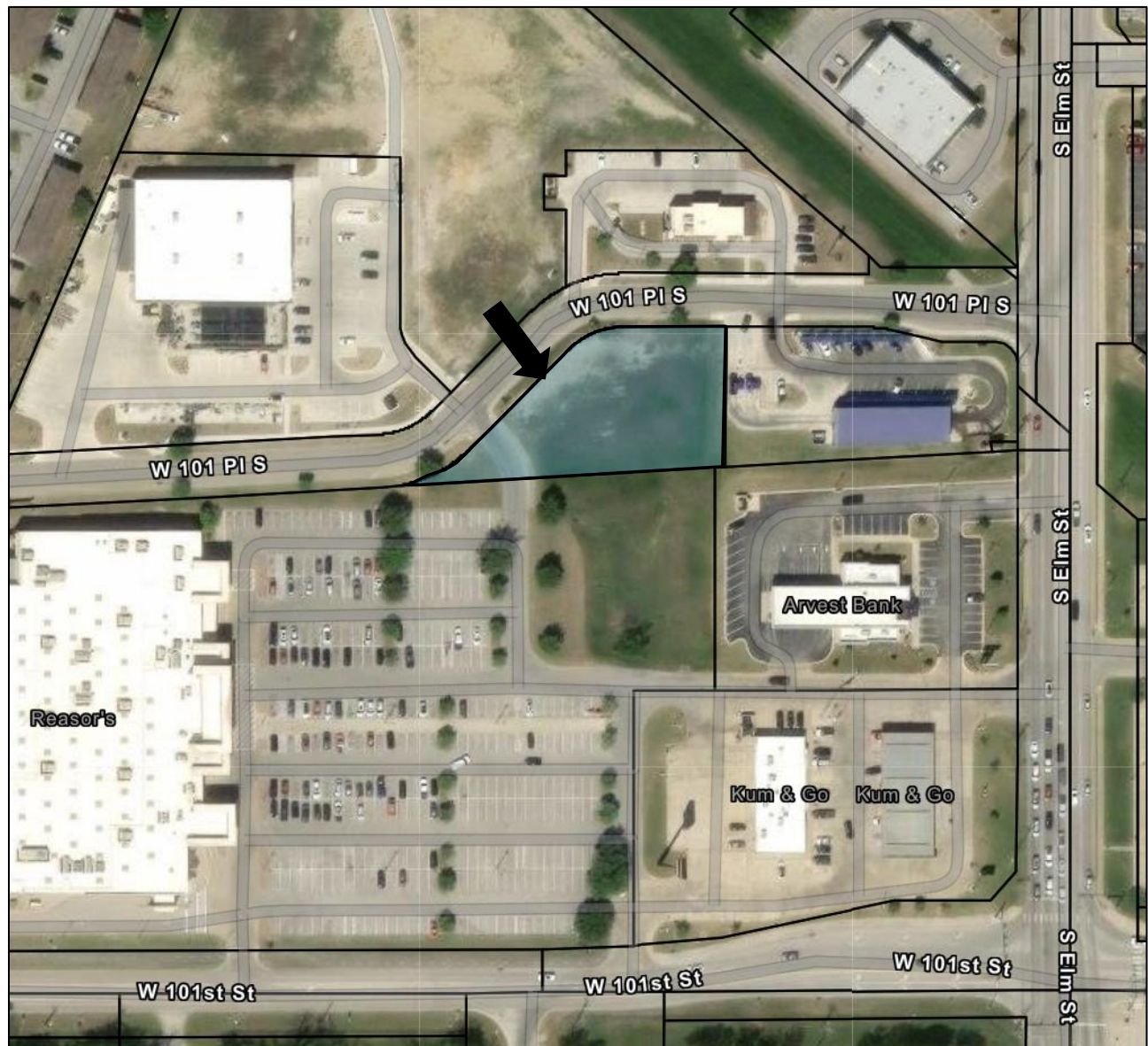
- (a) Preliminary Plat Review Requirements. The preliminary plat shall show or be accompanied by the following:
- ☐ The name and address of the owner or owners of the land to be subdivided, the name and address of the subdivider if other than the owner and the name and address of the land surveyor,
 - ☐ The date of preparation of the plat, north arrow, and scale (written and graphic presentation),
 - ☐ Key or location map showing location of subdivisions within the mile section,
 - ☐ An accurate legal description of the property,
 - ☐ The location and dimensions of all boundary lines of the proposed subdivision to the nearest one-hundredth foot,
 - ☐ The names of all adjacent subdivisions and the names, locations and widths of all existing and proposed streets, easements, drainage ways and other public ways, adjacent to the property,
 - ☐ The locations and widths of easements of all oil, gas and petroleum products pipelines and of existing utilities on or adjacent to the property,
 - ☐ The location and description of all existing structures, water bodies and watercourses,
 - ☐ The areas subject to flooding based upon the regulatory flood plain boundary,
 - ☐ The names, locations and widths of all proposed streets, confirm types of streets and compliance with section 16-8-8,
 - ☐ The location and dimension of all proposed streets, drainage ways, pedestrian ways, bike paths, parks, playgrounds, public ways, or other public or private reservations,
 - ☐ All proposed lots progressively numbered and building setback lines,
 - ☐ Blocks progressively numbered,
 - ☐ A topographic map of the subdivided area with contour lines having two-foot contour intervals based on United States Coastal and Geodetic Survey datum,
 - ☐ Any other information as may be deemed by the Planning Commission as reasonably necessary for the full and proper consideration of the proposed subdivision,
 - ☐ Conforms to Subdivision Regulations for design and layout,
 - ☐ Connects with current and anticipated future abutting development(s),
 - ☐ Lot dimensions and shapes facilitate private use and infrastructure placement,
 - ☐ Takes advantage of existing environmental features of the property,
 - ☐ Underground Mines. The subdivider shall locate mines under a proposed subdivision and designate the location of the same on the subdivision plat. The location of the mines shall be based upon information and/or techniques which have been approved in advance by the City Engineer which are reasonably calculated to accurately locate mines and their depths.
- (i) The City Engineer may recommend that the City Council prohibit the erection of structures over the mine locations if the mines cannot be collapsed and the material compacted to City Engineer specifications or if, because of the shallow depth of the mine or its size, the mine would have the potential for cave-in. Appropriate building setbacks may be required upon the lots. The City Engineer may require other conditions to be met by the subdivider, based upon the location of the mines and any subsurface

- investigation reports, which would assist in preventing cave-ins under areas upon which structures may be erected.
- (ii) The City Engineer may require that any streets or utility easements which may be dedicated to the City of Jenks or the public, either not be located over mines, or the mines collapsed and compacted to City Engineer Specifications, or additional bonding requirements imposed upon the subdivider to repair or reroute streets or utility easements in the event of cave-ins under the same.
 - (iii) All mine entrances shall be sealed and closed to the specifications of the City Engineer.
- (b) Additional Engineering Review Items:
- ☐ Are all lots serviced with public street access?
 - ☐ Are off-site access requirements and/or Limits of Access (LA/LNA) shown for driveways and streets onto an arterial street?
 - ☐ Is there conformity to INCOG's published Major Street and Highway Plan, including street names and connections to existing and/or future street?
 - ☐ Are all lots serviced with water and are adequate easements dedicated for water?
 - ☐ Are all lots serviced with sanitary sewer and are adequate easements dedicated for sanitary sewer?
 - ☐ Is the detention area identified as a separate area within the plat? It may consist of one or more platted lots, a separate block, or it may be identified as a reserve area.
 - ☐ Does the plat provide an accessway at least 20 feet wide to the required detention area? Access may be provided by frontage on a dedicated public street to the detention area.
 - ☐ If the detention facility is approved by the City to serve areas outside the subdivision in which it is located, have the additional areas been specifically identified in the dedication?
 - ☐ Does the ownership and maintenance responsibility for detention facility remain with the private sector if the facility is an integral usable part of the development? In all other cases, the detention facility will be dedicated to the public and the public will be responsible for the maintenance thereof. In the event the detention facility, as a result of drainageway improvements, becomes unnecessary, the facility by action of the City of Jenks shall revert to the person firm or corporation making such dedication or his heirs, successor or assignees.
- (c) Recommendation by the Planning Commission. The Planning Commission shall evaluate the proposed Major Subdivision preliminary plat, and after consideration of the City Planner report, make a recommendation to the City Council to approve, approve with modifications, or deny the Major Subdivision preliminary plat based on the applicable review criteria. The Planning Commission shall transmit a report containing its recommendation to approve, approve with modifications, or deny the Major Subdivision preliminary plat to the City Council.
- (d) Action by City Council. The City Council shall evaluate the proposed Major Subdivision preliminary plat, and after consideration of the Planning Commission's recommendation, the City Planner report, and the applicable review criteria, may approve, approve with modifications, or deny the Major Subdivision preliminary plat in accordance with applicable state law.

TAC June 18, 2026 | Comments to date. Staff comments not included.

Timothy Mikles, Right-of-Way & Damage Agent III, www.oneok.com

There are no Pipeline Subsidiaries of ONEOK, Inc., within the Final Plat | Brakes Plus (Service Station).



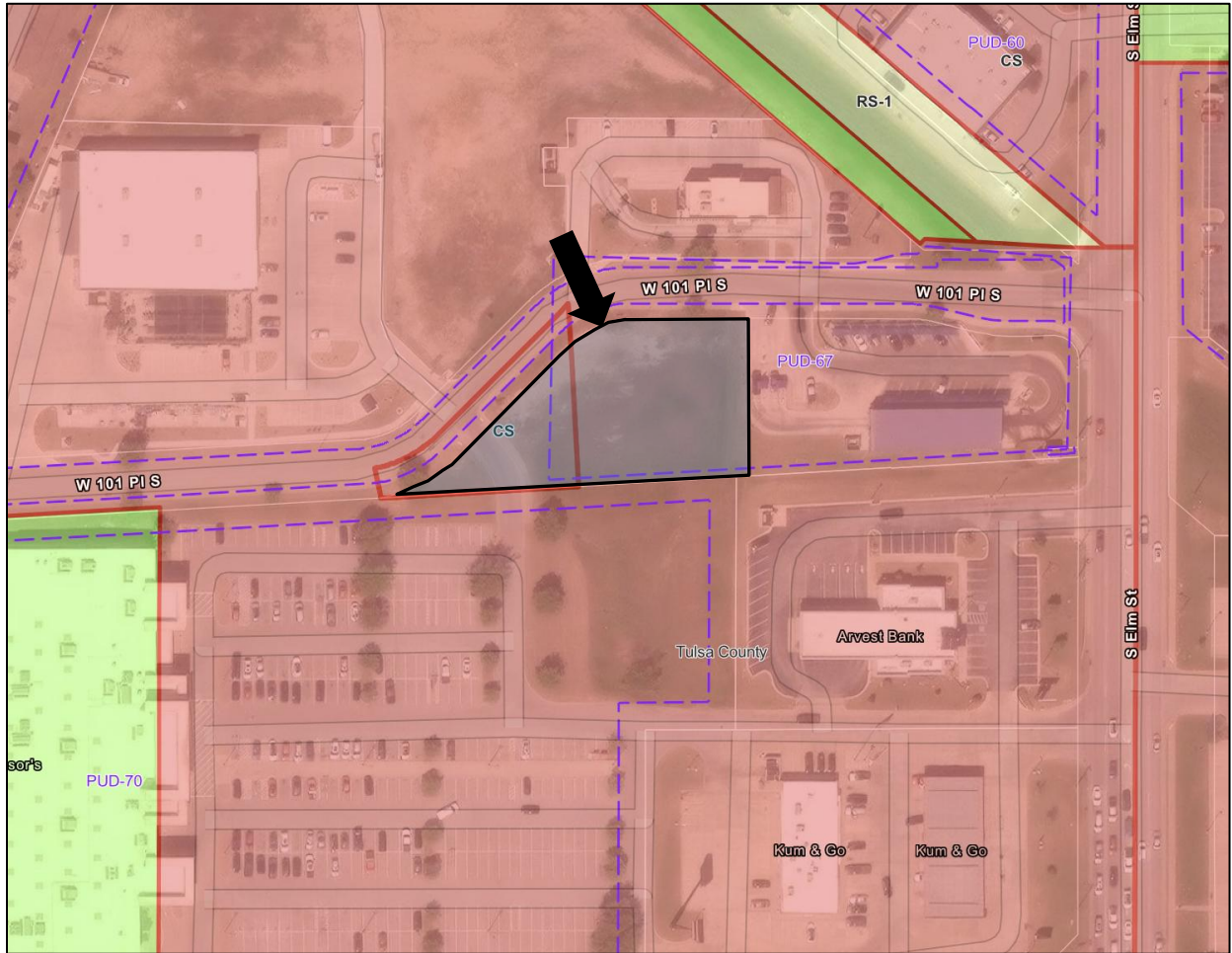


Figure 2: Zoning Map | GIS

Surrounding Zoning

North | CS (Commercial Shopping/General)

East | CS (Commercial Shopping) / PUD 67

South | CS (Commercial Shopping) / PUD-70

West | CS (Commercial Shopping)



Figure 3: Current Land Use Map

Table 16-3-1(A): Residential District Bulk and Dimensional Standards	
Standard	RM2 & PUD (page 4)
Lot Standards (Minimum)	
Lot Area (sqft)	6,000
Lot Area/DU (sqft)	1,500
Lot Width (ft)	50
Yard Setbacks (Minimum)	
Front (ft)	10
Exterior Side (ft)	10
Interior Side (ft)	10 (2)
Rear (ft)	10
Building Standards (Maximum)	
Height (ft)	45
Impervious Surface Coverage	70%
Notes	
(1) The cumulative interior side yard setback shall be 15 feet. No interior side yard setback shall be less than 5 feet.	
(2) If a parti-wall exists, the interior side yard setback shall be 0 feet.	
(3) Garages shall be setback a minimum of 25 feet from the front property line.	

Table 16-3-1(B): Nonresidential District Bulk and Dimensional Standards

Standard	CS PUD (nonresidential district)
Off Street Parking	
Lots within CS District shall be permitted to share parking	Per "Use" 1/200
Lot Standards (Minimum)	
Lot Area (acres)	n/a
Lot Width (ft)	n/a
Yard Setbacks (Minimum, unless otherwise stated)	
Front (ft)	0
Front, maximum (ft)	n/a
Exterior Side (ft) (3)	0
Exterior Side, maximum (ft)	n/a
Interior Side (ft) (3) (<i>No required interior side yard setback for multitenant shopping center</i>)	10 (1)
Rear (ft) (3)	10 (1)
Building Standards (Maximum)	
Height (ft)	60
Impervious Surface Coverage	70% 85%
Notes	
(1) Add one additional foot of setback for each one foot of building height exceeding 18 feet, if the abutting property is within an RE, RS, or RD District.	
(2) Minimum setback shall be 75 feet if the abutting property is within an AG, R, or O District.	
(3) Transition yards, as specified in section 16-6-3(F), may apply and may result in greater yard setback requirements than specified in this table.	
(4) Minimum setback shall be 75 feet if the abutting property is within an AG, R, or O District.	

Staff Evaluation & Recommendation

EVALUATION | The plat complies with UDO requirements, pending the resolution of any outstanding TAC comments. The property is correctly zoned for the intended use and aligns with the comprehensive plan's land use designation. The applicant requests that the Planning Commission (PC) and City Council (CC) approve the Preliminary/Final Plat so the project may advance. Additionally, a corresponding site plan has been submitted and is currently under staff review.

RECOMMENDATION | Staff and TAC recommend conditional approval of the Preliminary/Final plat for Brakes Plus subject to meeting any outstanding comments.

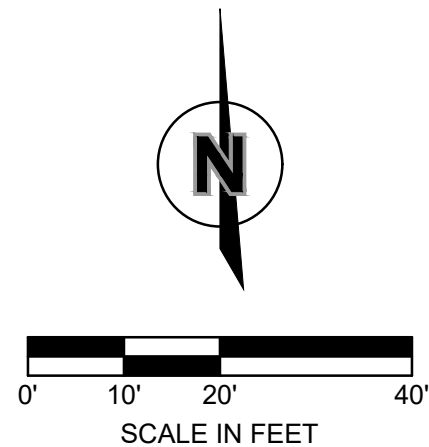
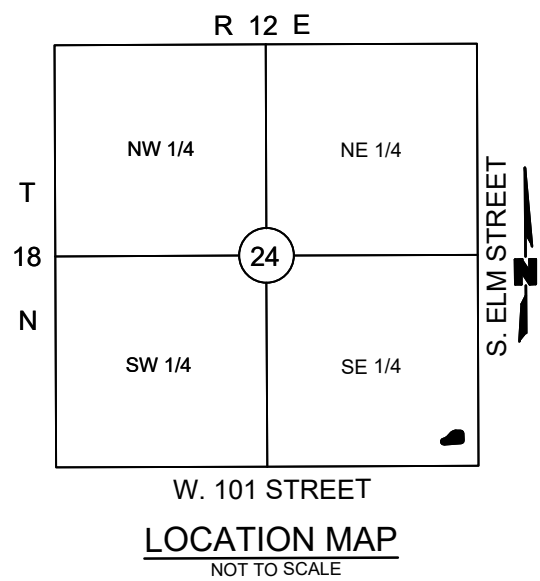
CONTROL POINT TABLE				
OKLAHOMA STATE PLANE COORDINATE SYSTEM OF 1983 NORTH ZONE - CONTROL POINTS WERE SET WITH ALTERRA RTK-N AND CHECKED AGAINST AN OPUS SOLUTION AS OF 01/12/2026				
POINT #	NORTHING (FT)	EASTING (FT)	ELEVATION (FT)	DESCRIPTION
100	377432.438	2566436.209	621.53	1/2" REBAR W/ PINK CAP
101	376626.121	2566532.548	615.04	3/4" REBAR W/ PINK CAP
102	376812.671	2566976.442	619.21	1/2" REBAR W/ PINK CAP
104	377029.423	2566252.316	620.27	CUT "X" IN SIDEWALK

GENERAL NOTES

1. This Survey meets the requirements of the Oklahoma Minimum Standards for the Practice of Land Surveying which was adopted by the Board of Registration for Professional Engineers and Land Surveyors.
3. The subject property is located partially within an area designated as Zone AE, 1% annual chance of flood with base flood elevations determined AND partially within an area designated as Zone X, outside the 0.2% annual chance floodplain as shown on a National Flood Hazard Layer Firmnote, obtained online from the authoritative NHL web services provided by FEMA and acquired by this firm on 03/11/2026. And by the Federal Emergency Management Agency (FEMA), on Flood Insurance Rate Map No. 40143C0363L with a date of identification of October 16, 2012, for Community Panel No. 400209, in the City of Jenks, County of Tulsa, State of Oklahoma. This statement is provided for informational purposes only and shall in no way constitute a basis for a flood certificate. No field work was performed to establish the boundaries of this zone. The delineating lines, if any, shown hereon were derived by scaling the above referenced document.
4. Basis of Bearings: Bearings are based on the Oklahoma State Plane Coordinate System of 1983 - North Zone (NAD83).
Grid Bearings with the North line of the Elm Street Crossing in SE $\frac{1}{4}$ of Section 24, Township 18 North, Range 12 East of the Indian Base Meridian, Measured bearing South 85°40'28" West.
5. The horizontal datum for this project is the North American Datum of 1983 (NAD83), projected to the Oklahoma State Plane Coordinate System of 1983 - North Zone (NAD83)
6. The vertical datum for this project is the North American Vertical Datum of 1988 (NAVd88).
7. All distances shown hereon are grid distances in U.S. survey feet.

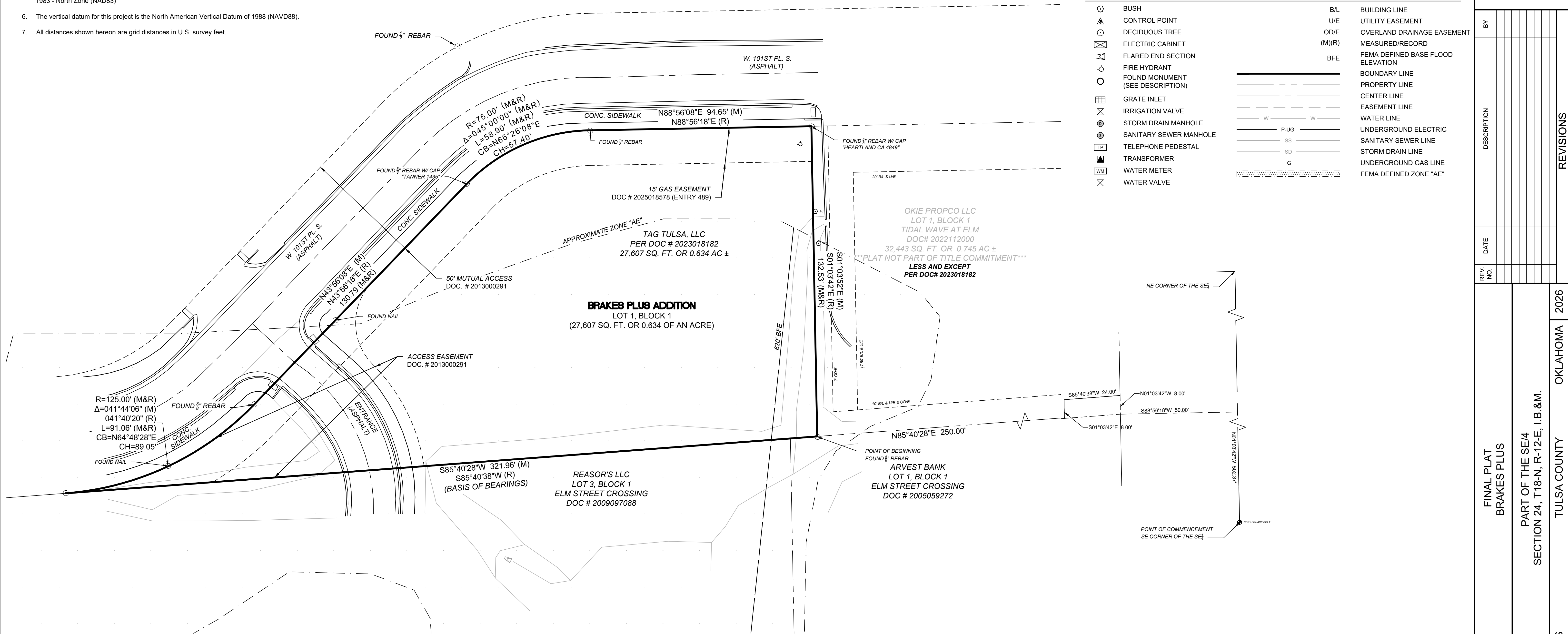
FINAL PLAT PUD 67
BRAKES PLUS ADDITION

PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION TWENTY-FOUR (24),
TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST
OF THE INDIAN BASE AND MERIDIAN (I.B.&M.), AN ADDITION IN THE CITY OF JENKS,
TULSA COUNTY, STATE OF OKLAHOMA



LEGEND

- | | | | |
|--|-------------------------------------|--------|-----------------------------------|
| | BUSH | B/L | BUILDING LINE |
| | CONTROL POINT | U/E | UTILITY EASEMENT |
| | DECIDUOUS TREE | OD/E | OVERLAND DRAINAGE EASEMENT |
| | ELECTRIC CABINET | (M)(R) | MEASURED/RECORD |
| | FLARED END SECTION | BFE | FEMA DEFINED BASE FLOOD ELEVATION |
| | FIRE HYDRANT | | BOUNDARY LINE |
| | FOUND MONUMENT
(SEE DESCRIPTION) | | PROPERTY LINE |
| | GRATE INLET | | CENTER LINE |
| | IRRIGATION VALVE | | EASEMENT LINE |
| | STORM DRAIN MANHOLE | W | WATER LINE |
| | SANITARY SEWER MANHOLE | P-UJ | UNDERGROUND ELECTRIC |
| | TELEPHONE PEDESTAL | SS | SANITARY SEWER LINE |
| | TRANSFORMER | SD | STORM DRAIN LINE |
| | WATER METER | G | UNDERGROUND GAS LINE |
| | WATER VALVE | | FEMA DEFINED ZONE "AE" |



PUD 67

[illegible]

olsson[®]

CHAIRMAN

remove

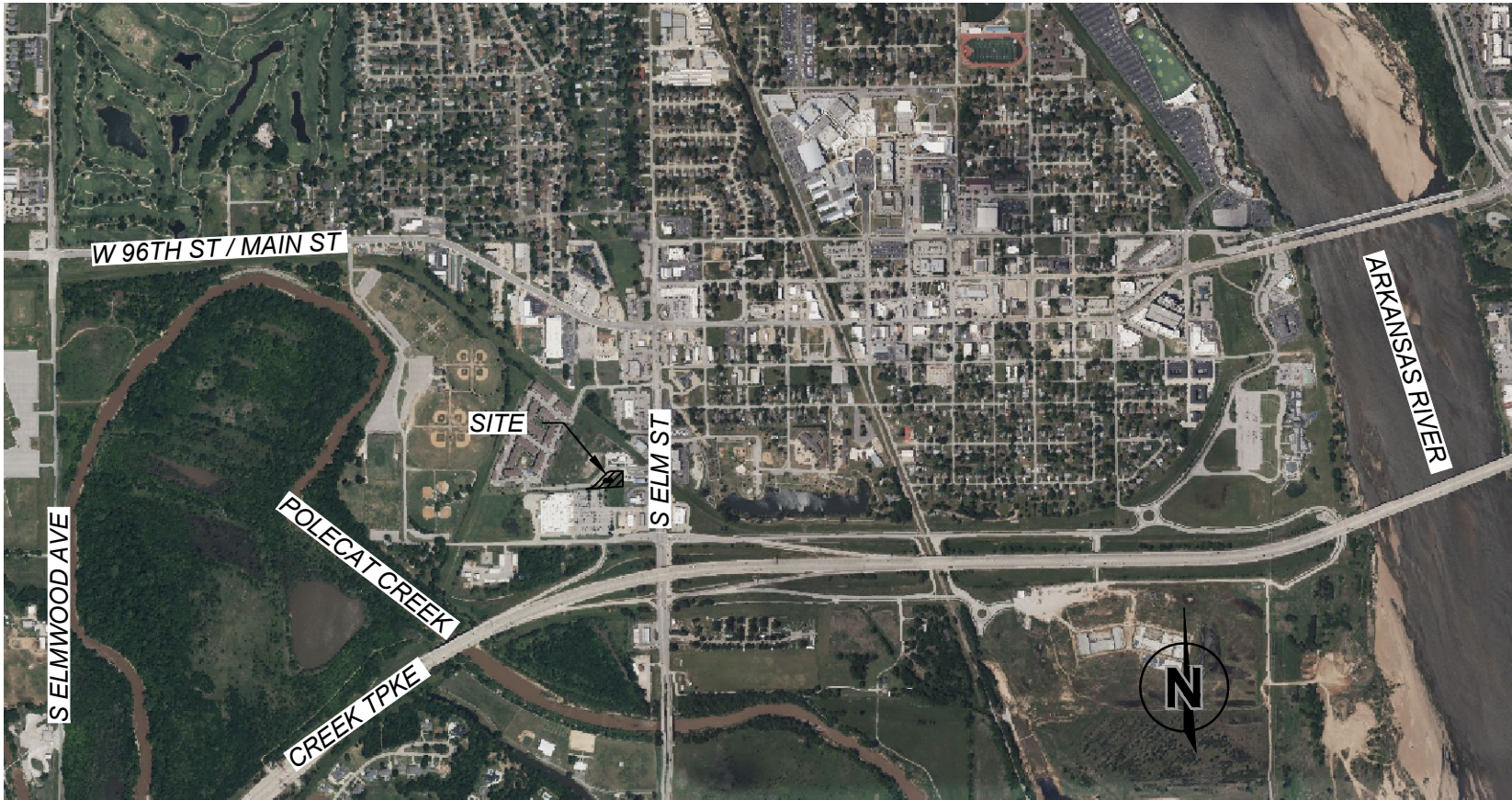
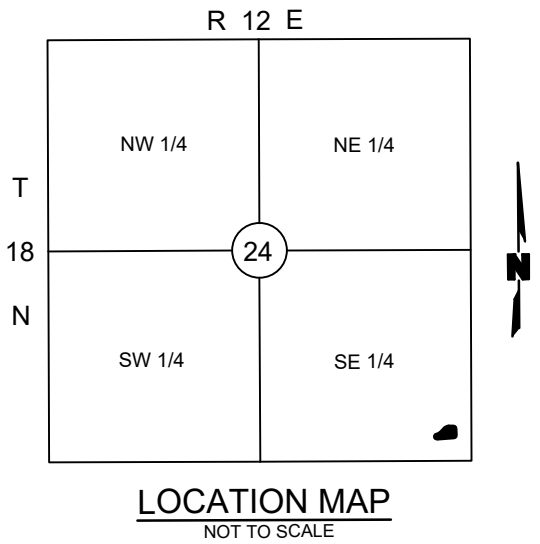
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DATE: Jun 01, 2026 12:27pm USER: dmason

CONTROL POINT TABLE				
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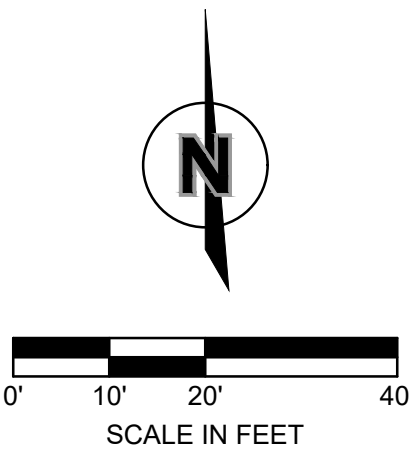
GENERAL NOTES

- This Survey meets the requirements of the Oklahoma Minimum Standards for the Practice of Land Surveying which was adopted by the Board of Registration for Professional Engineers and Land Surveyors.
- Basis of Bearings: Bearings are based on the Oklahoma State Plane Coordinate System of 1983 - North Zone (NAD83). Grid Bearings with the East line of the SE 1/4 of Section 24, Township 18 North, Range 12 East of the Indian Base Meridian. Measured bearing North 01°03'42" West.
- The horizontal datum for this project is the North American Datum of 1983 (NAD83), projected to the Oklahoma State Plane Coordinate System of 1983 - North Zone (NAD83)
- The vertical datum for this project is the North American Vertical Datum of 1988 (NAVD88).
- All distances shown hereon are grid distances in U.S. survey feet.

PRELIMINARY PLAT
BRAKES PLUS ADDITION
PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION TWENTY-FOUR (24),
TOWNSHIP EIGHTEEN (18) NORTH, RANGE TWELVE (12) EAST
OF THE INDIAN BASE AND MERIDIAN (I.B.&M.), AN ADDITION IN THE CITY OF JENKS,
TULSA COUNTY, STATE OF OKLAHOMA

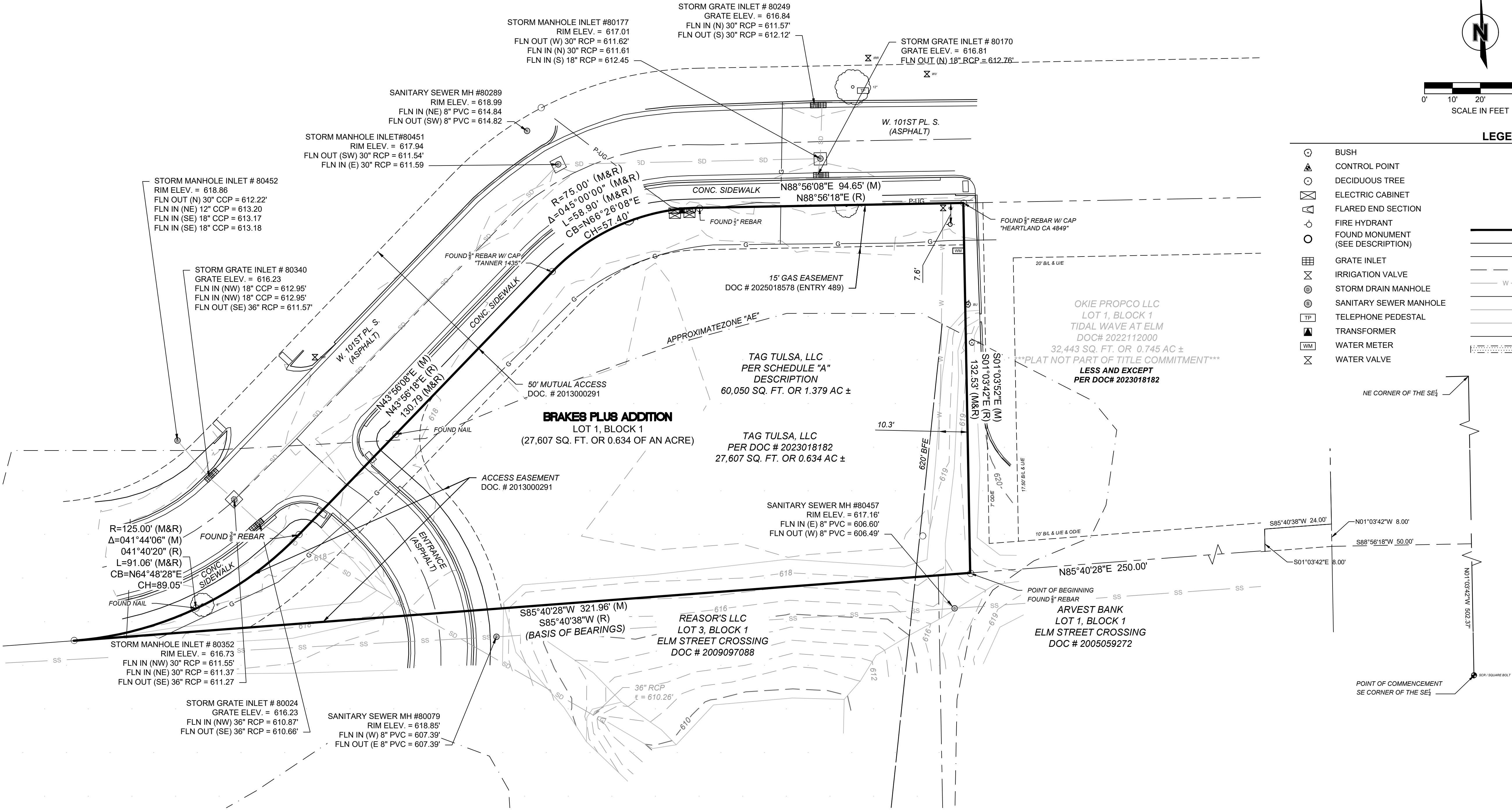


LOCATION MAP
NOT TO SCALE



LEGEND

	BUSH	B/L	BUILDING LINE
	CONTROL POINT	U/E	UTILITY EASEMENT
	DECIDUOUS TREE	OD/E	OVERLAND DRAINAGE EASEMENT
	ELECTRIC CABINET	(M)(R)	MEASURED/RECORD
	FLARED END SECTION	BFE	FEMA DEFINED BASE FLOOD ELEVATION
	FIRE HYDRANT		BOUNDARY LINE
	FOUND MONUMENT (SEE DESCRIPTION)		PROPERTY LINE
	GRATE INLET		CENTER LINE
	IRRIGATION VALVE		EASEMENT LINE
	STORM DRAIN MANHOLE		WATER LINE
	SANITARY SEWER MANHOLE		UNDERGROUND ELECTRIC
	TELEPHONE PEDESTAL		SANITARY SEWER LINE
	TRANSFORMER		STORM DRAIN LINE
	WATER METER		UNDERGROUND GAS LINE
	WATER VALVE		FEMA DEFINED ZONE "AE"



EASEMENTS

- ACCESS EASEMENT IN FAVOR OF REASORS LLC, DATED DECEMBER 14, 2012, FILED JANUARY 2, 2013, AND RECORDED IN THE OFFICE OF THE TULSA COUNTY CLERK AS DOCUMENT NO. 2013000291.
- RIGHT OF WAY IN FAVOR OF OKLAHOMA NATURAL GAS CO. RECORDED IN DOC #2025018578 (ENTRY 489).

11600 Broadway Extension
Suite 300
Oklahoma City, OK 73114
olsson.com
TEL 405.242.6600
FAX 405.242.6601
Olsson - Survey
Oklahoma COA #2483

NOTE
THIS DOCUMENT HAS BEEN
RELEASED BY OLSSON
ONLY FOR REVIEW BY
REGULATORY AGENCIES AND
OTHER PROFESSIONALS, AND
IS SUBJECT TO CHANGE. THIS
DOCUMENT IS NOT TO BE
USED FOR CONSTRUCTION.

BY	DESCRIPTION	DATE	REV. NO.	PRELIMINARY PLAT BRAKES PLUS	SECTION 24, T18-N, R-12-E, I.B.&M.	TULSA COUNTY	OKLAHOMA	2026	JENKS

drawn by: _____ BT
designed by: _____ DRM
project no.: 025-07660
date: 04.22.2026

SHEET
1 of 2

Jenks | PC Staff Report



To	Dr. Scott West, Chair and Planning Commission
Hearing Date	July 09, 2026
Case	JZ 26-25 Chase Bank Preliminary Plat
Request	Approval of Preliminary Plat
Location	700 West Main

Staff Report	Preparer Karl Fritschen /MH
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Attachments	Preparer
Plat Documents	Deborah Palinskee, Sisemore Associates

Background Information

<i>Parcel Account #</i>	<i>R60760822421490</i>
<i>Owner</i>	<i>JP MORGAN CHASE BANK</i>
<i>Address</i>	<i>700 W MAIN ST S</i>
<i>Proposed Use</i>	<i>Banking and Finance</i>
Request	Approval of Preliminary Plat Replat of Lot 1, Lot 4 and part of Lot 2, Block 2 Melody Lane Center Plat No. 3303 Filed June 28, 1972
Public Comment	None Not Advertised
STR	Section: 24, Township: 18N, Range: 12E
Comprehensive Plan	Local Commercial
Gross Acres	+/- 2.51 Acres
Current Zoning	CS (Commercial Shopping) Lots 2 Block 1
Access Points	Two (2) off of West Main Street

STAFF COMMENTARY | The City of Jenks is in receipt of a preliminary plat for Chase Bank. The property is 2.51 acres in size and consists of Two (2) Lots in One (1) Block and is located at 700 West Main Street South. This is actually a re-plat of Lot 1, Lot 4 and part of Lot 2, Block 2 of Melody Lane

Center which was originally platted in 1972. The owner is re-platting to “clean up” the property and consolidate several easements.

The property contains an existing structure with a parking lot and has two access points off of West Main Street. There is a mutual access easement that aligns with the western 24’ access point and runs north-south to the south boundary. This easement provides access to the adjoining lots that abut the property along the south and west boundary. There is no change of use planned, and the existing structure will remain on the property.

(E) Major Subdivisions.

(1) Purpose. A Major Subdivision is a subdivision which does not meet the criteria for a Minor Subdivision as detailed in section 16-8-4(D)(1).

(2) Major Subdivision Review Criteria.

(a) Comprehensive Plan Alignment. The Major Subdivision is consistent with the goals, objectives, and policies set forth in the Comprehensive Plan and other adopted plans and policy documents of the City.

(b) UDO Compliance. The Major Subdivision is consistent with the provisions of the UDO and the governing district.

(3) Platting Requirement. For any land which has been rezoned upon application, no building permit shall be issued until that portion of the tract on which the permit is sought has been included within a subdivision plat or replat, as the case may be, submitted to the Planning Commission for their review and recommendation, approved by the City Council, and filed of record in the office of the County Clerk where the property is situated.

(4) Preplatting Conference. The purpose of the preplatting conference is two-fold, as described in this subsection.

(a) The conference provides the City the opportunity to describe the community's vision to the applicant.

(b) The conference gives the applicant an opportunity to discuss their development plans, explain how the plans will further the community's vision, and obtain input and direction from staff. The Planning Commission and City Council may be involved early in the process. The ultimate goal of this process is to help the applicant develop a plan that fosters the community's vision, while minimizing the cost to the applicant.

(c) Preplatting Conference. The mandatory discussion is for following:

- Lot dimensions and area conform with UDO requirements and Comprehensive Plan,*
- General topography of the tract,*
- Existing adjoining developments,*
- Existing streams, floodplains, and storm drainage (if any),*
- Existing public and private utilities and easements,*
- Proposed land use (i.e. residential, commercial, parks, schools, drainage detention facilities).*
- Proposed layout of streets, lots and blocks,*
- Proposed subdivision name,*
- Name, address and telephone of tract landowner and subdivider,*

- Any other pertinent information, including a statement or a layout describing or depicting how proposed utilities are to be handled.

(5) Preliminary Plat. The purpose of the preliminary plat application is to provide the City with an overall plan for the proposed development.

- (a) Preliminary Plat Review Requirements. The preliminary plat shall show or be accompanied by the following:
 - The name and address of the owner or owners of the land to be subdivided, the name and address of the subdivider if other than the owner and the name and address of the land surveyor,
 - The date of preparation of the plat, north arrow, and scale (written and graphic presentation),
 - Key or location map showing location of subdivisions within the mile section,
 - An accurate legal description of the property,
 - The location and dimensions of all boundary lines of the proposed subdivision to the nearest one-hundredth foot,
 - The names of all adjacent subdivisions and the names, locations and widths of all existing and proposed streets, easements, drainage ways and other public ways, adjacent to the property,
 - The locations and widths of easements of all oil, gas and petroleum products pipelines and of existing utilities on or adjacent to the property,
 - The location and description of all existing structures, water bodies and watercourses,
 - The areas subject to flooding based upon the regulatory flood plain boundary,
 - The names, locations and widths of all proposed streets, confirm types of streets and compliance with section 16-8-8,
 - The location and dimension of all proposed streets, drainage ways, pedestrian ways, bike paths, parks, playgrounds, public ways, or other public or private reservations,
 - All proposed lots progressively numbered and building setback lines,
 - Blocks progressively numbered,
 - A topographic map of the subdivided area with contour lines having two-foot contour intervals based on United States Coastal and Geodetic Survey datum,
 - Any other information as may be deemed by the Planning Commission as reasonably necessary for the full and proper consideration of the proposed subdivision,
 - Conforms to Subdivision Regulations for design and layout,
 - Connects with current and anticipated future abutting development(s),
 - Lot dimensions and shapes facilitate private use and infrastructure placement,
 - Takes advantage of existing environmental features of the property,
 - Underground Mines. The subdivider shall locate mines under a proposed subdivision and designate the location of the same on the subdivision plat. The location of the mines shall be based upon information and/or techniques which have been approved in advance by the City Engineer which are reasonably calculated to accurately locate mines and their depths.
- (i) The City Engineer may recommend that the City Council prohibit the erection of structures over the mine locations if the mines cannot be collapsed and the material compacted to City Engineer specifications or if, because of the shallow depth of the mine or its size, the mine would have the potential for cave-in. Appropriate building

setbacks may be required upon the lots. The City Engineer may require other conditions to be met by the subdivider, based upon the location of the mines and any subsurface investigation reports, which would assist in preventing cave-ins under areas upon which structures may be erected.

- (ii) The City Engineer may require that any streets or utility easements which may be dedicated to the City of Jenks or the public, either not be located over mines, or the mines collapsed and compacted to City Engineer Specifications, or additional bonding requirements imposed upon the subdivider to repair or reroute streets or utility easements in the event of cave-ins under the same.
- (iii) All mine entrances shall be sealed and closed to the specifications of the City Engineer.
- (b) Additional Engineering Review Items:
 - ☐ Are all lots serviced with public street access?
 - ☐ Are off-site access requirements and/or Limits of Access (LA/LNA) shown for driveways and streets onto an arterial street?
 - ☐ Is there conformity to INCOG's published Major Street and Highway Plan, including street names and connections to existing and/or future street?
 - ☐ Are all lots serviced with water and are adequate easements dedicated for water?
 - ☐ Are all lots serviced with sanitary sewer and are adequate easements dedicated for sanitary sewer?
 - ☐ Is the detention area identified as a separate area within the plat? It may consist of one or more platted lots, a separate block, or it may be identified as a reserve area.
 - ☐ Does the plat provide an accessway at least 20 feet wide to the required detention area? Access may be provided by frontage on a dedicated public street to the detention area.
 - ☐ If the detention facility is approved by the City to serve areas outside the subdivision in which it is located, have the additional areas been specifically identified in the dedication?
 - ☐ Does the ownership and maintenance responsibility for detention facility remain with the private sector if the facility is an integral usable part of the development? In all other cases, the detention facility will be dedicated to the public and the public will be responsible for the maintenance thereof. In the event the detention facility, as a result of drainageway improvements, becomes unnecessary, the facility by action of the City of Jenks shall revert to the person firm or corporation making such dedication or his heirs, successor or assignees.
- (c) Recommendation by the Planning Commission. The Planning Commission shall evaluate the proposed Major Subdivision preliminary plat, and after consideration of the City Planner report, make a recommendation to the City Council to approve, approve with modifications, or deny the Major Subdivision preliminary plat based on the applicable review criteria. The Planning Commission shall transmit a report containing its recommendation to approve, approve with modifications, or deny the Major Subdivision preliminary plat to the City Council.
- (d) Action by City Council. The City Council shall evaluate the proposed Major Subdivision preliminary plat, and after consideration of the Planning Commission's recommendation, the City Planner report, and the applicable review criteria, may approve, approve with modifications, or deny the Major Subdivision preliminary plat in accordance with applicable state law.

PRELIMINARY/FINAL PLAT | Chase Bank | Main and Elm

1. *Karl Fritschen, City Planner, City of Jenks*

- *Provide a certificate of closure.*
- *Please note the zoning as CS on the plat.*
- *Please show topography having 2-foot contour intervals.*
- *Correct the 10' U/E call out in the southwest corner of the drawing. It doesn't seem to reference linework correctly.*

Please note that the Engineering and Fire Departments may have comments in addition to those referenced above.

2. *OneOK*

There are no Pipeline Subsidiaries of ONEOK, Inc., within the Preliminary Plat | Chase Bank | Main and Elm.

Timothy Mikles

Right-of-Way & Damage Agent III

22096 West Highway 73

Clinton, Oklahoma 73601

www.oneok.com

Figure 1 Aerial | GIS

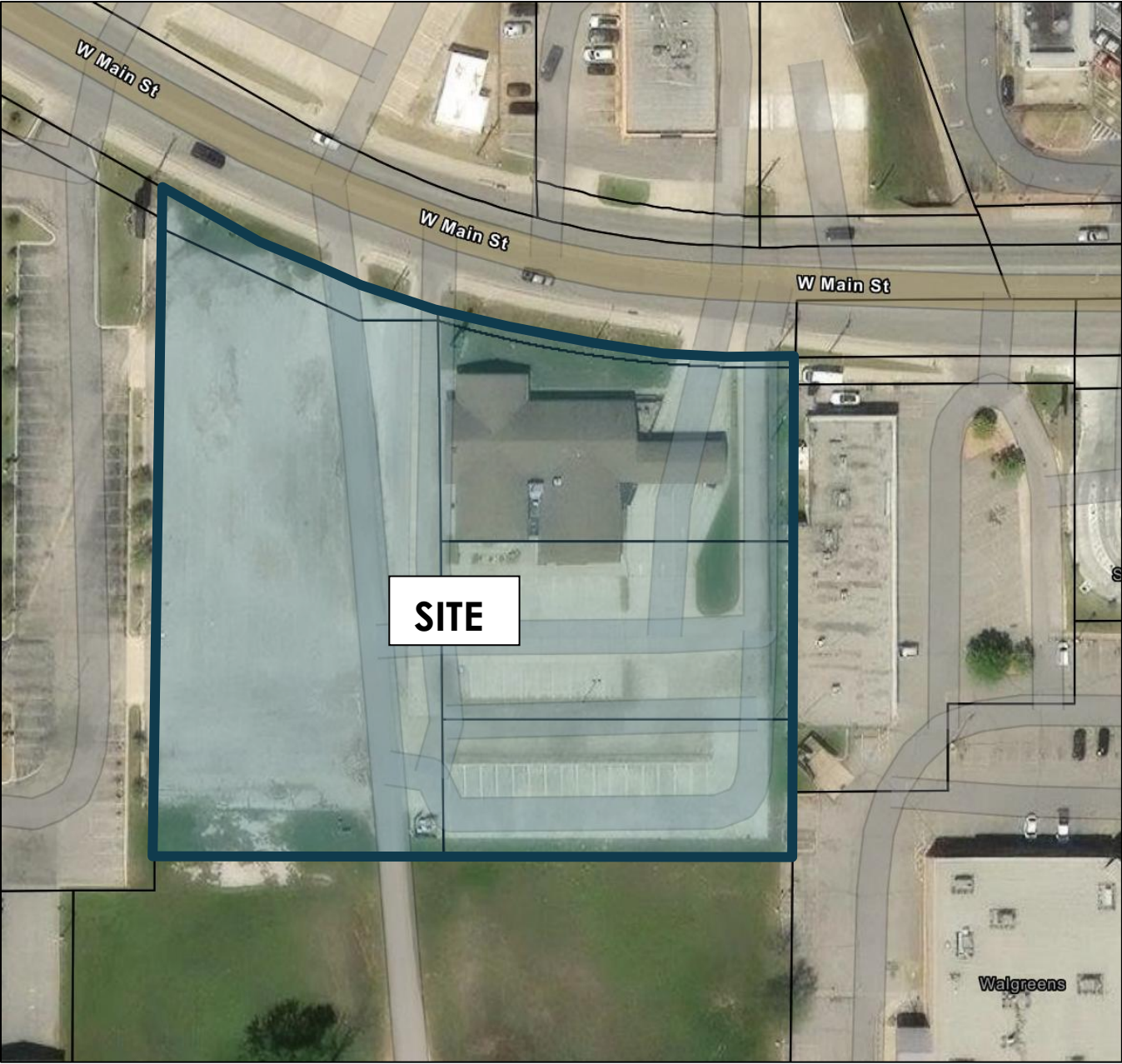
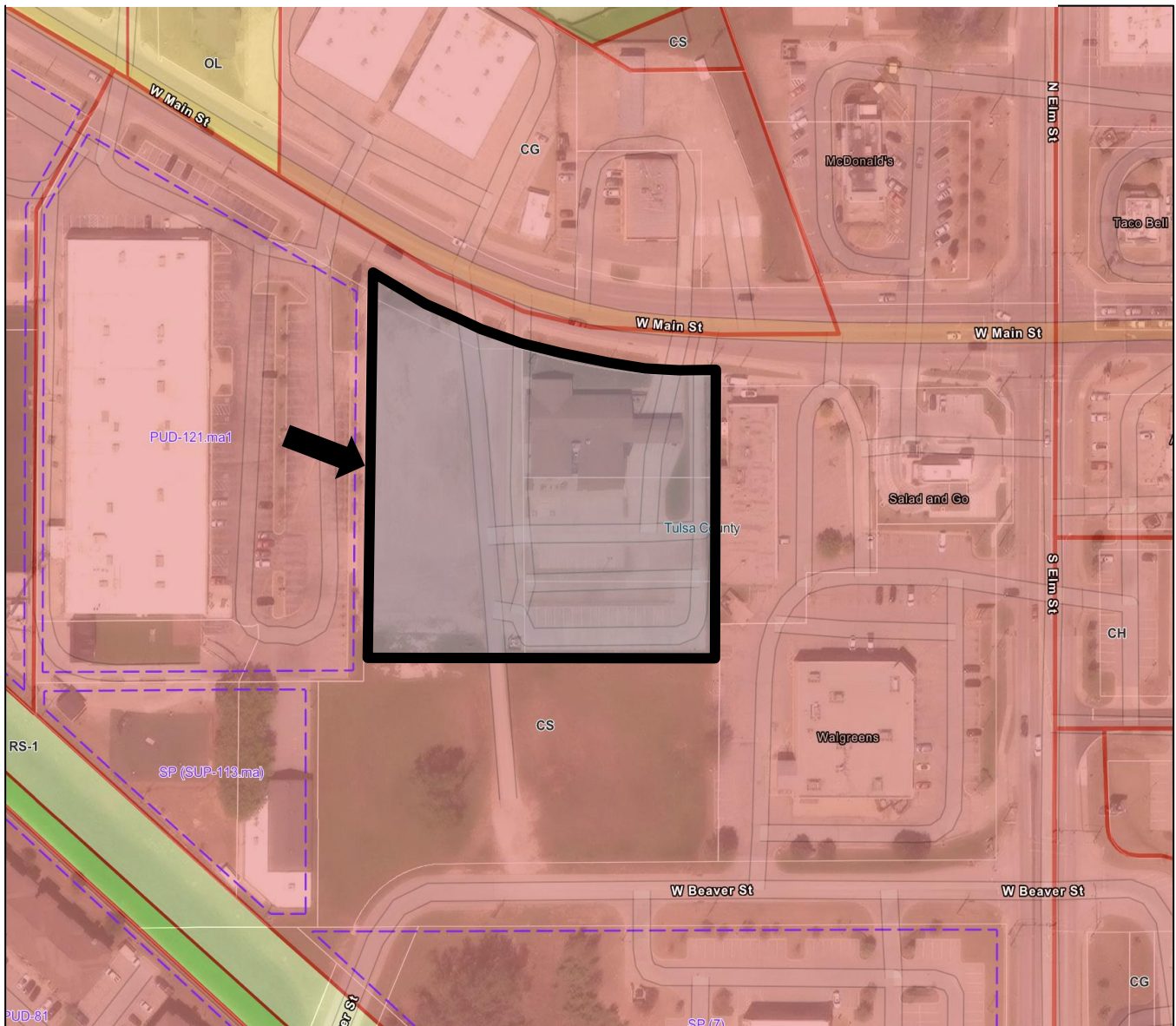


Figure 2: View looking North



Figure 3: INCOG Map of Surrounding Zoning



North | CG (Commercial General)
 East | CS (Commercial Shopping)
 South | CS (Commercial Shopping)
 West | CS (Commercial Shopping) / PUD 121

Figure 4: Land Use Plan/Map

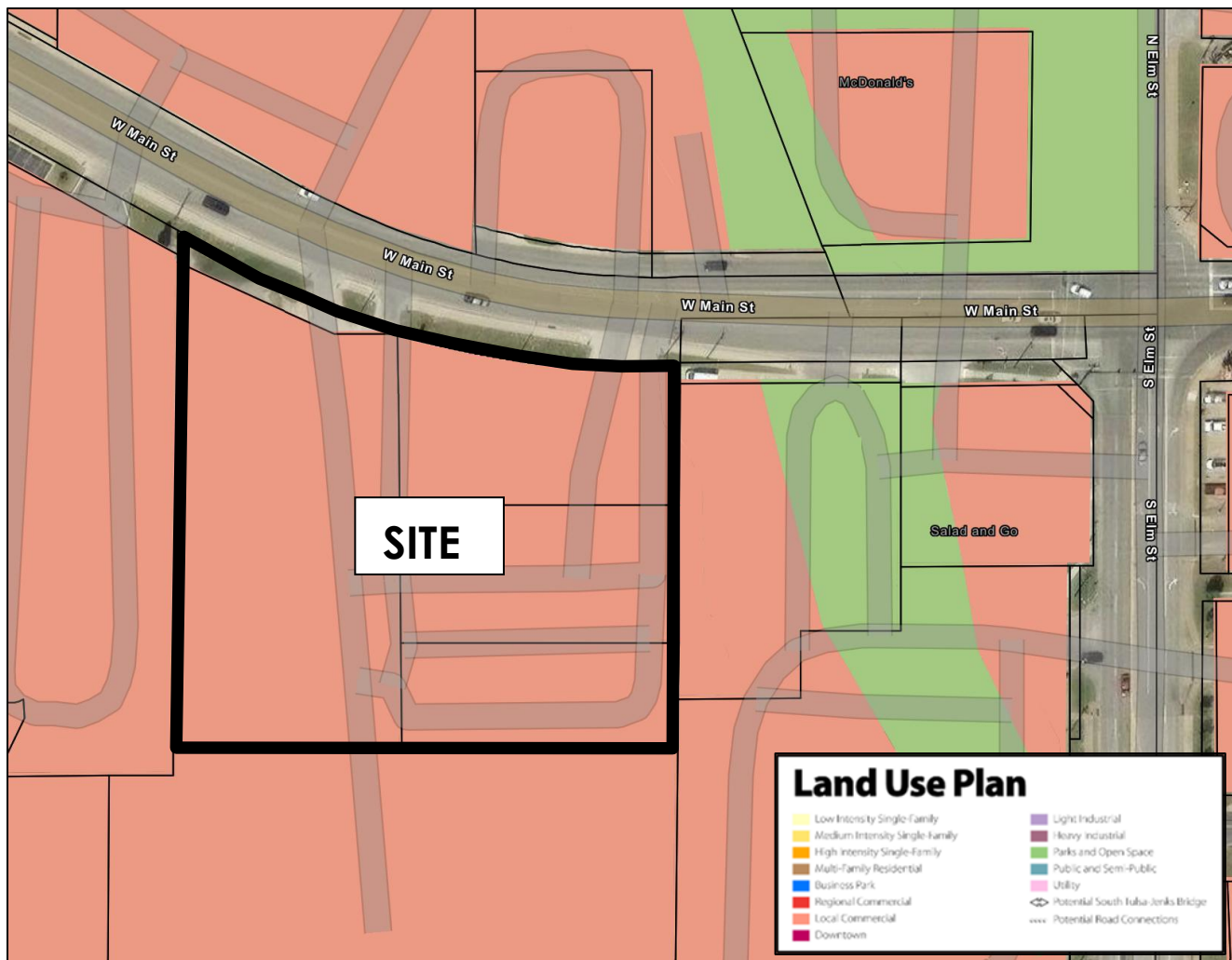


Table 16-3-1(B): Nonresidential District Bulk and Dimensional Standards	
Standard	CS PUD (nonresidential district)
Off Street Parking	
Lots within CS District shall be permitted to share parking	Per "Use" 1/200
Lot Standards (Minimum)	
Lot Area (acres)	n/a
Lot Width (ft)	n/a
Yard Setbacks (Minimum, unless otherwise stated)	
Front (ft)	0
Front, maximum (ft)	n/a
Exterior Side (ft) (3)	0
Exterior Side, maximum (ft)	n/a
Interior Side (ft) (3) (<i>No required interior side yard setback for multitenant shopping center</i>)	10 (1)
Rear (ft) (3)	10 (1)
Building Standards (Maximum)	
Height (ft)	60
Impervious Surface Coverage	70% 85%
Notes	
(1) Add one additional foot of setback for each one foot of building height exceeding 18 feet, if the abutting property is within an RE, RS, or RD District.	
(2) Minimum setback shall be 75 feet if the abutting property is within an AG, R, or O District.	
(3) Transition yards, as specified in section 16-6-3(F), may apply and may result in greater yard setback requirements than specified in this table.	
(4) Minimum setback shall be 75 feet if the abutting property is within an AG, R, or O District.	

Staff Evaluation & Recommendation

EVALUATION | The plat complies with UDO requirements, pending the resolution of any outstanding TAC comments. The property is correctly zoned for intended use and aligns with the comprehensive plan's land use designation. The applicant requests that the Planning Commission (PC) and City Council (CC) approve the Preliminary so the project may advance.

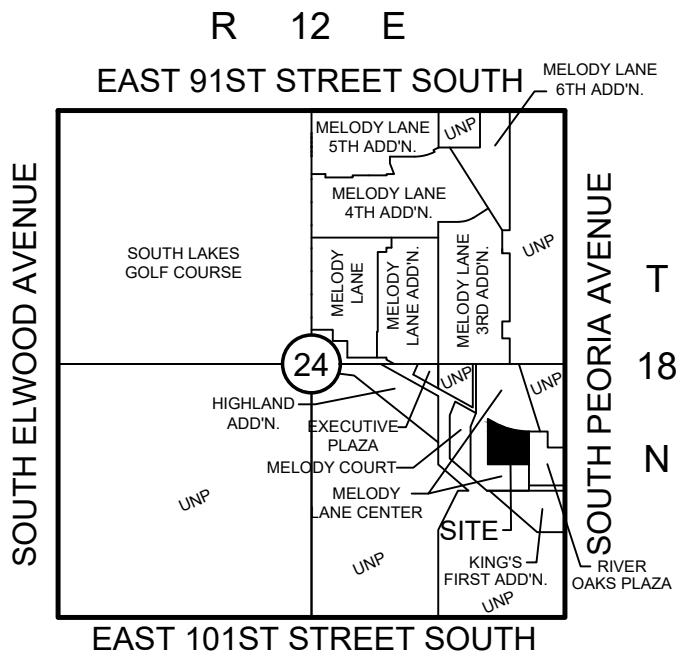
RECOMMENDATION | Staff and TAC recommend conditional approval of the Preliminary Plat subject to meeting any outstanding comments.

Owner:
JP Morgan Chase Bank
712 Main Street, Floor 4E
Houston, TX, 770022
Phone: (214) 235-0367
Contact: Joe Hernandez
Email: joe.m.hernandez@jpmchase.com

Preliminary Plat West Main

A REPLAT OF ALL OF LOT 1, AND LOT 4, AND PART OF LOT 2, BLOCK 2 OF MELODY LANE CENTER
IN THE NE/4 OF THE SE/4 OF SECTION 24, TOWNSHIP 18 NORTH, RANGE 12 EAST
CITY OF JENKS, TULSA COUNTY, OKLAHOMA

Engineer/Surveyor:
Sisemore & Associates, Inc.
Certificate of Authorization No. 2412 Exp. June 30, 2027
6660 S. Sheridan Rd, Ste. 210
Tulsa, Oklahoma 74133
Phone: (918) 665-3600
Email: dpalinskee@sw-assoc.com



Location Map

SCALE: 1"=200'



SCALE: 1"=20'

Subdivision Statistics:

SUBDIVISION CONTAINS TWO (2) LOTS IN ONE (1) BLOCK
SUBDIVISION CONTAINS 2.51 TOTAL ACRES (109,550 SF)
LOT ONE (1) CONTAINS 1.12 ACRES (48,926 SF)
LOT TWO (2) CONTAINS 1.30 ACRES (56,698 SF)
RW BEING DEDICATED BY PLAT CONTAINS 0.09 ACRES (3,926 SF)

Legend:

- U/E = UTILITY EASEMENT
- B/L = BUILDING SETBACK LINE
- MA/E = MUTUAL ACCESS EASEMENT
- FFE = FINISHED FLOOR ELEVATION
- R/W = RIGHT-OF-WAY
- ACC = ACCESS
- LNA = LIMITS OF NO ACCESS
- P.O.B. = POINT OF BEGINNING
- P.O.C. = POINT OF COMMENCEMENT
- FND = FOUND
- BK. = BOOK
- PG. = PAGE
- DOC. = DOCUMENT
- I = LEGAL
- (PLAT NO. 3303) = MELODY LANE CENTER
- 905 = STREET ADDRESS
- [Hatched Box] = MUTUAL ACCESS EASEMENT

Notes:

1. ADDRESSES SHOWN ON THIS PLAT WERE ACCURATE AT THE TIME THIS PLAT WAS FILED. ADDRESSES ARE SUBJECT TO CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF LEGAL DESCRIPTION.

Monumentation:

3/8" IRON PINS WITH RED PLASTIC CAP MARKED "SA CA2421" SET AT ALL LOT AND BLOCK CORNERS UNLESS OTHERWISE NOTED
O = FOUND IRON PIN
● = SET IRON PIN

Basis of Bearing:

THE BEARING SHOWN HEREON ARE REFERENCED TO THE NORTH AMERICAN DATUM OF 1983 (NAD 83) NORTH ZONE (3501) OF THE OKLAHOMA STATE PLANE COORDINATE SYSTEM.

Benchmark:

CHISELED SQUARE ON TOP OF CURB NORTH SIDE OF WEST MAIN STREET APPROXIMATELY 67.37' ± NORTH AND 9.98' ± WEST OF THE NORTHEAST CORNER OF LOT 2, BLOCK 1
NAVD 1988 DATUM
ELEVATION=613.17

Curve Table				
CURVE #	LENGTH	RADIUS	CHORD LENGTH	CHORD BEARING
C1	197.36'	613.42	196.51'	S 81°54'28" E
C2	7.28'	27.00	7.25'	S 06°39'47" W
C3	6.21'	613.42	6.21'	S 72°24'03" E
C4	12.01'	613.42	12.01'	S 73°15'06" E
C5	4.04'	15.00	4.03'	S 06°39'47" W
C6	10.51'	39.00	10.48'	S 06°39'47" W

Melody Lane Center
2₂

DUE NORTH(I)
N 01°03'22" W(g)
384.80'

Block 1

Lot 1

708
W. Main St. S.
FFE=615.80

Lot 2

709
W. Main St. S.
FFE=616.80

1₁
River Oaks Plaza

Melody Lane Center
2₂

EASEMENT CLOSURE

Exhibit "A"

SHEET 1 OF 2

LEGAL DESCRIPTION

A TRACT OF LAND LYING IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW/4, SW/4, NE/4) OF SECTION NINETEEN (19), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN (I.B.&M.), CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT:

COMMENCING (P.O.C.) AT THE SOUTHEAST CORNER OF LOT EIGHT (8), BLOCK FIVE (5), EADS ADDITION, TO THE CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF; THENCE S00°48'15"E FOR A DISTANCE OF 48.00 FEET TO THE POINT OF BEGINNING (P.O.B.); THENCE CONTINUING S00°48'15"E FOR A DISTANCE OF 12.00 FEET; THENCE S89°11'45"W FOR A DISTANCE OF 140.00 FEET; THENCE N00°48'15"W FOR A DISTANCE OF 12.00 FEET; THENCE N89°11'45"E FOR A DISTANCE OF 140.00 FEET TO THE POINT OF BEGINNING (P.O.B.). SAID ARE CONTAINS 1,680 SQUARE FEET.

BASIS OF BEARINGS

BASIS OF BEARINGS FOR THIS EXHIBIT IS THE OKLAHOMA STATE PLANE COORDINATE SYSTEM (NAD83 OKLAHOMA NORTH ZONE 3501). BASED LOCALLY ON THE EAST LINE OF LOT 8, BLOCK 5, EADS ADDITION, CITY OF JENKS, TULSA COUNTY AS S00°48'15"E.

SURVEYOR'S CERTIFICATE

I, AARON BURNS, OF WALLACE DESIGN COLLECTIVE, PC, CERTIFY THAT THE ATTACHED LEGAL DESCRIPTION CLOSES IN ACCORDANCE WITH THE EXISTING REQUIREMENTS AND IS A TRUE REPRESENTATION OF THE LEGAL DESCRIPTION AS DESCRIBED. THIS LEGAL DESCRIPTION MEETS THE MINIMUM STANDARDS FOR LEGAL DESCRIPTIONS AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR THE STATE OF OKLAHOMA.

WITNESS MY HAND AND SEAL THIS 27TH DAY OF MAY 2026



AARON BURNS, P.L.S.
OKLAHOMA NO. 1923
CERT. OF AUTH. NO. 1460
EXP. DATE JUNE 30, 2027



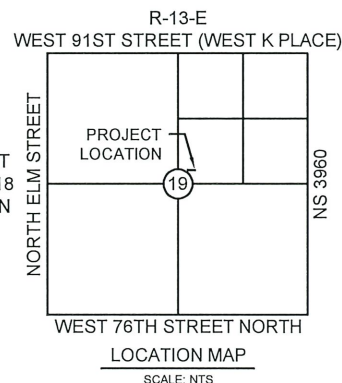
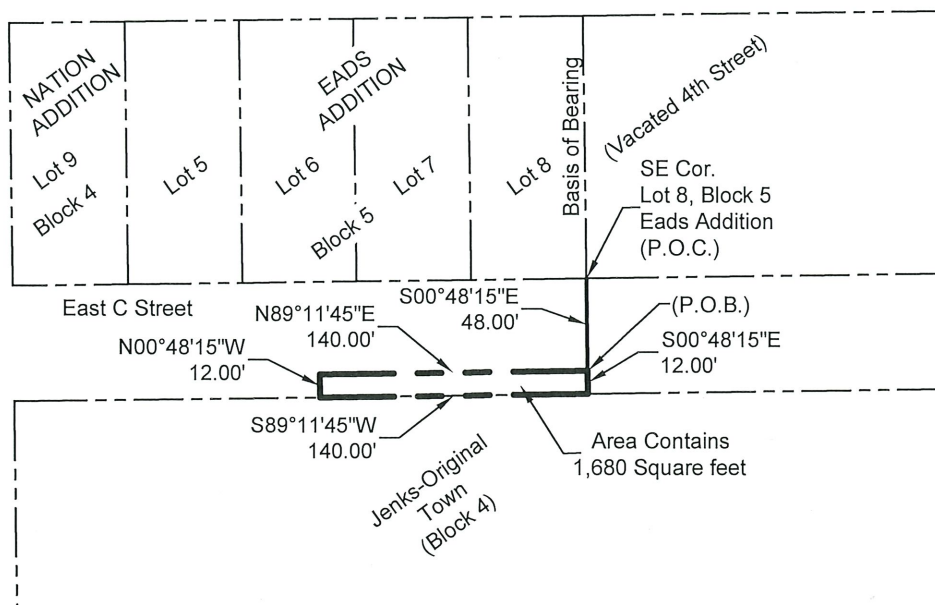
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tulsa, oklahoma 74103
918.584.5858 · 800.364.5858
wallace.design

Easement Closure Exhibit "A"

SHEET 2 OF 2

A PART OF THE SW/4 OF THE SW/4 OF THE NE/4 OF SEC. 19, T.18 N., R.13 E.,
I.B.& M., CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA



BASIS OF BEARINGS

THE BASIS OF BEARING FOR THIS SURVEY IS THE OKLAHOMA STATE PLANE COORDINATE SYSTEM (NAD83 OKLAHOMA NORTH ZONE 3501). SAID BEARINGS ARE BASED LOCALLY ON THE EAST LINE OF LOT 8, BLOCK 5, EADS ADDITION, CITY OF JENKS, TULSA COUNTY AS S00°48'15\"E.

LEGEND

P.O.B. = POINT OF BEGINNING
P.O.C. = POINT OF COMMENCEMENT
COR. = CORNER

CERTIFICATION

I, AARON BURNS, HEREBY CERTIFY THAT THE ABOVE REPRESENTS A SURVEY PERFORMED UNDER MY DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE AND BELIEF AS OF THIS DATE. THIS PLAT OF SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS, AS ADOPTED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR THE STATE OF OKLAHOMA.

WITNESS MY HAND AND SEAL THIS 27TH DAY OF MAY 2026.



Aaron Burns
AARON BURNS P.L.S.
OKLAHOMA NO. 1923
CERT. OF AUTH. NO. 1460
EXP. DATE JUNE 30, 2027



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Exhibit "A"

CLOSURE REPORT

North: 379600.9398' East: 2569972.5829'

Segment #1 : Line

Course: S00° 48' 15"E Length: 12.00'

North: 379588.9410' East: 2569972.7513'

Segment #2 : Line

Course: S89° 11' 45"W Length: 140.00'

North: 379586.9761' East: 2569832.7651'

Segment #3 : Line

Course: N00° 48' 15"W Length: 12.00'

North: 379598.9749' East: 2569832.5967'

Segment #4 : Line

Course: N89° 11' 45"E Length: 140.00'

North: 379600.9398' East: 2569972.5829'



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tulsa, oklahoma 74103
918.584.5858 · 800.364.5858
wallace design

Exhibit "A"

CLOSURE REPORT

Perimeter: 304.00' Area: 1680.00 Sq. Ft.

Error Closure: 0.0000 Course: N00° 00' 00"E

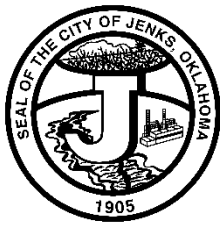
Error North: 0.00000 East: 0.00000

Precision 1: 304000000.00



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CITY OF JENKS
211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
PHONE (918) 299-5883 • FAX (918) 299-4489

**NOTICE OF A PUBLIC HEARING
LOCATED IN THE CITY OF JENKS, OKLAHOMA**

Case Number: ROW-UEC 26-03

Request: Closure of a Right-of-Way.

Legal Description: A TRACT OF LAND LYING IN THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE NORTHEAST QUARTER (SW/4, SW/4, NE/4) OF SECTION NINETEEN (19), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN (I.B.&M.), CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS, TO-WIT: COMMENCING (P.O.C.) AT THE SOUTHEAST CORNER OF LOT EIGHT (8), BLOCK FIVE (5), EADS ADDITION, TO THE CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF; THENCE S00°48'15"E FOR A DISTANCE OF 48.00 FEET TO THE POINT OF BEGINNING (P.O.B.); THENCE CONTINUING S00°48'15"E FOR A DISTANCE OF 12.00 FEET; THENCE S89°11'45"W FOR A DISTANCE OF 140.00 FEET; THENCE N00°48'15"W FOR A DISTANCE OF 12.00 FEET; THENCE N89°11'45"E FOR A DISTANCE OF 140.00 FEET TO THE POINT OF BEGINNING (P.O.B.). SAID ARE CONTAINS 1,680 SQUARE FEET.

BASIS OF BEARINGS

BASIS OF BEARINGS FOR THIS EXHIBIT IS THE OKLAHOMA STATE PLANE COORDINATE SYSTEM (NAD83 OKLAHOMA NORTH ZONE 3501). BASED LOCALLY ON THE EAST LINE OF LOT 8, BLOCK 5, EADS ADDITION, CITY OF JENKS, TULSA COUNTY AS S00°48'15"E.

General Location: E "C" St directly north of 401 E "B" St

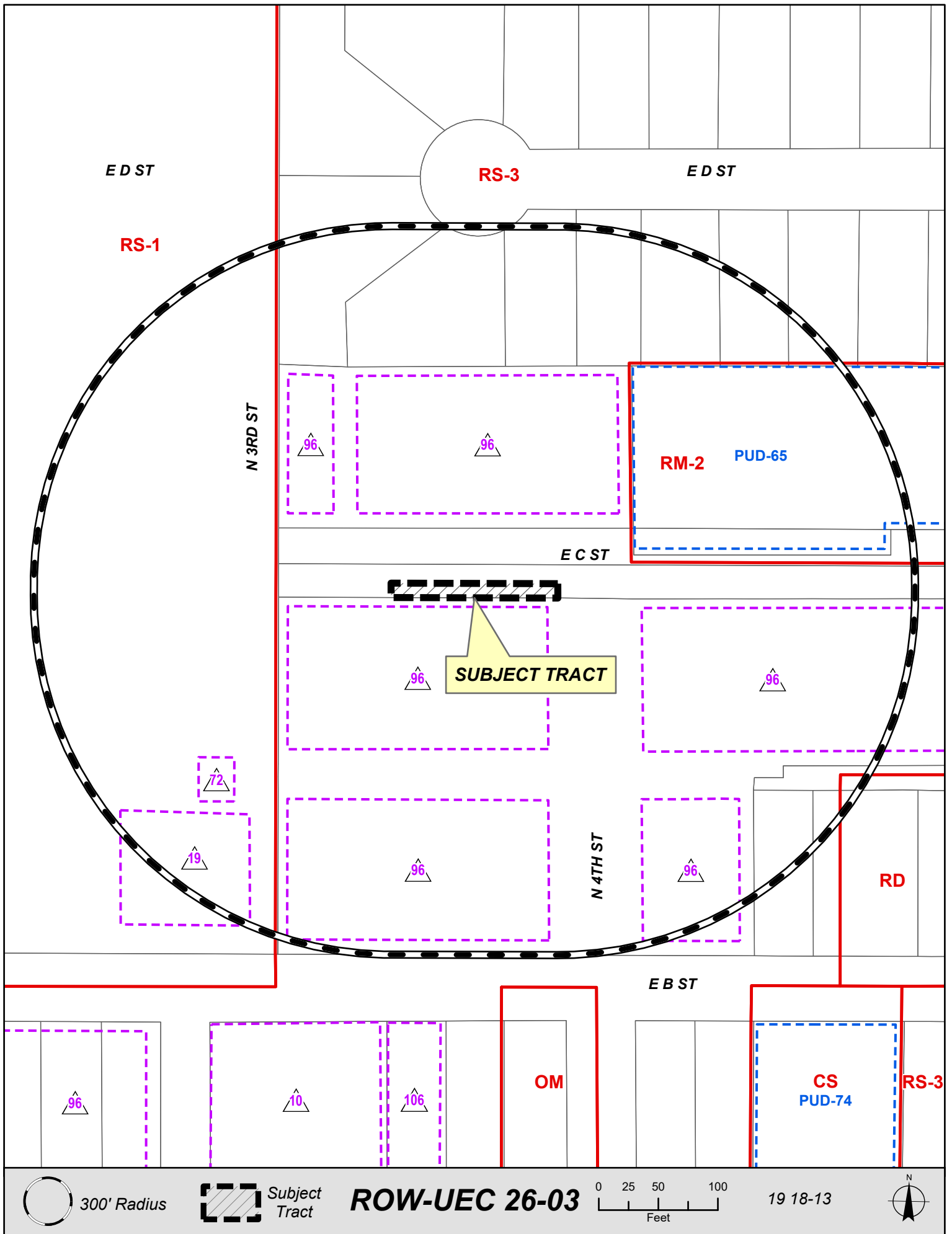
Hearing Date: 21 July 2026 at 6 p.m.

Location: Jenks City Hall, 211 N Elm St, Jenks, OK 74037

All persons interested in this matter may appear at these hearings and present their objections to or arguments for any of the above matters.

Dated at Jenks Oklahoma on 11 June 2026.

Marcae Hilton, Secretary
Jenks Planning Commission



To	Planning Commission Chairman
Hearing Date	July 9, 2026
Case Number	N/A Discussion Only
Request	Staff Landscape Zoning Code Language Discussion
Applicant	City of Jenks Marcaé Hilton Planning Department

Staff Report

Preparer | Karl Fritschen; MH

Attachments

Proposed new code language for Sections 16-6-3, 16-3-5, 16-5-12 and 16-8-8 of the UDO

Preparer

Karl Fritschen, Planner III

Background Information

Purpose of Proposed Amendments

Since the adoption of the Unified Development Ordinance (UDO), practical application by developers and the public has highlighted several areas requiring language modifications. Such adjustments are common for newly adopted zoning codes to resolve unforeseen issues as they arise. Staff is currently reviewing proposed text amendments for the following sections of the UDO:

Section 16-6-3: Landscaping

Proposed revisions aim to clarify existing requirements and introduce new design flexibilities, including:

- **Definition Updates:** Clarifying specific terms and standard regulatory requirements.
- **Street Yard Standards:** Establishing street yard requirements for non-single-family developments and mandating a minimum ratio of evergreen shrubs.
- **Design Flexibility:** Granting designers more freedom in the placement of plant materials within off-street parking areas.
- **Artificial Turf:** Providing clear regulations on where artificial turf may be installed within off-street parking lots.
- **Adjoining Fences & Incentives:** Clarifying how existing fences on adjacent lots impact requirements, and introducing a new compliance incentive for installing masonry fences in transition yards.
- **District-Specific Rules:** Introducing dedicated landscaping standards for both the Downtown Core (DC) district and individual single-family lots.
- **Administrative Relief:** Outline specific allowances for administrative relief and various minor text edits to improve general readability.

Section 16-3-5: Downtown Core District Specific Standards

- **Drive-Through Provisions:** This amendment exclusively addresses drive-throughs as an accessory use for principal structures, specifically tailored to banking institutions.

Section 16-5-12: Accessory Use Specific Standards

- **Maintenance Alignment:** Updates to reconcile all cross-references with Section 16-6-3 (Landscaping) regarding the ongoing maintenance of landscaping elements within outdoor display or storage areas.

Section 16-8-8: Street Design Standards

- **Dimensional Clarity:** Clarifying dimensions for specific components within designated street sections.
- **Graphic Updates:** Removing arterial and secondary street section graphics, as these public rights-of-way are strictly constructed by the City.
- **Consolidation:** Removing landscape strip requirements from this section and relocating them into Section 16-6-3.

Section 16-3-1: Bulk and Dimensional Standards (Impervious Surface Coverage)

- **Lot Coverage Allowances:** This change focuses exclusively on impervious surface coverage limits for single-family residential lots. It proposes allowing a percentage increase in coverage, provided the request is supported by an engineering report sealed by a licensed professional engineer.

Staff Evaluation & Recommendation

Evaluation Staff is presenting proposed language for several sections of the UDO for discussion. The proposed text amendments aim to simplify the language, offer greater design flexibility, consolidate various landscaping regulations currently scattered in other locations of the UDO.

Recommendation | Discussion Only

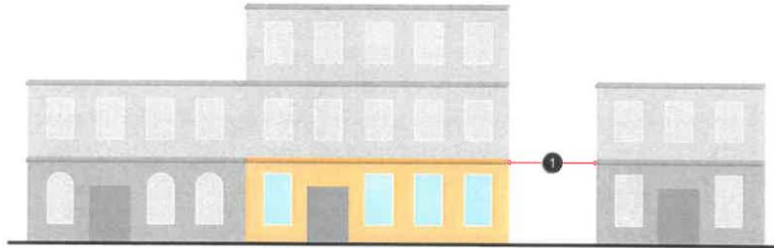
Sec. 16-3-5. Downtown Core District Specific Standards.

- (A) *Development Plan.* Prior to the change of occupancy, construction, or reconstruction of any building or structure, exterior remodeling, placement of exterior lighting or signs, or any proposed construction requiring the issuance of a building permit other than a small job permit for a property located within the DC—Downtown Core District, an application for Site Plan Review, as detailed in section 16-9-3(C), shall be made and shall be subject to the DC—Downtown Core District Specific Standards established in this section.
- (B) *Exterior Building Materials.* Exterior building materials shall be traditional, time and weather tested materials and techniques.
 - (1) *Ground Floor.* Exterior building materials utilized on the ground floor shall be limited to wood, masonry, stucco, fiber cement, or stone veneer systems. Stone veneer systems utilized on the ground floor shall have a minimum thickness of three inches.
 - (2) *Upper Floors.* Exterior building materials utilized on upper floors may include all materials permitted on the ground floor as well as EIFS or precast panels with inlaid or stamped brick texture. All materials utilized on upper floors shall have a minimum thickness of one inch and shall be structurally integrated into the façade of the building.
- (C) *Type of Construction.* Manufactured, mobile, and metal units shall be prohibited unless otherwise expressly permitted by this UDO.
- (D) *Rooftop Equipment.* All rooftop equipment shall be screened from view from any public street or sidewalk right-of-way by a parapet wall(s).
- (E) *Alley Access.* Where a lot abuts an existing alley, access shall be maintained or established and utilized to access off-street parking, loading, and service areas.
- (F) *Orientation.* Main entrances to buildings shall be oriented towards the primary street to which it abuts. Secondary entrances are encouraged along secondary streets.
- (G) *Parking.*
 - (1) *Location.*
 - (a) *Parking Areas Accessory to Primary Uses.* Private off-street parking areas accessory to primary uses shall be located to the rear of buildings.
 - (b) *Parking Areas as Primary Uses.*
 - (I) Private off-street parking areas as primary uses of parcels fronting A street or aquarium place may be located anywhere on a lot pursuant to all other regulations of this UDO.
 - (II) Private off-street parking areas as primary uses of parcels on Main Street shall be prohibited.
 - (2) *Nonresidential Uses.* Nonresidential uses in the DC—Downtown Core District shall be exempted from providing ~~offstreet~~off-street parking.
- (H) ~~*Parking Area Landscape*~~ *Landscape Requirements. For landscape requirements in the DC District refer to 16-6-3 (H).*
 - ~~(1)—*Parking Area Perimeter Landscape Zone.* A low masonry wall the height of which provides effective screening to a maximum height of three feet shall be used in conjunction with required landscaping as detailed [in section] 16-6-3(D).~~
 - ~~(2)—*Parking Area Interior Landscape Zone.* The parking area interior landscape zone requirements detailed in section 16-6-3(E)(3)(a) shall be met in all parking areas fronting A street or aquarium place regardless of building placement.~~

(I) *Proportion, Size, and Scale.*

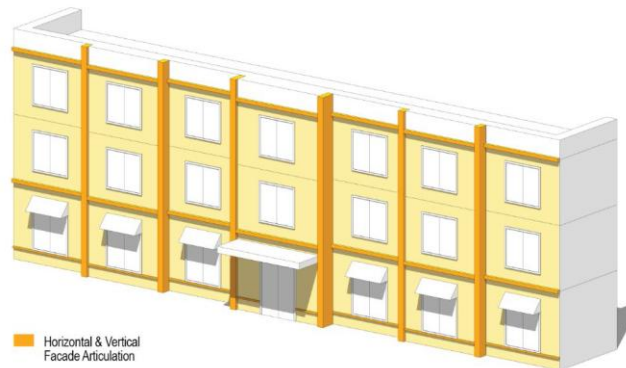
- (1) The height of the first floor of new development shall be consistent with the height of the first floor of existing adjacent development and shall be emphasized using storefronts and decorative cornices.

Figure 3.9: Building Proportion, Size, and Scale



- (J) *Articulation.* All development shall include architectural details such as bulkheads, masonry piers, transoms, cornices, window hoods, and other similar details to provide horizontal and vertical façade articulation.

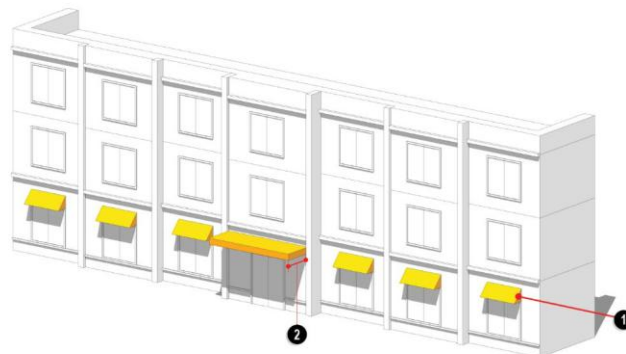
Figure 3.10: Articulation



(K) *Awnings.*

- (1) Building canopies, awnings, or similar weather protection devices are encouraged on the first floor of all buildings.
- (2) If provided shall project a minimum of three feet and a maximum of five feet from the façade.

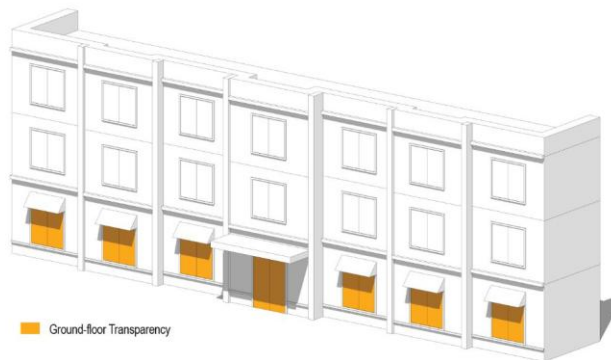
Figure 3.11: Awnings



- (L) *Transparency.* The ground level of all buildings must offer pedestrian interest along sidewalks and pedestrian paths. Therefore, the first floor of any building façade facing a public right-of-way, with the exception of

alleys, shall include transparent windows and/or doors arranged so that the uses inside are visible from and/or accessible to the street on at least 50 percent of the façade.

Figure 3.12: Ground-Floor Transparency



(Ord. No. 1581 , § II, 4-5-2022; Ord. No. 1624 , § I, 10-17-2023)

(M) Drive Through. Pre-existing non-conforming accessory use “Drive Through”.

1. Drive-throughs are not permitted in the Downtown Core.
2. Existing Drive-throughs are non-conforming.
3. Existing buildings with the nonconforming accessory use of a “Drive Through” may enlarge their current facility under the following conditions and with approval of a CUP:
 1. The façades of the building facing a public street are proposed to be upgraded to meet the requirements of the Downtown Core district supporting the character and purpose of the district.
 2. The existing building may not be enlarged greater than 30% of it’s existing square footage.
 3. The Parking must be made available to the public after bank hours.
 4. The drive-through remains closed during approved Special Events.
 5. All signage, existing and new, shall meet the requirements of the UDO.
 6. Any proposed or existing alleys shall be available for public use.

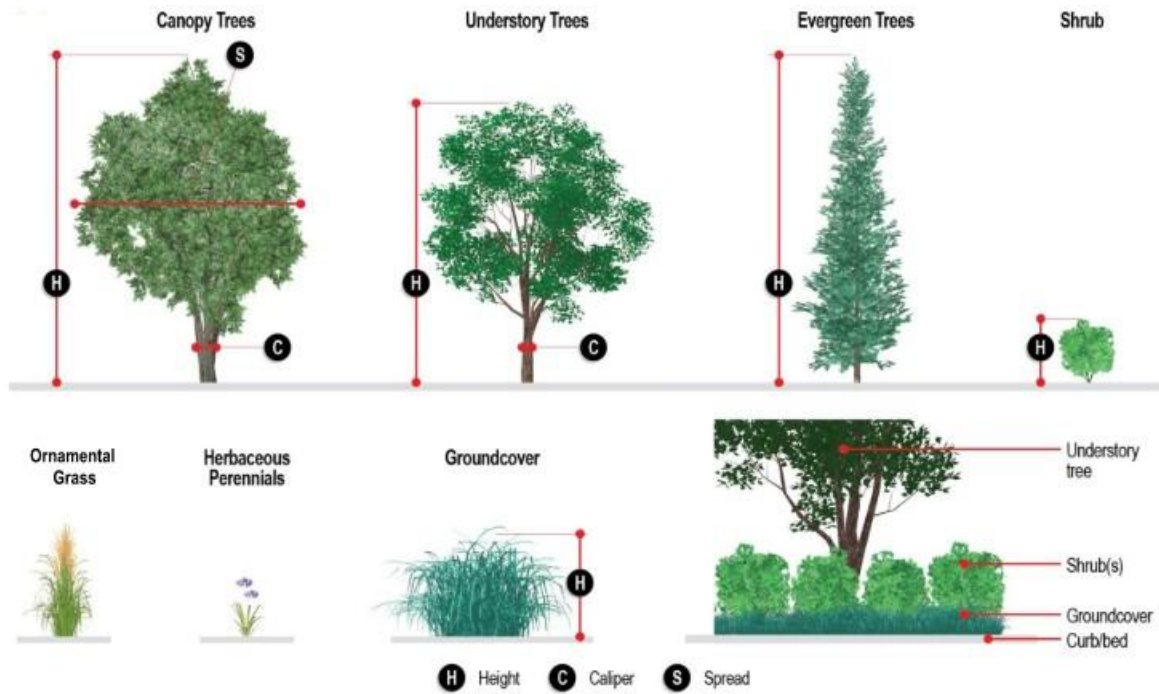
Sec. 16-6-3. Landscape.

Landscape improvements required by this section shall apply to all ~~non-single-family development and developments and uses identified in this section and~~ -consist of living plants in a combination of trees, shrubs, native grasses and/or groundcover. Unless otherwise stated in this section, all size specifications for plant materials shall be based upon the time of planting. When caliper is specified for tree planting, the caliper of the tree trunk shall be measured at ~~four (4) feet~~six inches above the soil level. Any plant materials used to meet the requirements of this section shall not include any plant material identified as a Regulated Invasive Plant by the Oklahoma Department of Agriculture, Food, and Forestry.

(A) *Planting Types.*

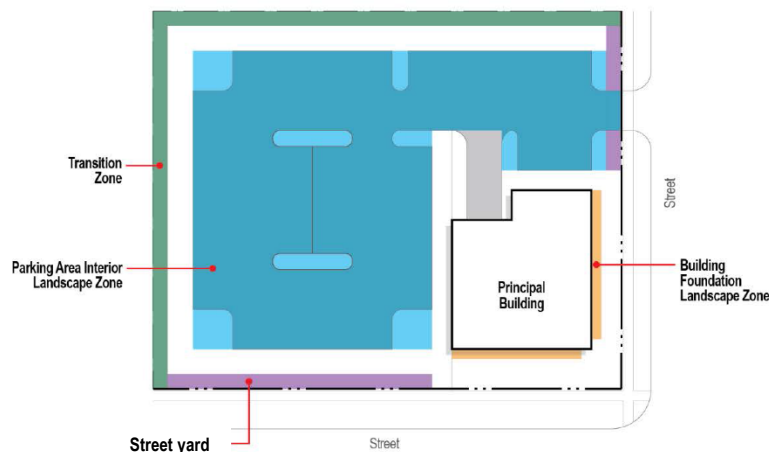
- (1) *Canopy Trees.* A woody plant (deciduous or evergreen) having not less than a two and one-half-inch caliper with single central axis which typically reaches a mature height of not less than 40 feet and a mature spread of not less than 15 feet.
- (2) *Understory Trees.* A woody plant having not less than a one and one-half-inch caliper, or six feet tall for multiple stem species, that normally attains a mature height of at least 15 feet.
- (3) *Evergreen Trees.* A tree having foliage that persists and remains green throughout the year and has a height of not less than six feet at installation and maturing to a height of not less than 20 feet.
- (4) *Shrub.* A woody plant (deciduous or evergreen) of low to medium height characterized by multiple stems continuous from its base and having a height of not less than two feet.
- (5) ~~*Native-Ornamental Grasses.*~~ A non-turf, perennial grass or grass-like plant cultivated primarily for aesthetic, screening, accent, or ecological purposes rather than for functional lawns. These
~~G~~grasses ~~that may be~~ native to, or adapted to, the State of Oklahoma but are not,
~~not including~~ noxious weeds.
- (6) *Herbaceous Perennials.* Plants with non-woody stems whose above-ground growth largely or totally dies back during winter months but whose underground plant parts (roots, bulbs, etc.) survive.
- (7) *Groundcover.* Herbaceous plants, other than ~~sod, artificial turf, grass,~~ or prostrate shrubs normally reaching an average maximum height of 18 inches at maturity.
- (8) *Sod.* pre-grown natural grass that is harvested in rolls or slabs with the roots and a thin layer of soil attached.
- (9) *Artificial Turf.* A synthetic surface made of intertwined fibers designed to look and feel like natural grass

Figure 6.9: Planting Types



- (B) *Required Landscape Zones.* Figure 6.10 illustrates the location of the required landscape zones as detailed in the following sections. The City Planner may approve up to a 25 percent reduction in the overall required amount of landscape material for properties in the IL District or IM District not visible from properties in commercial or residential districts or from major thoroughfares.

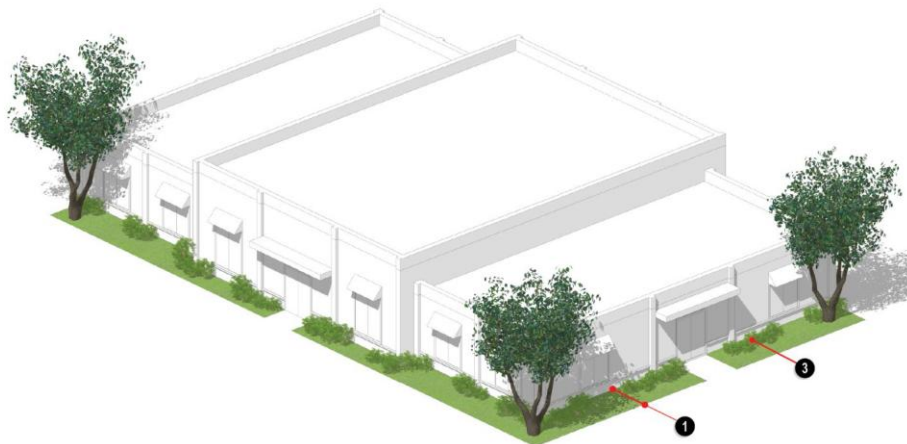
Figure 6.10: Required Landscape Zones



(C) *Building Foundation Landscape Zone*. All nonresidential, mixed use, and multifamily development where a front yard setback is required, with the exception of food processing facilities regulated by the FDA, shall include landscape located at the building foundation as required by this section. Landscape required by this section shall be in addition to landscape required under other sections of this UDO. It is the objective of this section to provide a softening effect at the base of buildings.

- (1) Applicable development is required to maintain a building foundation area at front and exterior side yards with a minimum width of seven feet.
- (2) Foundation plantings shall be designed to supplement buffer yard plantings to frame important views, while visually softening long expanses of walls.
- (3) Foundation plantings shall be installed across 40 percent of the length of the façade of the building. For example, a building with a façade 100 feet long would require 40%, or forty (40) feet, to be landscaped with plant material.
- (4) Foundation plantings may include trees, shrubs, ~~native-ornamental~~ grasses, and groundcover.
- (5) Where the area between the building and parking lot or street curb is entirely paved for pedestrian use, landscaping may consist of canopy trees planted in structural soils beneath tree grates or permeable pavement, at the rate of one tree per 50 linear feet of building façade. Minimum structural soil volume shall be 600 cubic feet.
- (6) Above-ground stormwater planter boxes along building façades may be substituted for foundation plantings.
- (7) Foundation plantings may be installed in planters between the building and parking lots, provided they are within 12 feet of the building façade. ~~Required foundation plantings may be installed between parking lots and the building but shall be installed within 12 feet of the building façade.~~

Figure 6.11: Building Foundation Landscape Zone



(D) ~~Parking Area Perimeter Landscape Zone~~ *Street Yard*. Landscape required by this section shall be in addition to landscape required under other Sections of this UDO. It is the objective of this section to provide screening between off-street parking areas and rights-of-way, and to provide for the integration of stormwater management with required landscaping.

- (1) *Location*. All off-street parking areas which abut a public or private right-of-way, excluding alleys, shall ~~include provide landscape shrubs or ornamental grasses~~ and trees as required by this section located between the back of curb of the off-street parking area and the right-of-way.

(2) *Applicability.* The parking lot ~~perimeter landscape~~street yard regulations of this section apply to either of the following:

(a) New off-street parking area. The construction or installation of any new off-street parking area; ~~and or~~

(b) Existing parking area. The expansion of any existing off-street parking area, in which case the requirements of this section apply only to the expanded area.

(3) *Requirements.* A street yard shall be ~~Perimeter landscape shall be~~ established along the edge of the off-street parking area for all commercial, office, industrial and multi-family districts.

- The street yard shall and have a minimum width as measured from the back of curb of the off-street parking area, to accommodate vehicle bumper overhang and ensure planting areas are of adequate size.: ~~of~~

- ~~ten (10) seven feet~~ for commercial, office, and industrial zoned properties; and

- ~~twenty (20) feet for multi-family districts as measured from the back of curb of the off-street parking area, to accommodate vehicle bumper overhang and ensure planting areas that are adequate in size.~~

Add a sketch depicting a typ. street yard

(a) One shrub or ~~native ornamental~~ grasses the height of which, when maintained, shall not be less than three (3) feet nor greater than five (5) feet, shall be planted for every four (4) feet of landscape area length when no masonry wall or fence is provided as described in this subsection, or when such wall or fence is not entirely opaque. ~~One shrub or native grass shall be planted every eight feet when an opaque masonry wall or fence is provided as detailed in this subsection. Such plantings may be clustered or spaced at even intervals as deemed appropriate by the City. At least 50% of the required shrubs shall be evergreen.~~

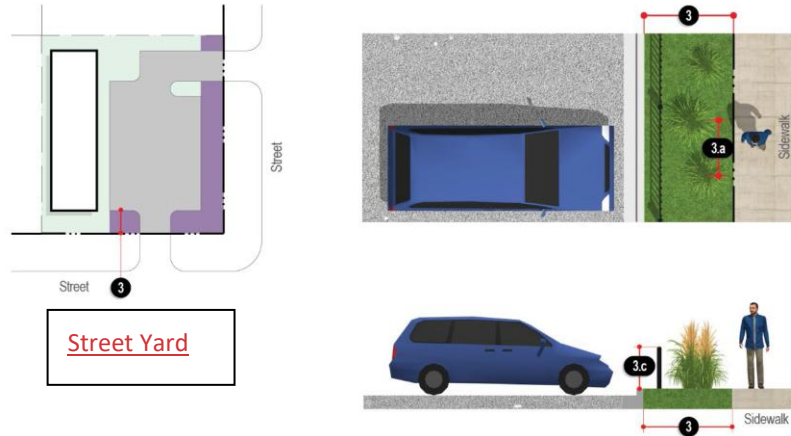
(b) 1 shade tree per fifty (50) linear feet or two (2) ornamental trees per fifty (50) linear feet if overhead power lines are present.

(~~bc~~) Landscaped areas outside of shrubs/~~native ornamental~~ grasses and tree masses shall be planted in live groundcover or sod. ~~Artificial turf is not permitted along the street frontage.~~

(~~ed~~) Wall Credit. ~~An low masonry~~ opaque masonry wall or fence no greater than three (3) feet in height the height of which that provides effective screening ~~to a maximum height of three feet~~ may be used in conjunction with required landscaping. as detailed above. ~~Plant~~ When said wall is used shrubs or ornamental grasses shall be planted for every eight (8) feet linear feet. Such plantings may be clustered or spaced evenly as deemed appropriate by the City Planner or their designee. materials ~~Shrubs or ornamental grasses~~ shall be installed between the sidewalk and the fence or wall to provide a softening effect.

- (4) Rain garden. Requirements for street trees may be waived if the landscape strip is designed as a rain garden as approved by the City Engineer.

Figure 6.12: Parking Area Perimeter Landscape Zone



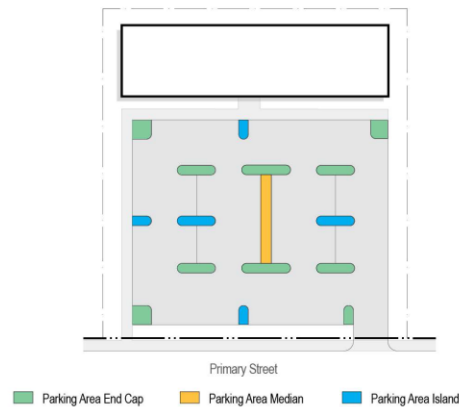
- (E) **Parking Area Interior Landscape Zone.** All off-street parking areas shall include landscape and trees located within the off-street parking area as required by this section. Trees and landscape required by this section shall be in addition to trees and landscape required under other sections of this UDO. It is the objective of this section to provide shade within parking areas, break up large expanses of parking area pavement, support stormwater management where appropriate, improve the appearance of parking lots as viewed from rights-of-way, and provide a safe comfortable pedestrian environment.
- (1) **Applicability.** The parking area interior landscape zone regulations of this section apply iesy to either of the following situations~~the following~~:
- (a) The construction or installation of any new off-street parking lot containing 15 or more parking spaces, and-or;
 - (b) The expansion of any existing off-street parking area if the expansion would result in 15 or more new parking spaces, in which case the requirements of this section apply only to the expanded area.
- (2) **Requirements.** The level of parking lot interior landscape required shall depend on the size and location of the off-street parking area as follows.
- (a) Off-street parking areas consisting of 15 or more continuous spaces shall be required to provide full interior landscaping amenities as specified in subsections (3) through (9) below.
 - (b) Off-street parking areas consisting of fewer than 15 continuous spaces that are located to the front or side of the principal building shall be required to terminate all rows of parking with a parking area end cap, as detailed in subsection (4), but shall otherwise be exempt from the requirements of subsections (3) through (9) below.
 - (c) Off-street parking areas consisting of fewer than 15 continuous spaces that are located in the rear of the principal building shall be exempt from the requirements of this section.

- (3) *Amount.* The amount of required parking area interior landscape shall be determined by the yard in which the off-street parking area is located as detailed below.

(a) *Off-Street Parking Areas in Front or Side of Principal Buildings.*

- (I) *Parking Area End Caps.* A parking area end cap shall be located at the end of any bay of parking bordered by a drive aisle, public or private street, or pedestrian circulation system.
- (II) *Parking Area Median Amount Requirement.* Parking area medians shall be placed between every third bay of parking.
- (III) *Parking Area Island Amount Requirement.* Parking area islands shall be located on parking bays which are not required to have parking area medians. Parking area islands shall be spaced not more than 135 feet or more than 15 continuous spaces apart.

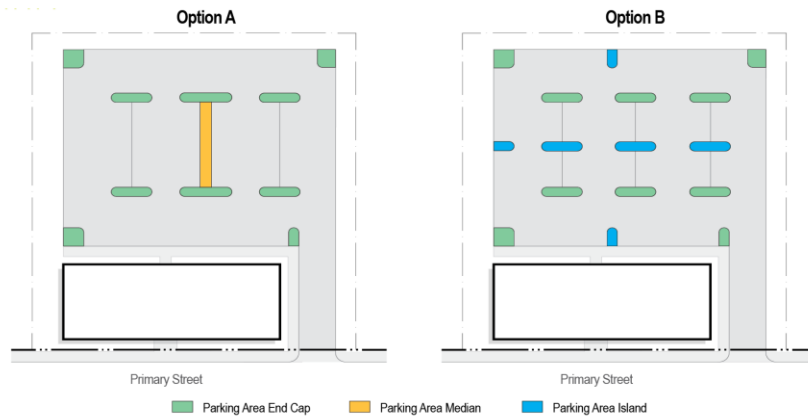
Figure 6.13: Interior Parking Area Landscape Zone Requirements for Parking Areas in Front or Side of Principal Building



(b) *Off-Street Parking Areas in Rear of Principal Building.*

- (I) *Parking Area End Caps.* A parking area end cap shall be located at the end of any bay of parking bordered by a drive aisle, public or private street, or pedestrian circulation system.
- (II) *Parking Area Median or Parking Area Island Amount Requirement.* The developer may choose to install either parking area medians or parking area islands. If the developer chooses to install parking area medians, they shall be placed between every third bay of parking. If the developer chooses to install parking area islands, they shall be located on parking bays which are not required to have parking area medians. Parking area islands shall be spaced not more than 135 feet or more than 15 continuous spaces apart.

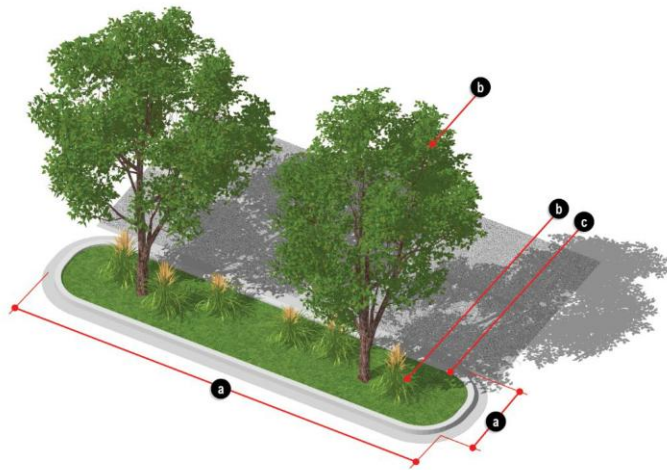
Figure 6.14: Interior Parking Area Landscape Requirements For Parking Areas Located In Rear of Principal Building



(4) Parking Area End Cap and Island Standards.

- (a) Size End Caps. Parking area end caps shall be a minimum nine feet wide by eighteen (18) feet long and shall have a minimum soil depth of 36 inches. Double rows of parking shall provide parking area end caps opposite one another to form continuous single end cap.
- (b) Islands. Parking area islands shall be a minimum nine (9) feet wide by eighteen (18) feet long and shall have a minimum soil depth of 36 inches. Double rows of parking shall provide parking area islands opposite one another to form continuous single islands.
- (bc) Planting Trees Required. A minimum of one (1) canopy tree ~~and three shrubs or native grasses~~ shall be provided for every parking area end cap. If the end cap extends the width of a double bay, then two (2) canopy trees shall be provided. A minimum of one (1) canopy tree shall be provided for every parking area island. If the island extends the width of a double bay, then two (2) canopy trees shall be provided.
- (d) Shrubs Required.
 - Commercial, Office, and Industrial Zones. Six (6) small shrubs for every fifteen (15) parking spaces.
 - Multi-Family Zones. Eight (8) small shrubs for every ten (10) parking spaces.
- (e) Location. Install shrubs within parking lot islands or within fifteen (15) feet of the lot's edge, but at least 50% of all islands or end-caps within the parking lot shall include the required shrubs.
- (f) Exclusions. Landscaping in other yards cannot be counted toward this requirement.
- (g) Ground Cover. Any remaining islands must be covered with ground cover, sod, or artificial turf in allowed locations as described in 16-6-3 (4) (i). Decorative rock or a similar pervious material, installed over filter fabric may also be used.
- (h) Design. Parking area end caps and islands shall be protected with concrete curbing or other suitable barriers approved by the City Planner. ~~Such~~ End caps and islands shall be properly drained or irrigated as appropriate to the site conditions to ensure survivability of plant materials or proper stormwater management function.
- (i) Artificial Turf. Artificial turf may be used on interior islands only and may not be used on perimeter end caps (Figure 6.14).

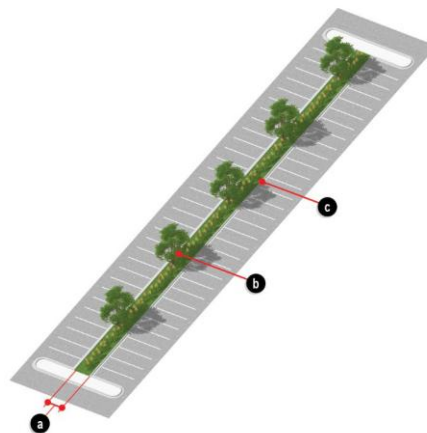
Figure 6.15: Parking Area End Cap Standards



(5) *Parking Area Median Standards.*

- (a) *Width.* Parking area medians shall have a minimum width of nine feet and minimum soil depth of 36 inches.
- (b) *Planting.* A minimum of one canopy tree and fifteen (15) shrubs or native ornamental grasses shall be planted for each fifty (50) linear feet of parking area median.
- (c) *Design.* Parking area medians shall be protected with concrete curbing unless the parking area median is designed to be utilized for stormwater management in which case the perimeter shall be protect by wheel stops, or other suitable barriers approved by the City Planner. Such medians shall be properly drained or irrigated as appropriate to the site conditions to ensure survivability of plant materials and proper stormwater management function.

Figure 6.16: Parking Area Median Standards

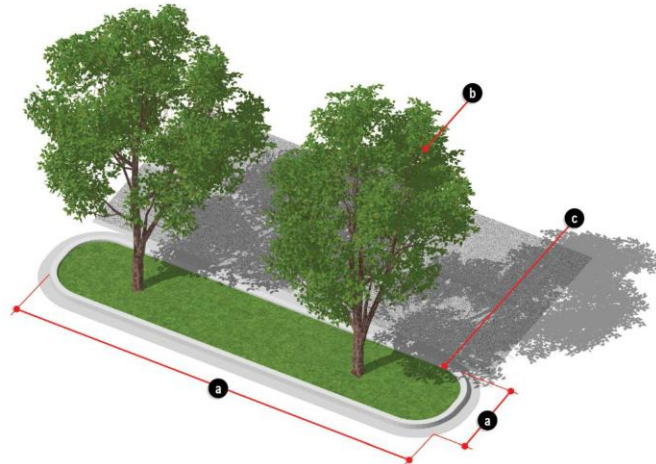


~~(6) *Parking Area Island Standards.*~~

- ~~(a) *Size.* Parking area islands shall be a minimum nine feet wide by 18 feet long and shall have a minimum soil depth of 36 inches. Double rows of parking shall provide parking area islands opposite one another to form continuous single islands.~~

- ~~(b) *Planting.* A minimum of one canopy tree shall be provided for every parking area island. If the island extends the width of a double bay, then two canopy trees shall be provided.~~
- ~~(c) *Design.* Parking area islands shall be protected with concrete curbing or other suitable barriers approved by the City Planner. Such islands shall be properly drained or irrigated as appropriate to the site conditions to ensure survivability of plant materials or proper stormwater management function.~~

Figure 6.17: Parking Area Island Standards



- (7) *Pedestrian Circulation Systems.* Pedestrian circulation systems, as required in the interior of off-street parking areas in section 16-6-1(H), shall be located along parking area medians. The City Planner may waive or modify this requirement on determining that locating pedestrian circulation systems along parking area medians is impractical due to site conditions or undesirable because it would create unsafe conditions.
- (8) *Type of Landscape Material.* Except where areas are designed as vegetated stormwater management areas, canopy trees shall be the primary plant materials used in parking area end caps and islands and canopy trees and shrubs or native ornamental grasses shall be the primary plant materials used in parking area medians. Understory trees, evergreen trees, shrubs, native ornamental grasses, groundcover, and other plant materials may be used to supplement the required plantings but shall not create visibility concerns for automobiles and pedestrians. If medians or islands are designed as stormwater management areas, deviations from required plantings may be approved by the City Planner.
- ~~(9) *Groundcover.* A minimum of 75 percent of the surface area of every parking area island and median shall be planted with living groundcover.~~
- (F) *Transition Zone Landscape Requirements.* Transition zone landscape shall be required along interior property lines of all nonresidential, mixed use, and multifamily development. It is not expected that the transition area will totally screen such uses but rather will minimize land use conflicts and enhance aesthetics. Landscape required by this section shall be in addition to landscape required under other Sections of this UDO.
 - (1) *Applicability.* Transition zone landscaping is required as follows:
 - (a) The construction or installation of any new primary building or primary use; and
 - (b) The expansion of any existing primary building or primary use that results in an increase in gross floor area by more than five percent or 1,000 square feet, whichever is greater. In the

case of expansions that trigger compliance with transition zone requirements, transition zone landscaping is required only in proportion to the degree of expansion. The City Planner is authorized to allow the transition zone to be established adjacent to the area of expansion or to disperse transition zone landscaping along the entire site transition zone.

- (2) *Application of Transition Zone Types.* Transition zones shall be provided based on Table 16-6-3(F)(2), except where adjacent uses are of a similar nature, scale, and intensity as determined by the City Planner. As per Table 16-6-3(F)(2), the type of required transition zone is dependent upon the land use type of the subject lot and the land use type of the adjacent lot(s).

Table 16-6-3(F)(2): Application of Transition Zone Types											
Subject Lot Land Use	Adjacent Lot Land Use										
	Agricultural	Single-Family Residential	All Other Residential	Institutional	Retail	Service	Lodging	Eating/Drinking	Entertainment	Vehicle Related	Industrial
Agricultural	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
Single-Family Residential	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a	n/a
All Other Residential	n/a	C	A	B	B	B	B	B	B	C	D
Institutional	n/a	C	B	A	B	B	B	B	B	C	D
Retail	n/a	C	B	B	A	A	A	A	A	B	C
Service	n/a	C	B	B	A	A	A	A	A	B	C
Lodging	n/a	C	B	B	A	A	A	A	A	B	C
Eating/Drinking	n/a	C	B	B	A	A	A	A	A	B	C
Entertainment	n/a	C	B	B	A	A	A	A	A	B	C
Vehicle Related	n/a	C	B	B	A	A	A	A	A	B	C
Industrial	n/a	D	D	D	D	D	D	D	D	D	D

- (3) *Transition Zone Types.* Four transition zone types are established in recognition of the different contexts that may exist, as shown in Table 16-6-3(F)(3). Transition zones may include a combination of elements including setback distances for separation, planting types, solid fencing, green walls, vegetated stormwater management areas, living groundcover, or ~~turf~~sod.

Table 16-6-3(F)(3): Transition Zone Types					
Specification		Type A	Type B	Type C	Type D
(a)	Minimum Zone Width (1) <u>(4)</u>	5 feet	10 feet	15 feet	20 feet
(b)	Minimum Fence/Wall Height (2)(3)	optional	optional	6 feet <u>opaque</u>	6 feet <u>opaque</u>
Minimum Number of Landscape Elements per 100 Linear Feet					
(c)	Understory Tree	optional	3	<u>4-3</u>	5
(d)	Canopy/Evergreen Tree	<u>4-2</u>	3	4	5
(e)	Shrubs/ Native-Ornamental Grasses	optional	15	<u>25-20</u>	<u>35-30</u>
Notes:					
(1) Required yard setbacks may be utilized for transition zone landscape.					
(2) Fence or wall requirements may be satisfied by a solid evergreen hedge with a maximum height of six feet, as approved by the City Planner.					
(3) Fencing shall still be required on the subject lot in any instance that the adjoining property contains a fence along the lot line. <u>If the adjoining lot owner wishes to keep their existing fence, then the developing lot owner must provide an agreement from the adjacent owner outlining maintenance and replacement responsibilities of said fence. Absent such an agreement the developing lot owner is still responsible for the perpetual screening requirement.</u>					
<u>(4) Fencing Credit. If a masonry fence is used, there shall be no requirement for shrubs, and the Type C yard may be reduced to ten (10) feet and Type D yard to fifteen (15) feet.</u>					

Figure 6.---: Transition Zone Type A

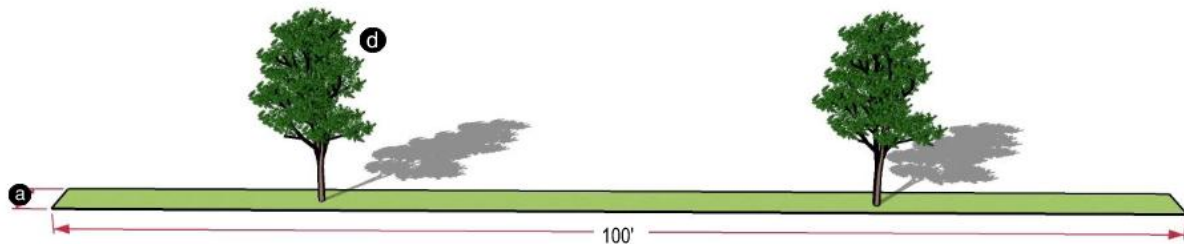


Figure 6.---: Transition Zone Type B

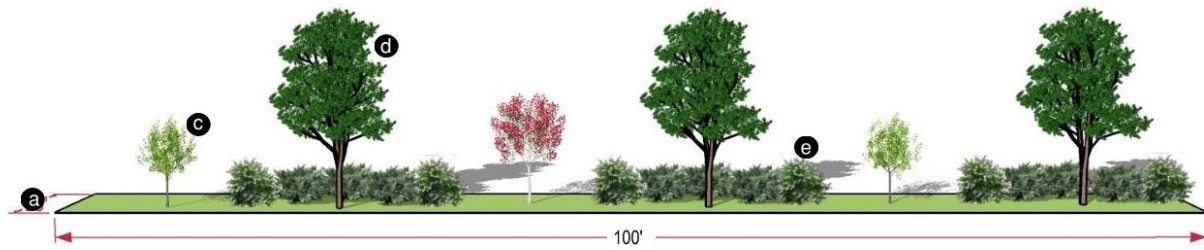


Figure 6.---: Transition Zone Type C

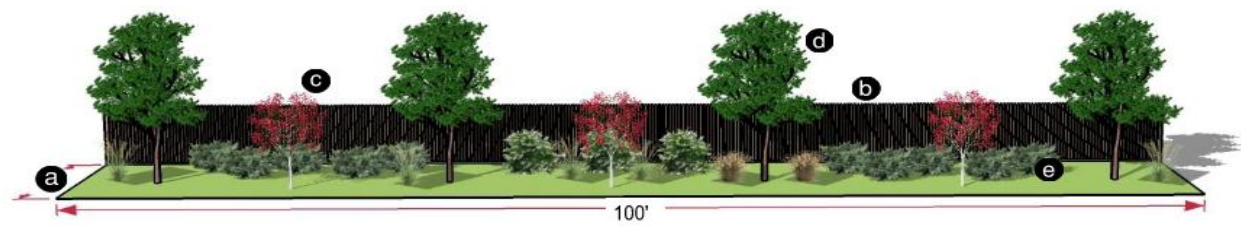


Figure 6.---: Transition Zone Type C with Masonry Wall Credit

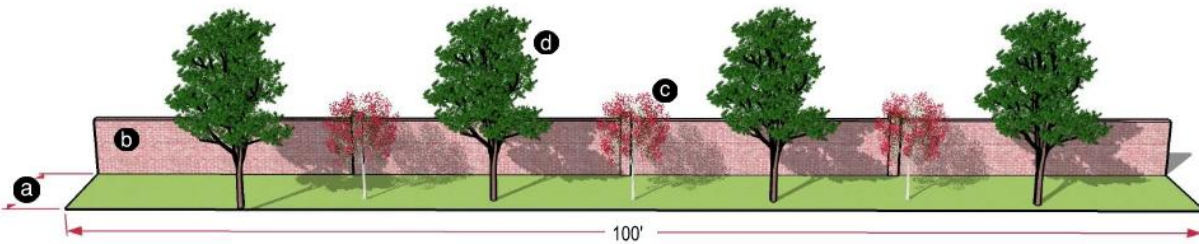
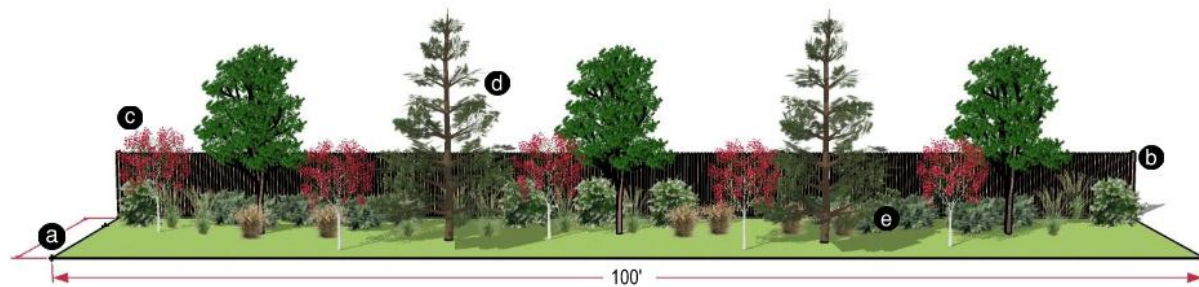


Figure 6.---: Transition Zone Type D



(G) *Single Family Lot Requirements.* For the purposes of creating a street canopy and shade to minimize urban heating, canopy trees shall be required in all single-family residential and two-family residential districts, within the front yard of a newly constructed residential structure.

- (a) *Requirement.* One medium tree (two-inch caliper or greater) planted and/or existing and maintained for every forty (40) feet, or fraction thereof, of frontage with a minimum of one tree per lot. An occupancy permit shall not be issued for the residential structure until the tree(s) required hereunder have been planted and/or are existing and maintained.
- (b) *Location.* The tree shall be planted no further than fifteen (15) from the front property line but shall be clear of buried utilities by a distance of five (5) horizontal feet. Where overhead utility line conflicts are present, a minimum of one understory tree shall be planted every twenty (20) feet. However, a minimum of two (2) trees shall be required per lot. The spacing of street trees shall take into consideration local conditions and clear vision triangles.
- (c) *Maintenance.* Newly planted trees shall be watered regularly for a two (2)-year period during dry spells to ensure establishment. Trees shall be maintained to a height of at least eight (8) feet of clearance over a sidewalk and 14 feet over a street.

(H) *Downtown Core (DC) District.* To create an inviting, pedestrian-friendly environment and align with the Downtown Master Plan and Horizon Jenks Comprehensive Plan, the following landscaping rules apply strictly to properties zoned Downtown Core (DC).

- (a) *Street Yard.* Any street yard screening must feature a low masonry wall combined with the landscaping specified in Section 16-6-3(D) and Figure 6.12. The wall must provide effective screening up to a maximum height of three (3) feet.
- (b) *Parking Area Interior Landscape Zone.* All parking areas facing "A" Street or Aquarium Place must meet the interior landscaping requirements outlined in Section 16-6-3(E)(3)(a), regardless of where the building sits on the property.
- (c) *Street Trees.* Planting street trees on private property is not required. However, the City may require canopy street trees, tree wells, small shrubs that reach a maximum height of no more than three (3) feet, ground cover, or a combination of these elements within the public right-of-way on a case-by-case basis as part of the project's overall design approval. If power lines are present, then understory trees may be planted so long as they are not within a site triangle.
- (d) *Soil Media.* Trees planted within paved sidewalks or within parking end caps must utilize structural soil.
- (e) *Infrastructure Protection.* Structural cells (e.g., Silva Cells), or root barriers approved by the City Engineer to protect adjacent concrete, roadway bases, and underground utility corridors may be required with a detail on submitted landscape drawings.

(f) Irrigation. The developer must provide a reliable, long-term source of irrigation for all newly planted street trees whether on private property or city right-of-way using one of the following approved configurations.

- Automated System: The developer shall install a commercial-grade, automatic subsurface drip irrigation system or bubbler zone for the landscaped areas. This system may be connected directly to the city water main with separate water meter and dedicated backflow prevention device. If necessary, the property owner shall grant a permanent utility easement to the city for system monitoring. The city shall assume the cost of the water for the irrigation.
- Watering Bags/Truck Access: If connection to a private meter is technically unfeasible due to subterranean vaults, the developer shall install heavy-duty, slow-release watering bags (e.g., Treegator) around the base of each tree trunk. The site plan must feature an uninhibited, designated parking clearance zone along the curb line to allow standard City Public Works water trucks safe, direct access for manual filling.

(g) Foundation Plantings. Landscaping directly along the building foundation is not required.

(h) Maintenance. For trees and landscaping planted within city right-of-way, the city shall assume the long term care and maintenance of the trees and landscape elements.

(G) *Species Diversity Requirements.* The following species diversity requirements shall be required for all developments, unless otherwise approved by the City Planner in conjunction with approval of vegetated stormwater management areas.

- (1) A minimum of 50 percent of the landscape elements utilized on a parcel that is less than one-half acre shall be drought tolerant native species.
- (2) A minimum of 60 percent of the landscape elements utilized on a parcel that is between one-half and five acres shall be drought tolerant native species. Total landscape elements, excluding sod turf, shall not be comprised of more than 30 percent of any single species or 50 percent of any genus.
- (3) A minimum of 75 percent of the landscape elements utilized on a parcel that is greater than five acres shall be drought tolerant native species. Total landscape elements, excluding sod turf, shall not be comprised of more than 20 percent of any single species or 25 percent of any genus.

(H) *Tree Preservation.* Preservation of existing high-quality trees within a new development or redevelopment site is highly encouraged. Preserved trees may fulfill a portion of the landscape requirements established in this section. Should the developer propose to maintain existing high-quality trees to count toward satisfying certain landscape requirements of this UDO, the City Planner may, upon receipt of a tree preservation plan, waive certain landscape requirements if mature, high quality trees on a lot are proposed to be preserved. If, upon inspection at the conclusion of the project, trees identified for preservation have been removed, damaged, or are otherwise in declining condition, all waived required landscape shall be installed.

(I) *Installation and Maintenance of Landscape ~~Zones~~Material.*

- (1) Immediately upon planting, all landscape shall conform to the American Standard for Nurserymen, published by the American Association of Nurserymen, Inc., as revised from time to time.

-
- (2) Dead plant materials shall be replaced within 60 days upon notification from the City, taking into consideration the season of the year, and shall have at least the same quantity and quality of landscape elements as initially approved. If the particular project is constructed in more than one phase, the 60-day timeframe shall apply to each individual phase.
 - (3) All landscape areas shall be maintained in a healthy, clean, and weed-free condition. Trees shall be securely staked and have mulch placed around the trunk in a minimum four (4) foot diameter circle. Volcano mulching is not allowed, as it will rot the trunk and kill the tree. All shrub areas shall be mulched with either organic mulch, decorative rock, or a similar pervious material, installed over filter fabric. The ground surface of landscape areas shall be covered with either ~~turf~~ sod and/or other types of pervious groundcover or mulch.
 - (4) All landscape zones shall be irrigated as follows:
 - (a) For stormwater management areas where irrigation is not specified, all installed plantings shall be guaranteed to the City for a period of 18 months following municipal approval of installation. During this guarantee period, the landowner shall supply water as necessary to promote successful establishment and growth.
 - (b) Any required landscaped zone not intended for stormwater management, greater than 150 square feet in area, shall be provided with an underground irrigation system or be provided with a portable water supply within 50 feet of said landscaped areas. No part of an irrigation system may be installed in City right-of-way, unless approved by the City Engineer.

(L) Administrative Relief. The City Planner or other designee shall be allowed to modify the requirements of this Section on a case-by-case basis in situations where strict compliance with the code is not feasible due to utilities or other site features or if the designer provides a creative alternative that still achieves the intent of the code.

(Ord. No. 1581 , § II, 4-5-2022; Ord. No. 1624 , § IV, 10-17-2023)

ARTICLE 3. BASE DISTRICT SPECIFIC STANDARDS

Sec. 16-3-1. Bulk and Dimensional Standards.

(A) Table 16-3-1(A) addresses the requirements applicable to development or use of a lot in a residential zoning district.

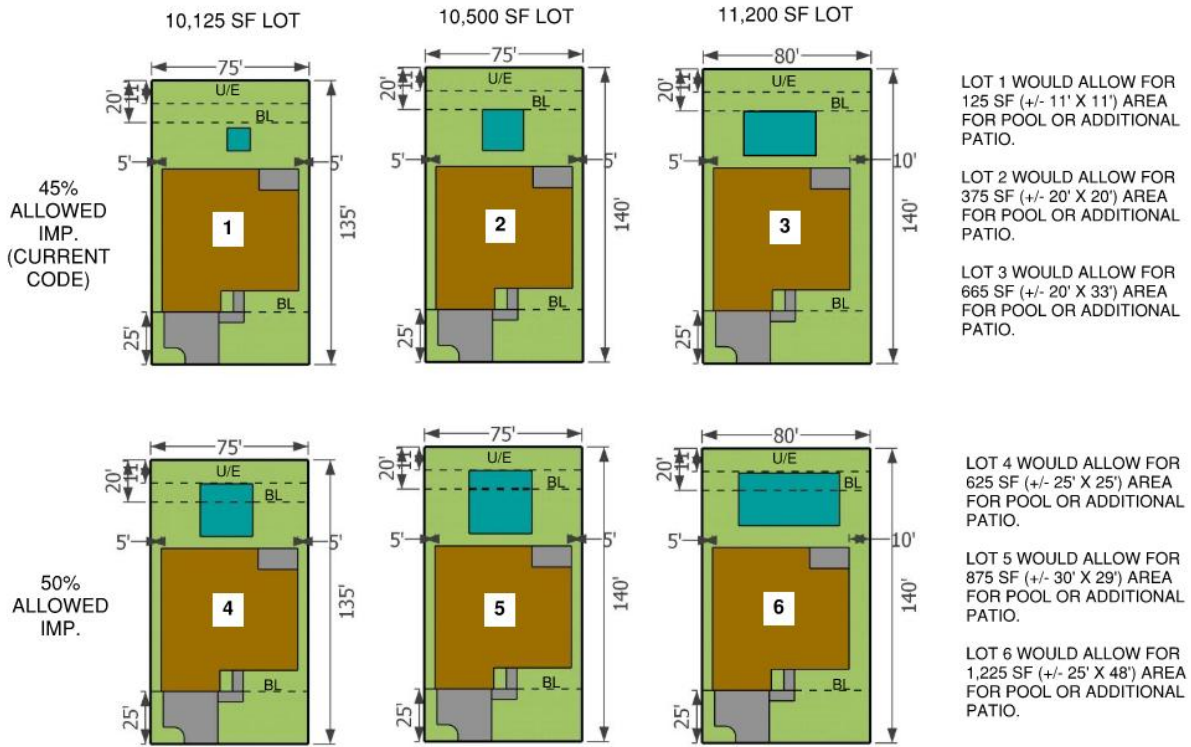
Table 16-3-1(A): Residential District Bulk and Dimensional Standards									
Standard	RE	RS1	RS2	RS3	RD	RTH	RM1	RM2	RM3
Lot Standards (Minimum)									
Lot Area (sqft)	24,000	10,000	8,000	5,000	6,900	6,900	6,000	6,000	20,000
Lot Area/DU (sqft)	24,000	10,000	8,000	5,000	3,450	2,300	2,000	1,500	1,000
Lot Width (ft)	150	70	55	45	60	60	60	50	100
Yard Setbacks (Minimum)									
Front (ft)	25	25	20 (3)	20 (3)	20	15	10	10	10
Exterior Side (ft)	20	20	15 (3)	15 (3)	20	15	10	10	10
Interior Side (ft)	15	15 (1)	5	5	10 (2)	10 (2)	10 (2)	10 (2)	10 (2)
Rear (ft)	25	25	20	20	20	20	10	10	10
Building Standards (Maximum)									
Height (ft)	35	35	35	35	35	35	40	45	45
Impervious Surface Coverage (4)	25%	45%	45%	60%	60%	60%	70%	70%	70%
Notes									
(1) The cumulative interior side yard setback shall be 15 feet. No interior side yard setback shall be less than 5 feet.									
(2) If a parti-wall exists, the interior side yard setback shall be 0 feet.									
(3) Garages shall be setback a minimum of 25 feet from the front property line.									
(4) <u>Impervious Coverage Bonus: Maximum allowable impervious coverage may be increased by an additional 10%, subject to review and approval by the City Engineer. This bonus requires the submission of an engineering report bearing the seal of a licensed professional engineer, demonstrating that the project will result in no off-site impacts and zero net increase in runoff compared to existing conditions.</u>									

Discussion Items

- Language regarding directing the excess stormwater to the street? What document would this live in? Engineering Design Manual? UDO?
- What percent increase is acceptable? Do we need to investigate a change in the percentage allowed?

- CODE OF ORDINANCES
Chapter 16 - UNIFIED DEVELOPMENT ORDINANCE
ARTICLE 3. BASE DISTRICT SPECIFIC STANDARDS

IMPERVIOUS AREA SCENARIOS ASSUMING A TYPICAL JENKS LOT (eg.YORKTOWN)



IMPERVIOUS SURFACE SCENARIO

Lot Size	House Footprint (SF)	Drive (SF)	Walk (SF)	Porch (SF)	Used Impervious Area (SF)	45% impervious Area Allowed (current code)	50% Impervious Area Allowed	Available Impervious to Use @ 45%	Available Impervious to Use @ 50%
10,125	3,500	575	110	190	4,375	4,500	5,000	125	625
10,500	3,500	575	110	190	4,375	4,725	5,250	375	875
11,200	3,500	575	110	190	4,375	5,040	5,600	665	1,225

Sec. 16-8-3. General Design Standards.

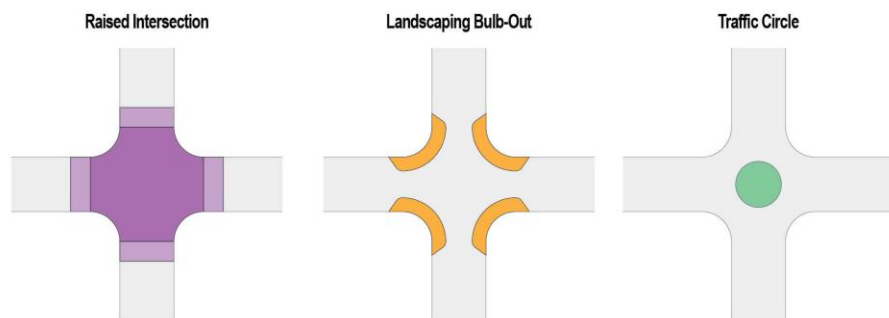
- (A) *Design Criteria Manual.* The City Engineer is authorized to develop, adopt, and amend from time to time, Engineering and Design Standards for the design, installation, and construction of public ~~infrastructure~~utilities. All subdivisions and the installation of all public utilities within any development shall comply with the requirements established in the Engineering Design Criteria, as amended from time to time.

(Ord. No. 1581 , § II, 4-5-2022)

Sec. 16-8-8. Street Design Standards.

- (A) *Traffic Calming Devices.* The use of traffic calming devices such as raised intersections, landscaping bulb-outs, ~~and~~ traffic circles, or other similar methods may be required ~~are encouraged~~ as alternatives to conventional traffic control measures. The City Engineer is authorized to require traffic calming devices depending on the context of the area or if they provide an enhanced public safety benefit over conventional traffic control measures.

Figure 8.5: Traffic Calming Devices



- (B) *Street Markers and Traffic Control Signs.* All street markers and traffic control signs posted in accordance with the Manual of Uniform Traffic Control Devices shall be installed by the subdivider prior to the issuance of any certificates of occupancy for any building on that street.
- (C) *Sidewalk.*
- (1) A sidewalk with a minimum width of five (5) feet shall be required on both sides of all streets. Location of the sidewalk may vary depending on the road type, right-of-way, topography or other site constraints.
 - (2) If the parkway is utilized as a rain garden, the sidewalk shall be a minimum of three inches higher than the height of the curb.
- (D) *Street Verge.* ~~In most cases, the~~A street verge ~~with a minimum width of five feet~~ shall be located between the back of curb and the sidewalk along both sides of all streets. Street verges shall be planted with ~~turf~~ grass~~sod~~ or utilized as a rain garden. Street verge widths and their location will vary depending on the road type, right-of-way, topography or other site constraints.

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(Supp. No. 6)

(E) ~~Landscape Strip.~~ A landscape strip with a minimum width of five feet shall be located between the sidewalk and the property line along both sides of all streets. Landscape strips shall be planted with either street trees or utilized as a rain garden as detailed below.

~~(1) Street Trees.~~

~~(a) A minimum of one canopy tree shall be planted every 40 feet.~~

~~(b) Where overhead utility line conflicts are present, a minimum of one understory tree shall be planted every 20 feet.~~

~~(c) The spacing of street trees shall take into consideration local conditions and clear vision triangles.~~

~~(2) Rain Garden.~~ Requirements for street trees may be waived if the landscape strip is designed as a rain garden as approved by the City Engineer.

(F) **Utility Location.** Utilities shall be located in the street verge along both sides of all streets or within adjacent easements. In certain situations, some utilities may be placed in other areas of the street right-of-way subject to approval by the City Engineer.

(G) **On-Street Parking.**

(1) On-street parking shall be parallel.

(2) On-street parking spaces shall have the following minimum dimensions:

(a) Width: Eight feet.

(b) Length: Twenty-three feet.

(3) On-street parking spaces shall be delineated with striping with a minimum width of four inches.

(4) The surfacing material of on-street parking spaces shall be textured to visually delineate parking spaces from drive aisles.

(H) **Medians.**

(1) Medians shall be improved with a mountable curb with a minimum height of nine inches and a gutter with a minimum width of nine inches.

(2) Medians shall taper to a minimum of four feet at intersections.

(3) The minimum width of medians shall be as established per street type in Table 16-8-8(H).

Table 16-8-8(H): Minimum Median Width	
Type of Street	Minimum Median Width
Freeway or Expressway	As required by the ODOT
Primary Arterial	16 feet <u>As per the Engineering Design Criteria Manual</u>
Secondary Arterial	16 feet <u>As per the Engineering Design Criteria Manual</u>
Commercial (CBD) Collector	10 feet
Minor Industrial Street	10 feet
Residential Collector	8 feet
Minor Residential Street	n/a

(I) *Median Landscaping.*

- (1) Medians that are equal to or less than ten feet wide shall be planted with a minimum of 15 shrubs or native grasses every 50 linear feet.
- (2) Medians that are greater than ten feet wide shall be planted with a minimum of one canopy tree and 15 shrubs or native grasses every 50 linear feet.

(J) *Bicycle Facilities.*

- (1) Bicycle lanes, if required, with-shall have a minimum width of four feet.
- (2) Shared bicycle and vehicle lanes and bike lanes shall be delineated in accordance with NACTO standards.

(K) *Required Street Design Elements.* Required street design elements shall be as established per street type in Table 16-8-8 (K). A "•" indicates a required element. If options are provided for a street type, the City Engineer shall determine which option is required.

Table 16-8-8(K): Required Street Design Elements							
Type of Street	Required Street Design Element						
	Sidewalk	Street Verge	Landscape Strip	On-Street Parking	Median	Bicycle Lane	Shared Bicycle & Vehicle Lane
Freeway or Expressway	As required by the ODOT						
Primary Arterial	<u>As per the Engineering Design Criteria Manual</u>						
Secondary Arterial	<u>As per the Engineering Design Criteria Manual</u>						
Commercial (CBD) Collector Option 1	•	•	•	•			•-TBD
Commercial (CBD) Collector Option 2	•	•	•		•	•-TBD	
Minor Industrial Street Option 1	•	•	•	•			•-TBD
Minor Industrial Street Option 2	•	•	•		•	•-TBD	
Residential Collector Option 1	•	•	•	•			•-TBD
Residential Collector Option 2	•	•	•		•	•-TBD	

Minor Residential Street	•	•	•				
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* The requirement for bicycle lanes and/or shared-use lanes will be determined case-by-case. Decisions will be based on local context, surrounding land use, vehicle design speeds, nearby pedestrian trails, and other relevant factors.

Figure 8.6: Primary Arterial Design Standards

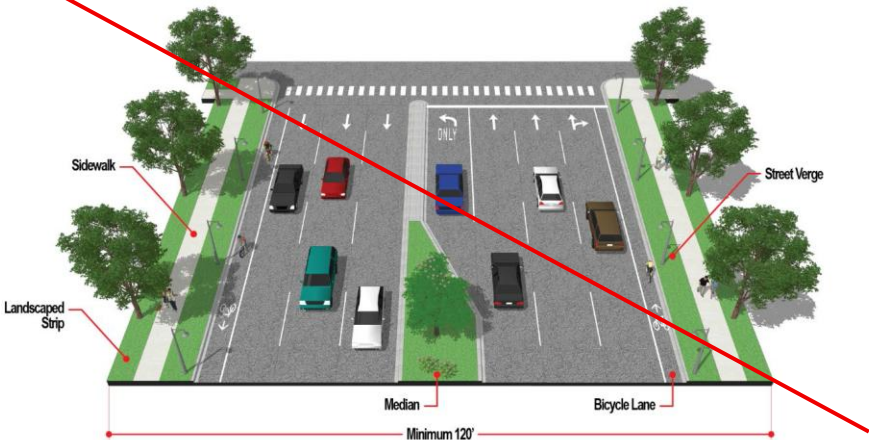


Figure 8.7: Secondary Arterial Design Standards

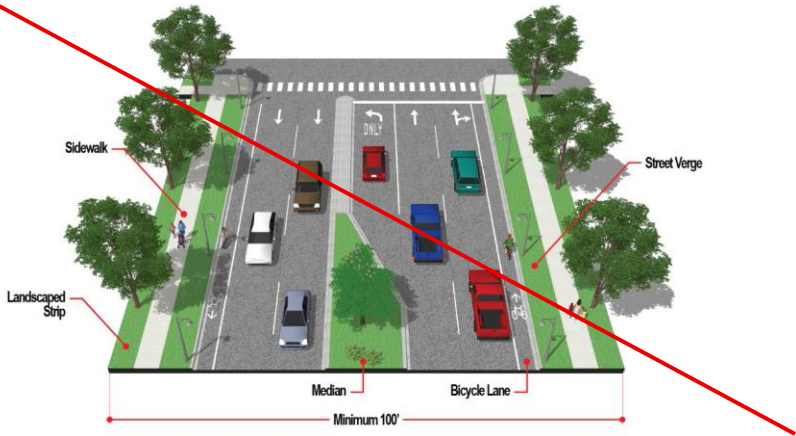


Figure 8.8: Commercial (CBD) Collector Option 1 Design Standards

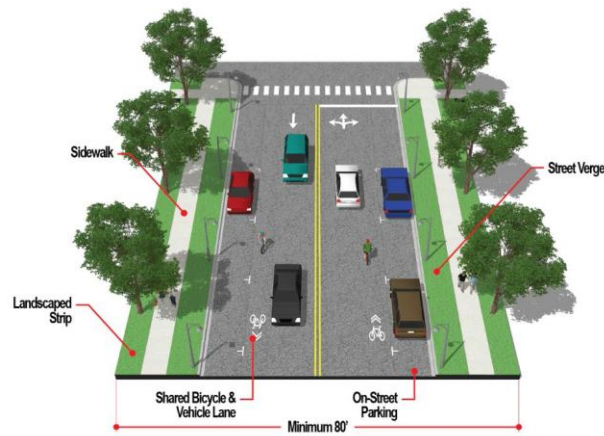


Figure 8.9: Commercial (CBD) Collector Option 2 Design Standards

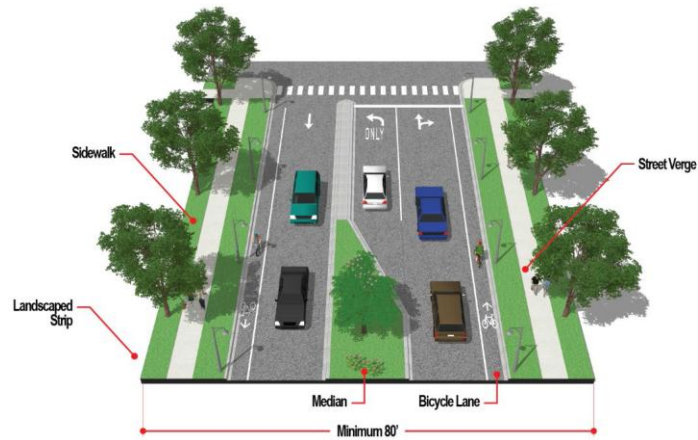


Figure 8.10: Minor Industrial Street Option 1 Design Standards

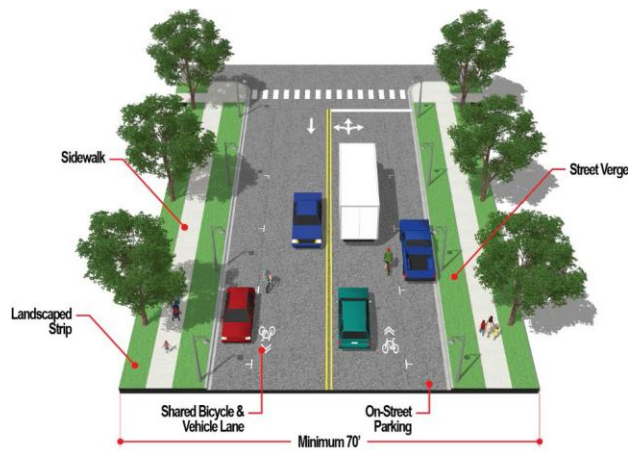


Figure 8.11: Minor Industrial Street Option 2 Design Standards

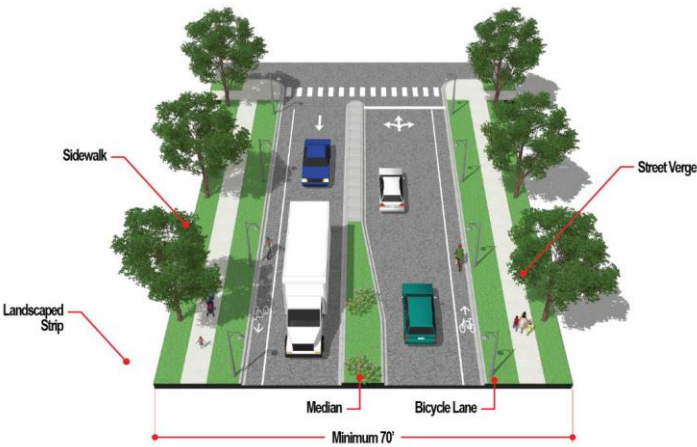


Figure 8.12: Residential Collector Option 1 Design Standards

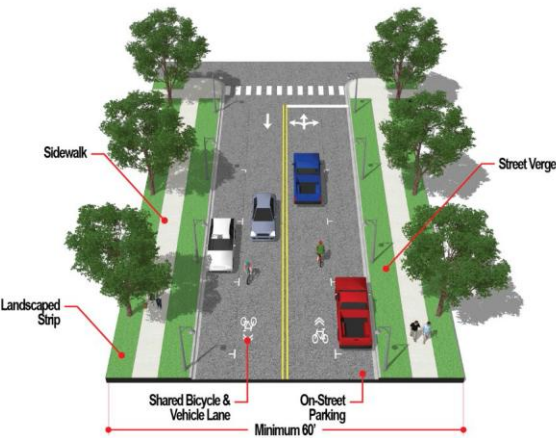


Figure 8.13: Residential Collector Option 2 Design Standards

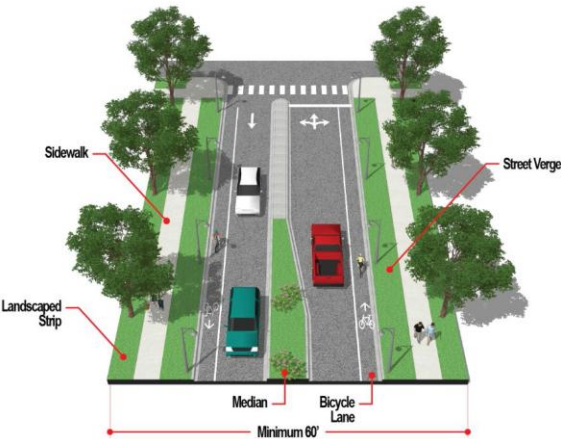
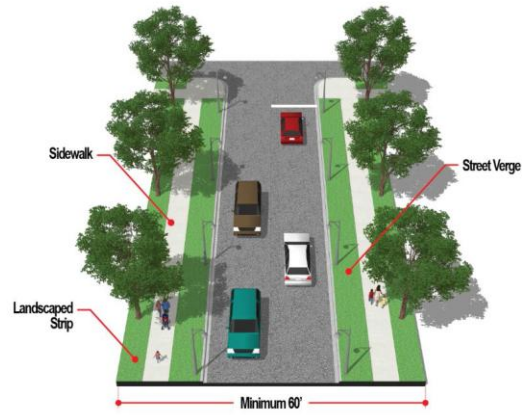


Figure 8.14: Minor Residential Street Design Standards



JENKS | PLANNING UPDATE



6/24/2026

TO Christopher Shrout, City Manager
Robert Carr, Assistant City Manager
City Council, Planning Commission, Board of Adjustment

SUBJECT Update from Planning Department

FROM Marcaé Hilton, City Planner

PLANNING QUOTE: *"It is difficult to design a place that will not attract people. What is remarkable is how often this has been accomplished." — William H. Whyte thisbigcity.net.*

Planning Summary

Preparer | Marcaé Hilton

VOTE KEY	VOTE	DATE OF HEARING
APPROVED	A	
CONTINUED	C	
DENIED	D	
WITHDRAWN	W	

JULY PLANNING AGENDA ITEMS

GOVERNING BODY/CASE	VOTE	DATE OF HEARING
CITY COUNCIL		JULY 7, 2026 NO ITEMS AT THIS TIME
PLANNING COMMISSION	-	JULY 9, 2026
PLAT 26-24	-	PRELIMINARY/FINAL PLAT BRAKES PLUS OLSSON
PLAT 26-25	-	PRELIMINARY/FINAL PLAT CHASE BANK SW DESIGN
ROW-UEC 26-03	-	ROW CLOSURE JPS 401 E "B"
TAC	-	JULY 14, 2026 NO ITEMS AT THIS TIME
BOA	-	JULY 16, 2026 NO ITEMS
CITY COUNCIL	-	JULY 21, 2026
PLAT 26-24	-	PRELIMINARY/FINAL PLAT BRAKES PLUS OLSSON
PLAT 26-25	-	PRELIMINARY/FINAL PLAT CHASE BANK SW DESIGN
ROW-UEC 26-03	-	ROW CLOSURE JPS 401 E "B"

JUNE PLANNING AGENDA ITEMS

GOVERNING BODY/CASE	VOTE	DATE OF HEARING
CITY COUNCIL	-	JUNE 2, 2026
JZ 26 PUD 156	A	PUD OVERLAY/RM2 & CS JENKS WEST 121 MIXED USE 33RD / 121ST
ROW-UEC 26-02 RACKLEY	A	ROW DEDICATION 91 ST AND UNION RACKLEY (PART OF LS)
PROCLAMATION	A	CITIZEN PLANNER
PLANNING COMMISSION	-	JUNE 4, 2026
PLAT 26-22	A	PRELIMINARY PLAT THE SUMMIT AT PINE RIDGE ENYART TANNER
PLAT 26-23	A	PRELIMINARY PLAT LAHOMA FAMILY NORTH COOKSEY KIMLEY-HORN
JL-26-419	A	MINOR SUBDIVISION TIMBERCREST VIEW LOT 1, 2, 3, BLOCK 2
PUD 153 MI1	A	MINOR AMD BENTLEY RANCH SELECT DESIGN
TAC	-	(MAY 14, 2026)
PLAT 26-22	A	PRELIMINARY PLAT THE SUMMIT AT PINE RIDGE ENYART TANNER
PLAT 26-23	A	PRELIMINARY PLAT LAHOMA FAMILY NORTH COOKSEY KIMLEY-HORN

Marcaé Hilton | Director of Planning | City of Jenks | 918-556-7441 | mhilton@jenksok.org | Page 1 of 2

JL-26-419	A	MINOR SUBDIVISION TIMBERCREST VIEW LOT 1, 2, 3, BLOCK 2
BOA	-	JUNE 11, 2026 NO ITEMS
CITY COUNCIL	-	JUNE 09, 2026
PLAT 26-22	A	PRELIMINARY PLAT THE SUMMIT AT PINE RIDGE ENYART TANNER
PLAT 26-23	A	PRELIMINARY PLAT LAHOMA FAMILY NORTH COOKSEY KIMLEY-HORN
DOWNTOWN MASTERPLAN	A	ACCEPTANCE OF DOWNTOWN MASTERPLAN
TAC		JUNE 17, 2026
PLAT 26-24	-	PRELIMINARY/FINAL PLAT BRAKES PLUS OLSSON
PLAT 26-25	-	PRELIMINARY/FINAL PLAT CHASE BANK SW DESIGN
ROW-UEC 26-03	-	ROW CLOSURE JPS 401 E "B"
JL 26-414	-	LOT COMBO TIMBERCREST VIEW 470 E 113TH ST. S WEST

AUGUST PLANNING AGENDA ITEMS | ITEMS KNOWN TO DATE

GOVERNING BODY/CASE	VOTE	DATE OF HEARING
CITY COUNCIL		AUGUST 4, 2026 NO ITEMS AT THIS TIME
PLANNING COMMISSION	-	AUGUST 6 2026
JL 26-420	-	LOT SPLIT/COMBO SPAIN RANCH 11623 S 5TH ST (ROBERT BELL)
JL 26-421	-	LOT SPLIT/COMBO SPAIN RANCH 11607 S 5TH ST (ROBERT BELL)
JL 26-414	-	LOT COMBO TIMBERCREST VIEW 470 E 113TH ST. S WEST
JZ 26-703	-	REZONING (RS1 – RD) 822 N BIRCH TIM WALTERBACH
JZ 26-702	-	REZONING (AG - RS1) SPAIN RANCH 11623 S 5TH ST (ROBERT BELL)
JZ 26-704	-	REZONING (AG - RS1) SPAIN RANCH 11607 S 5TH ST (ROBERT BELL)
TAC	-	AUGUST 11, 2026
BOA	-	AUGUST 13, 2026 NO ITEMS AT THIS TIME
CITY COUNCIL	-	AUGUST 18, 2026
JZ 26-703	-	REZONING (RS1 – RD) 822 N BIRCH TIM WALTERBACH
JZ 26-702	-	REZONING (AG - RS1) SPAIN RANCH 11623 S 5TH ST (ROBERT BELL)
JZ 26-704	-	REZONING (AG - RS1) SPAIN RANCH 11607 S 5TH ST (ROBERT BELL)