

AGENDA
JENKS PLANNING COMMISSION
6:00 P.M. THURSDAY, DECEMBER 5, 2019
COUNCIL CHAMBERS, JENKS CITY HALL
211 NORTH ELM STREET, JENKS, OKLAHOMA 74037

I. CALL TO ORDER

II. ROLL CALL

III. REQUEST TO APPROVE MINUTES OF NOVEMBER 21, 2019

Documents:

[2019.11.21 PC MINUTES.PDF](#)

IV. BUSINESS

1. ARC 19-480: Request by Lori Worthington for approval of 2 monument tenant signs.
General Location: 122 N Ash

Documents:

[PC STAFF REPORT W BACKUP ARC 19-480.PDF](#)

2. JZ 19-647: Request by Valerie Mann for a zone change from RS-3 (Residential Single-Family High Density) to CG (Commercial General)

Documents:

[PC STAFF REPORT W BACKUP JZ 19-647.PDF](#)

3. JL 19-344: Request by Cory Woodham for a lot combination. General Location: 10511 S Gum St

Documents:

[PC STAFF REPORT W BACKUP JL 19-344.PDF](#)

V. OTHER BUSINESS

1. Horizon Jenks - Comprehensive Plan Project Update

VI. ADJOURNMENT

**MINUTES
JENKS PLANNING COMMISSION
6:00 P.M. THURSDAY, NOVEMBER 21, 2019
COUNCIL CHAMBERS, JENKS CITY HALL, 211 NORTH ELM STREET
JENKS, OKLAHOMA**

The Jenks Planning Commission was called to order at 6:00 p.m. on November 21, 2019, at Jenks City Hall by Chair Carol Minden. A roll call vote of members was taken as follows:

Present

Leon Davis
Craig Bowman
David Randolph
Travis Fulkerson
John Brown
Scott West
Chair Carol Minden

Absent

Request to approve minutes of November 7, 2019. John Brown made a motion to approve the minutes. David Randolph seconded the motion. A roll call vote of members was taken as follows:

YEA: Davis, Bowman, Randolph, Fulkerson, Brown, West, Minden

NAY: None

Motion carried.

Business

1. ARC 19-479: Request by Jason Davis for approval of architecture, materials, color, and sign. General Location: 324 E Aquarium Pl.

Jim Beach presented the information regarding this request. Charlotte Montgomery [10612 S Fir Ave] addressed the Commission about the required curb length to allow for parallel parking and was told there was nothing prohibiting parallel parking, but the street is very narrow. She then asked about handicap access due to the steps shown in the supporting documents and was told that the handicap access is in the rear of the building it will have a ramp. Applicant Jason Davis [2618 E 137th St S] was asked if lighting will be installed and he assured the Commissioners that there will be down-lighting on the building that will be on timers to automatically shut off so it doesn't impact the surrounding neighbors. Craig Bowman made a motion to approve Item 1. Travis Fulkerson seconded the motion. A roll call vote of members was taken as follows:

YEA: Davis, Bowman, Randolph, Fulkerson, Brown, West, Minden

NAY: None

Motion carried.

2. Plat: Request by Ryan McCarty for approval of the Final Plat for Yorktown 50-52.

Jim Beach presented his staff report and recommended approval. David Randolph made a motion to approve Item 2 with additional conditions to include in SECTION III Private Building and Use Restrictions the following:

B.2 – ROOFING – All roofing flashing, pipe cover, chimneys, etc. must be painted the same color as the roofing material.

F – VEHICLE STORAGE AND PARKING – No recreational vehicle or trailer is permitted to be used as a permanent residence.

H – LANDSCAPING REQUIREMENTS – Each property must have a separate irrigation system for landscaping purposes.

K – GARAGE – It should read “Each dwelling shall have an attached garage for at least two automobiles.

O – SWIMMING POOLS – Above ground pools are prohibited.

P – Clothesline and other outdoor drying devices are prohibited.

Scott West seconded the motion. A roll call vote of members was taken as follows:

YEA: Bowman, Randolph, West

NAY: Davis, Fulkerson, Brown, Minden

Motion failed. John Brown made a motion to approve Item 2 and to discuss the additional conditions with the developer to see if they are open to the changes. Craig Bowman seconded the motion. A roll call vote of members was taken as follows:

YEA: Davis, Bowman, Brown, West

NAY: Randolph, Fulkerson, Minden

Motion carried.

3. Plat: Request by Tulsa Engineering & Planning Associates, Inc., on behalf of Tulsa Premium Outlets, L.L.C., for approval of the Preliminary/Conditional Final Plat for Tulsa Premium Outlets.

Jim Beach presented his staff report and recommended approval. Craig Bowman made a motion to approve Item 3. Leon Davis seconded the motion. A roll call vote of members was taken as follows:

YEA: Davis, Bowman, Randolph, Fulkerson, Brown, West, Minden

NAY: None

Motion carried.

Other Business.

- Horizon Jenks – Comprehensive Plan project update Jim Beach presented the Planning Commission with an update about the Horizon Jenks - Comprehensive Plan.

Adjournment. Travis Fulkerson made a motion to adjourn. David Randolph seconded the motion. A roll call vote of members was taken as follows:

YEA: Davis, Bowman, Randolph, Fulkerson, Brown, West, Minden

NAY: None

Motion carried. The Jenks Planning Commission adjourned at 6:56 p.m.



Staff Report

To: Planning Commissioners
From: Jim Beach, City Planner
Hearing Date: December 5, 2019
Subject: ARC 19-480
Exhibits:
1. Site plans and sign renderings

Applicant:	Lori Worthington, Amax Signs
Action Requested:	Approval of two monument signs
Location:	122 North Ash Street (Ward 1)
Applicable Regulations:	Jenks Zoning Code, Chapter 16, Appearance Review Districts, Section 1660.3 Corridor District Guidelines
Current Zoning:	CH
Lot Size:	½ acre
Surrounding Zoning and Land Uses:	Surrounded by CH zoning with commercial uses and an abutting railroad

CRITERIA and CONSIDERATIONS FOR ACTION

1660.3. Corridor District Guidelines

A. Appearance/Design.

1. Building Design and Site Plan details should be so designed to provide building exterior walls and structural facades of a complementary style in order to minimize the impact of proposed new buildings and uses on adjacent and nearby properties. Exterior walls of buildings visible from the fronting street(s) must provide a complementary appearance utilizing design features, landscaping, color schemes, and other architectural treatments to eliminate monotone or monolithic exterior walls or structural facades in order to be compatible and complementary to adjacent and nearby properties within the Corridor Appearance District.

2. In addition to complementary exterior wall design and building materials, the use of building setbacks, screening fences, landscaping, signage, lighting, and other site-specific amenities should be used to increase compatibility of the building and any outdoor storage areas and outbuildings with adjacent and nearby properties. It is recognized that each individual building site has its own existing specific environmental character. The design of new structures or alteration of existing structures should be responsible to the character of its environment and the adjacent neighborhood.

3. Insofar as possible, the design of buildings and site improvements for a particular piece of land should take into consideration the physical location, size, topography, existing zoning, including adjacent and abutting properties, and the intensity of land use as specified in the Jenks Comprehensive Plan.

4. Use of Planned Unit Developments (PUDs) are encouraged for development and redevelopment of properties within the Corridor District in order to minimize the impact of proposed uses and to increase compatibility of uses with adjacent and nearby low intensity land use while providing a greater degree of design flexibility. Cooperative development by abutting property owners utilizing Zero Lot-Line construction may be considered.

5. All roof-mounted heating and air conditioning equipment (HVAC) shall be screened.

B. Building Materials.

1. The design of new structures and of additions to existing structures, including new site improvements, should take into account the architectural style, general design, arrangement, texture, material and color of other structures and premises in the adjacent neighborhood. Contemporary designs for new structures, additions to existing structures or remodels may be allowed so long as such construction is compatible with the essential form and integrity of other structures in the adjacent neighborhood.

2. All new structures and all reconstruction or remodeling of existing structures within the Corridor District should utilize exterior materials such as masonry, face brick, stone, wood, or metal which give the appearance of material such as those in use at turn of the century. Use of contemporary materials, such as aluminum or other metals, fiberglass, and plastics for exterior surfaces must contribute to the preservation or enhancement of traditional materials and preserve the overall theme, integrity and appearance of the Corridor District.

3. Traditional color schemes and combinations of those colors that are complementary to the adjacent neighborhood should be used for all exterior wall coverings. Fluorescent or luminescent colors should be prohibited, unless measures are in place to "soften" the effect on adjoining properties.

C. Parking/Landscaping.

1. Parking.

a. Off-street parking areas/off-street loading areas should conform to the design, lighting, and improvements as required by the Jenks Zoning Code.

b. Lighting used to illuminate off-street parking areas shall be by constant light and shall be so arranged as to direct the light away from abutting properties within a Residential Zoning District.

c. Unenclosed off-street parking areas shall be surfaced with a dust-free all-weather material.

d. Parking and internal traffic circulation should be established within each separate development in a way that will result in a substantial reduction in the number of existing and new public street and private drive access points to major arterial street frontages.

2. Landscaping.

a. Street frontages within the Corridor District should provide a sense of open-space and should be buffered from the streets by landscaped drives, lawns, or parking. Preservation of existing large trees and other natural physical or scenic features should be given high priority during the initial development planning phases.

b. Trees and shrubbery utilized for landscaping purposes should conform to the species recommended and approved.

c. Locations along or near to the proposed routes of the Jenks Trail System should be encouraged to provide for pedestrian, bicycle access to the System.

d. Commercial, Industrial, and other non-residential uses within the Corridor District should provide minimum landscaped open space as follows:

1.	Office Uses	15 percent of lot area
2.	Commercial Uses	10 percent of lot area
3.	Industrial Uses	5 percent of lot area

3. Fencing.

a. Development and redevelopment within the Corridor District should include adequate screening and buffering to avoid negative impacts on adjacent residential areas.

b. Screening should be wooden fencing, faux wooden fences, masonry, or brick walls providing visual barriers, or combinations thereof. Screening fences shall be solid and no chain-link fences should be allowed except for interior security fences. If chain-link is used, the chain-link fence must be either vinyl-clad or screened.

c. When the provisions of the Zoning Code or Corridor District guidelines require the construction of a screening wall or fence as a condition for the initiation and subsequent continuance of a use, the screening wall or fence shall comply with the following:

1. Should be constructed, designed, and arranged to provide visual separation of uses, irrespective of vegetation or landscaping;
2. Should not be less than six feet in height;
3. Should be erected within 30 days following the occupancy of the building or initiation of the use required to be screened;
4. Should be of the type of materials compatible with the surrounding area;
5. Screening walls or fences shall be maintained by the owner or occupant of the lot containing the use required to construct the screening.
6. Modifications of fencing requirements that may be considered include:
 - (A) Modify or remove the screening requirement where existing physical features or approved landscaping features provide visual separation of uses;
 - (B) Extensions of time to erect a screen where properties which are to be benefited by the screening are undeveloped; and
 - (C) Remove the screening requirement where the purpose of the screening requirement cannot be achieved.

D. Signage.

1. All signs, as defined in the Jenks City Code, should be designed to be compatible with and complementary to the adjacent neighborhood. All signs should be designed and erected in compliance with the Jenks City Code, Zoning Code and Sign Code without the necessity of variances. Variances of height, size, setback, and other Code requirements should not be supported within the Corridor District.

2. Ground signs or pole signs should not generally exceed 35 feet in height. A projecting sign shall not extend more than one foot above the mean roof level of the structure to which it is affixed.

3. Outdoor advertising signs and billboards should not be allowed in the Corridor District except along approved United States and State of Oklahoma highways and toll ways.

4. Signs that emit either a flashing light or project either spot light or concentrated beam or beacon of light in any manner are prohibited by the Jenks City Code.

5. Portable signs may be allowed in accordance with Jenks City Code provisions for one-time 30-day permit, or 14-day permit with 14-day interval between the use of portable signs, up to maximum number of five times or ten weeks per year.

E. Lighting.

1. All lighting, including exterior and parking lot lighting, should be so designed to complement the building structures constructed and those located in adjacent areas.

a. Lighting used to illuminate off-street parking areas shall be by constant light and shall be so arranged as to direct the light away from abutting properties within a Residential Zoning District.

b. Lighting incorporating period lighting fixtures similar to the Theme District and conforming to approved City street lighting studies are encouraged.

F. Storage and use of yards and outbuildings.

1. Outbuildings and accessory structures should be of the same architectural style, material and color scheme as the principal building or buildings on the lot.
2. Outside storage buildings and outside open areas, other than retail product display allowed by the Zoning Code, should be screened by visual barriers located on the rear and side portions of the site.
3. No outside storage areas should extend beyond the building setback lines into setback areas. Outside storage or warehousing shall not be permitted as a principal use in the Corridor District. No use shall be allowed which requires outside warehousing or storage of recyclable materials or products.
4. No waste materials or refuse shall be dumped upon or permitted to remain upon any part of property outside of the building proper. Occupants shall maintain solid waste disposal service with a City of Jenks licensed hauler at all times.
5. Trash or garbage collection areas shall be screened from streets and from abutting properties by an approved sight-proof barrier, and receptacles for such purpose when placed outside a building shall be closed type containers.
6. Collection and disposal of all solid waste shall comply with the City of Jenks solid waste ordinance. Applicants should show proof of solid waste service and detail location and type of solid waste disposal facilities on the subject property.

BACKGROUND

The Jenks on Main building, site, lighting, and landscape were approved through the appearance review process by the Planning Commission on September 14, 2016. Everything currently on the site was approved except signs.

STAFF EVALUATION

From the Corridor Appearance District Guidelines above:

D. Signage.

1. All signs, as defined in the Jenks City Code, should be designed to be compatible with and complementary to the adjacent neighborhood. All signs should be designed and erected in compliance with the Jenks City Code, Zoning Code and Sign Code without the necessity of variances. Variances of height, size, setback, and other Code requirements should not be supported within the Corridor District.

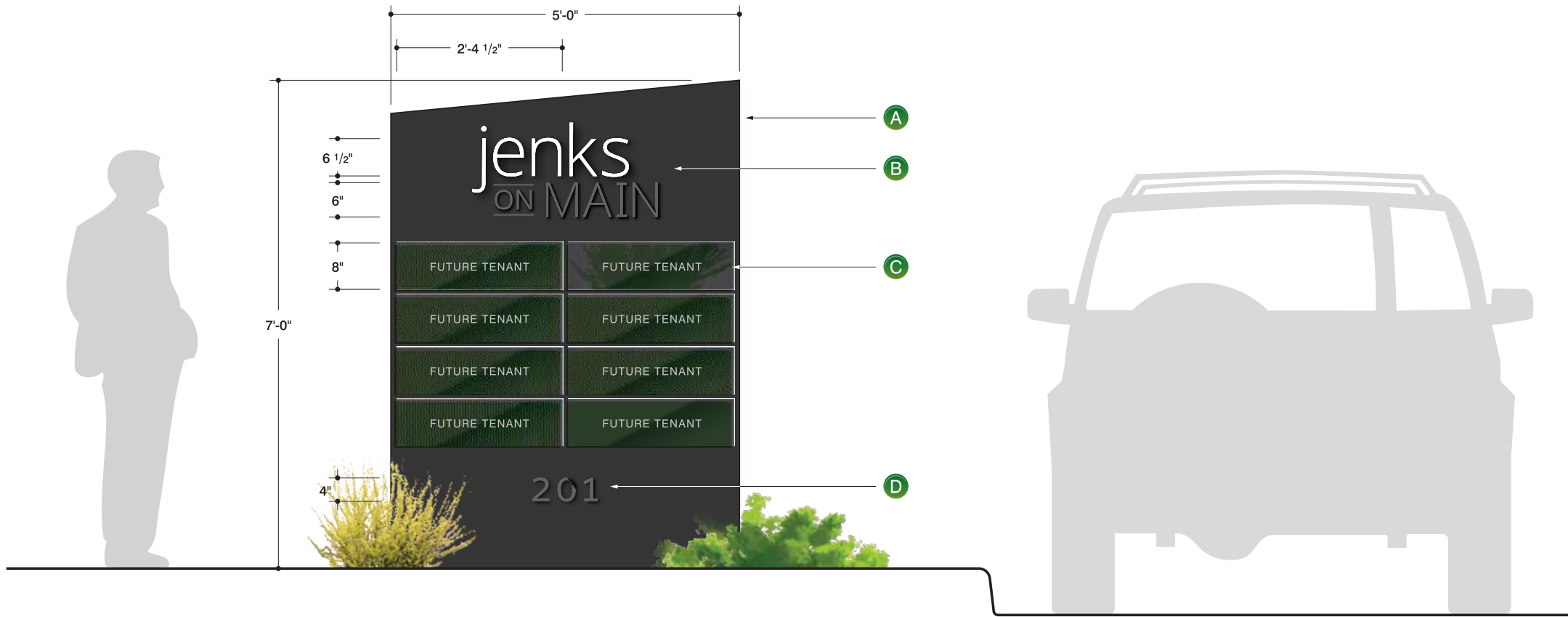
The sign design is compatible with the style of the building, which was approved as being in conformance with the Guidelines in 2016. Both proposed monument signs are in conformance with the Zoning Code dimensional.

The Appearance Review Committee had no concerns with the appearance of the signs.

On the A Street side, the original proposed sign location conflicted with an existing water main, so staff advised the applicant to relocate to the grass island area adjacent to the east side of the entry drive. There would be no changes to the sign appearance, only location.

RECOMMENDATION

Staff recommends approval.



West Elevation

SCALE: 1/2"

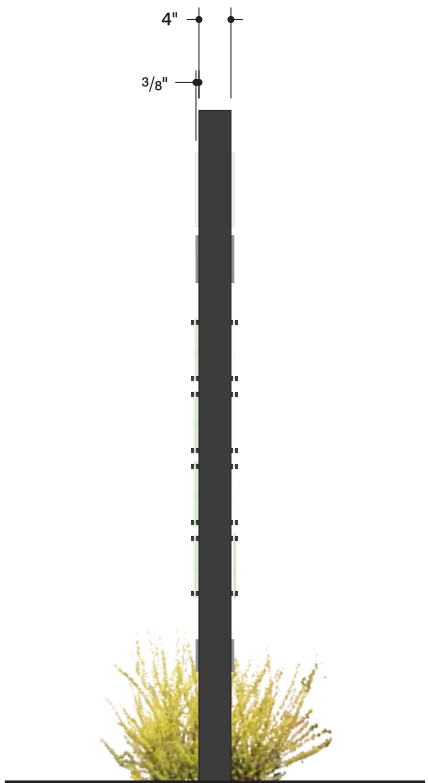
7' X 5'=35SQFT

2.1 DF Secondary Tenant Sign

SCALE: 3/8"

- A** 4" deep fabricated metal cabinet, no exposed fasteners in face and no projecting fasteners. Paint all exposed surfaces Black, satin finish.
- B** Dimensional acrylic logo mounted flush to sign face. "JENKS ON MAIN" - 3/8" thick, White and Gray, satin finish. Rule Line - masked and painted to sign face, color to match.

- C** 3/8" thick clear acrylic tenant panels on 1/4" standoffs, Black anodized caps and barrels. Matte White vinyl tenant graphics.
- D** 3/8" thick acrylic address numerals mounted flush to sign face. Paint Gray, satin finish.



Side View

SCALE: 1/2"

QUALITY | VALUE | ASSURANCE

SCALE: As Shown WHEN PRINTED 11 x 17

DATE: 08-23-19

FILE : Secondary Tenant Sign

SALES REP: Brian Ward

DRAWN BY: Jonathan Buck

PROJECT: Jenks On Main

LOCATION: Jenks, OK

ADDRESS: 201 E Main St

CLIENT APPROVAL SIGNATURE & DATE:

- LISTED** Signs will be built to meet UL specifications as required.
- nec** All signs and outline lighting must comply with Article 600 of the N.E.C. standards, including proper grounding and bonding.

REVISIONS:

- 1
- 2
- 3
- 4
- 5

These drawings are the property of A-Max Sign Company, and should not be copied, reproduced, or displayed in any fashion other than for the purchase of the product illustrated.
Distribution or exhibition of these drawing are strictly prohibited.
© A-Max Sign Company, 2019

FINAL APPROVAL FOR PRODUCTION:

Project Manager: _____

SHEET NUMBER
2

DWG
082319-03



Water Symbols

- = Fire Hydrant
- +H = Fire Hydrant Assembly
- ⊙+H = Existing Fire Hydrant
- ⊙+V = Water Valve
- ⊙+WM = Existing Water Valve
- ⊙+WM = Water Meter
- = Solid Sleeve
- ⊕ = Cross
- ⊕ = Tee
- = Proposed Waterline
- ⊔ = 90° Bend
- ⊔ = 45° Bend
- ⊔ = 22 1/2° Bend
- ⊔ = 11 1/4° Bend
- ⊔ = Air Relief Valve
- ⊔ = Reducer
- ⊔ = Plug (Pipe Line Plug)
- ⊔ = Blow-Off Hydrant W/Reducer
- ⊔ = Single Service Crossing
- ⊔ = Dual Service Crossing

A / 6" Water Line = Waterline Label & Pipe Size

Storm Sewer Symbols

- = Proposed Manhole
- = Curb Drop Inlet
- = Ex. Curb Drop Inlet
- = Precast End Section
- ST— = Proposed Storm Pipe
- ST— = Existing Storm Pipe

Benchmark

MAG Nail in the North sidewalk along West A Street and 35 feet West of the Railroad tracks.

Elevation = 618.27 NAVD 1988

Sanitary Sewer Symbols

- ⊕ = Existing Manhole Label
- ⊕ = Proposed Manhole Label
- SS— = Proposed Sanitary Sewer
- SS— = Existing Sanitary Sewer
- ⊕ = Manhole
- ⊕ = Existing Manhole
- ⊕ = In-Line Service Tee

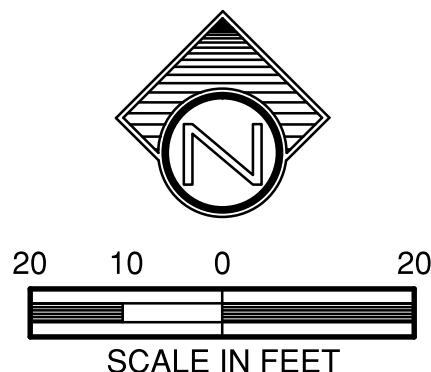
A / 8" Sanitary Sewer = Sanitary Line Label & Pipe Size

Line Table

- UT— = Underground Communications Line
- OE— = Overhead Electric Line
- G— = Existing Gas Line
- W— = Existing Water Line
- GS— = Proposed Gas Service Line
- 635— = Existing 5' Contour
- 633— = Existing 1' Contour
- 645— = Proposed 5' Contour
- 643— = Proposed 1' Contour



West Main Street

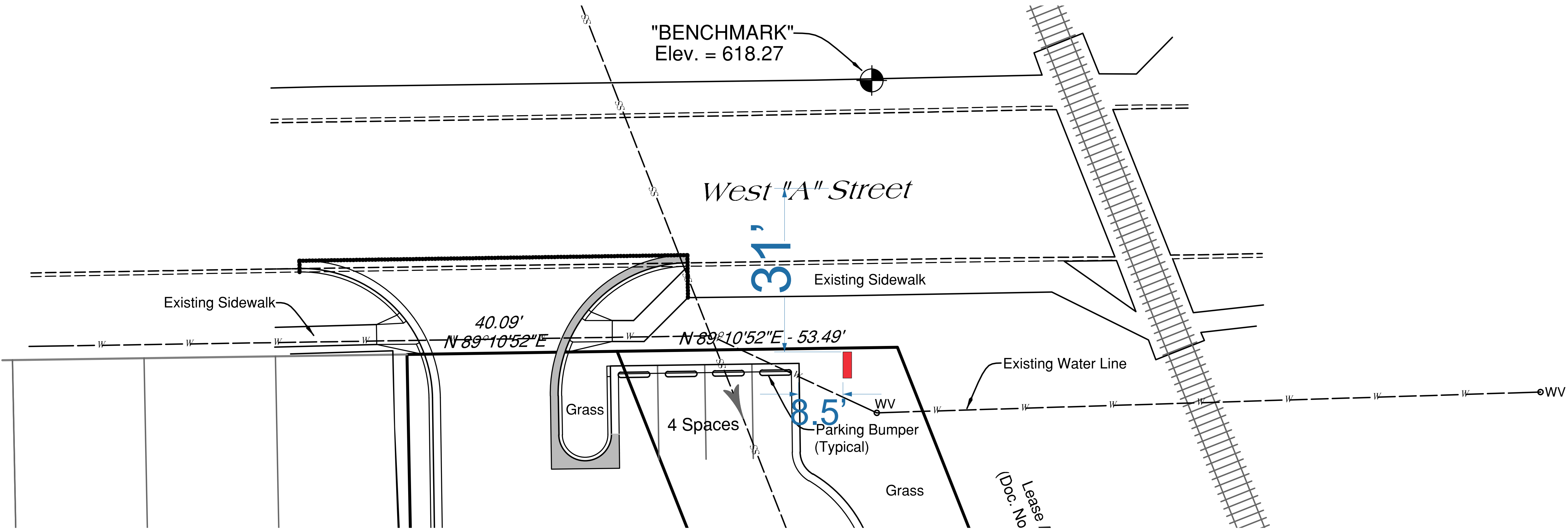


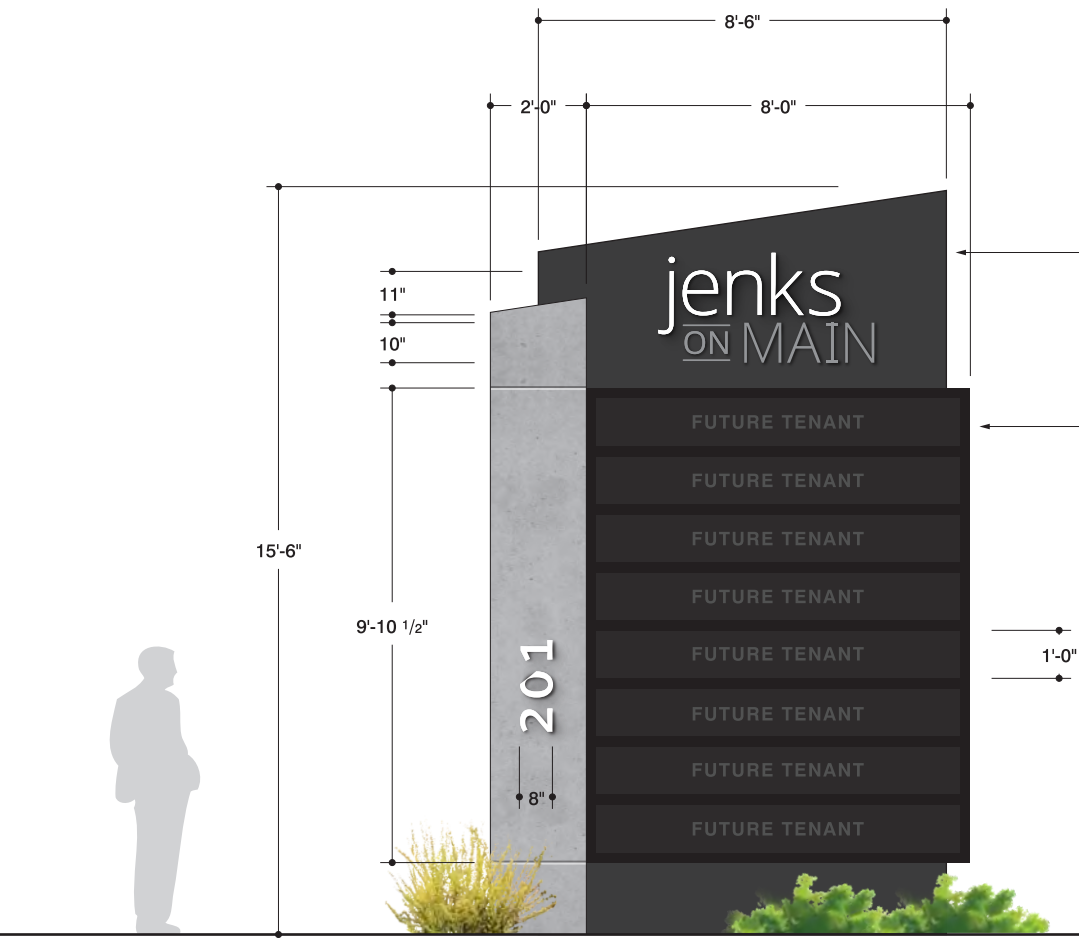
COVER SHEET	
CITY OF JENKS, OKLAHOMA	
PLANS & ESTIMATES PREPARED BY: tep Tulsa Engineering & Planning Associates 9820 E. 41st St., Suite 102, Tulsa, Oklahoma 74116 Phone: 918-252-9821 Fax: 918-250-4566 Certificate of Authorization No. 531 TE/LS Renewal Date June 30, 2017	
PLAN SCALE 1" = 20'	RECOMMENDED: DEVELOPMENT SERVICES
PROFILE SCALE HORIZONTAL: N/A VERTICAL: N/A	RECOMMENDED: ENGINEERING SERVICES
FILE: _____ DRAWING: _____	APPROVED: _____ PUBLIC WORKS DIRECTOR
ATLAS PAGE NO.: _____	DATE: _____ SHEET .02 OF .08 SHEETS

G:\16 Earth Channel\02 Cover Sheet\01 - 235 PM

JENKS ON MAIN
201 W MAIN
JENKS

EXPLODED VIEW
NOT TO SCALE





West Elevation

SCALE: 1/4"

15.5' X 8.5'=131.75SQFT

1.1 Tenant Sign

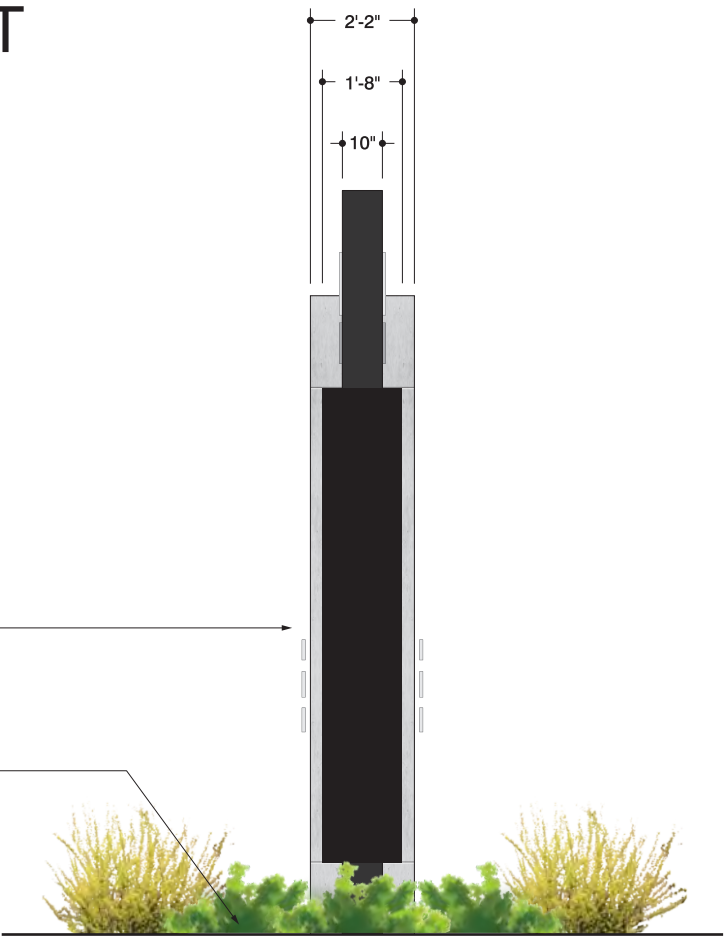
SCALE: 1/4"

FABRICATED METAL CENTER CABINET. PAINTED BLACK, SATIN FINISH. 3/4" PUSH THRU ACRYLIC LOGO. INTERNAL WHITE LEDS FOR FACE ILLUMINATION.

5" DEEP TENANT CABINET W/ 2 1/2" RETAINERS AND DIVIDER BARS, AND FILLER PANEL PAINTED TO MATCH ON END. 3/16" ACRYLIC TENANT PANELS W/ BLOCKOUT BLACK VINYL OVERLAY AND REVERSED OUT TENANT GRAPHICS.

REAL OR FAUX CONCRETE ACCENTS W/ 1/2" THICK FLAT CUT ACRYLIC ADDRESS NUMERALS PAINTED WHITE, SATIN FINISH.

GROUND LIGHTS TO UPLIGHT PROPERTY LETTERS AT NIGHT.



South Elevation

SCALE: 1/4"



Night View

SCALE: 3/16"



BUILDING REFERENCE IMAGE



a·max
SIGN COMPANY, INC.

www.amaxsign.com

9520 E. 55th Place
Tulsa, Oklahoma 74145
ph. (918)622-0651 ... fax. (918)622-0659

QUALITY | VALUE | ASSURANCE

SCALE: As Shown WHEN PRINTED 11 x 17

DATE: 09-09-19

FILE : Tenant Sign

SALES REP: Brian Ward

DRAWN BY: Jonathan Buck

PROJECT: Jenks On Main

LOCATION: Jenks, OK

ADDRESS: 201 E Main St

CLIENT APPROVAL SIGNATURE & DATE:



Signs will be built to meet UL specifications as required.



All signs and outline lighting must comply with Article 600 of the N.E.C. standards, including proper grounding and bonding.

REVISIONS:

1.	1
2.	2
3.	3
4.	4
5.	5

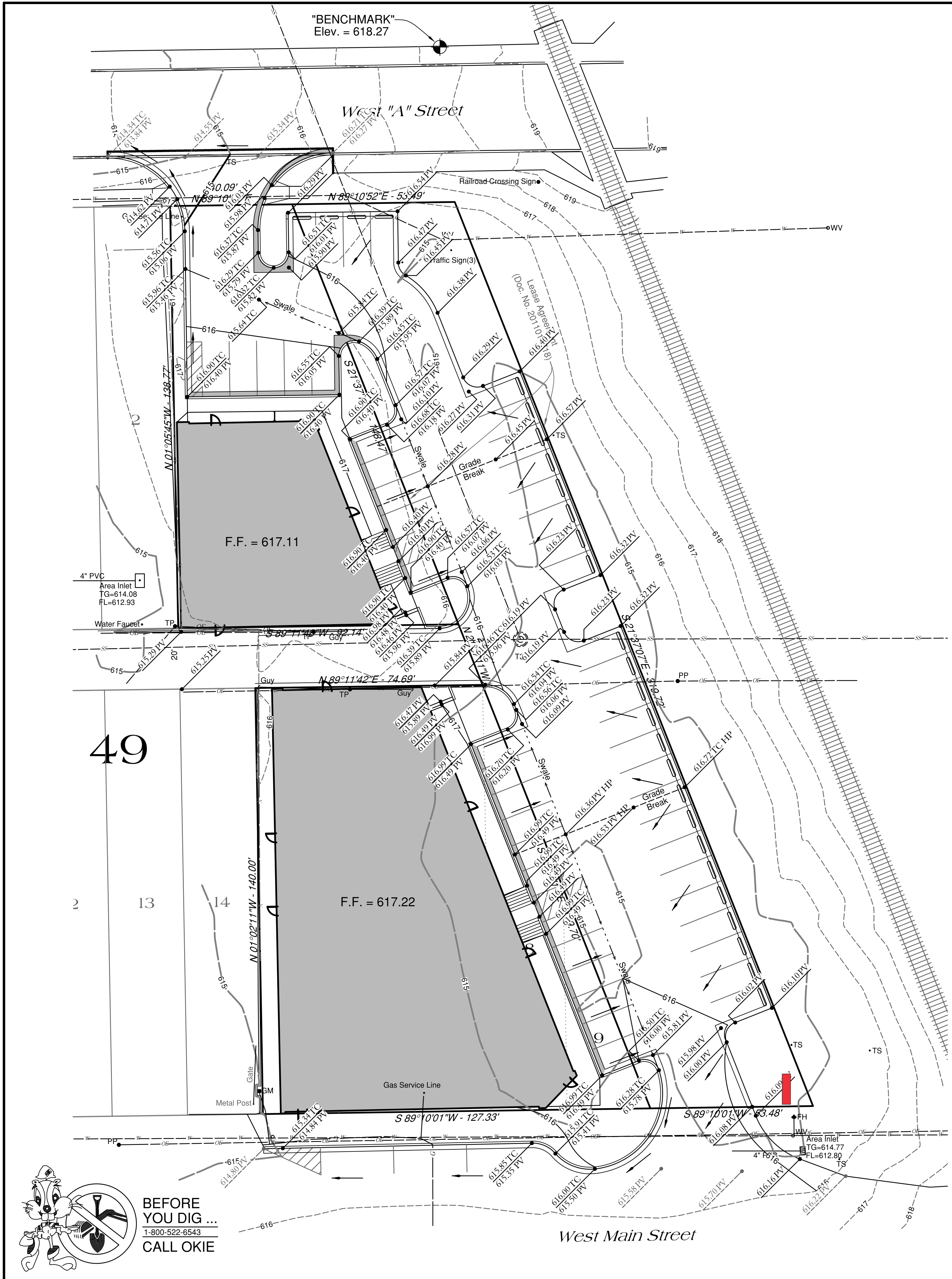
These drawings are the property of A-Max Sign Company, and should not be copied, reproduced, or displayed in any fashion other than for the purchase of the product illustrated.
Distribution or exhibition of these drawing are strictly prohibited.
© A-Max Sign Company, 2019

FINAL APPROVAL FOR PRODUCTION:

Project Manager: _____

SHEET NUMBER
1

DWG
090919-01



Legend

- All erosion and soil sedimentation control shall be installed prior to execution of any grading that would expose soil to runoff. Erosion control shall be maintained by the Project Contractor for the duration of the work, as required by the Storm Water Pollution Prevention Plan.
- The Grading Contractor will be responsible for obtaining and completing the proper forms, submitting the required documents, obtaining the approval/comments of the paper work required to obtain the necessary work orders and permits from the City of Jenks Public Works Department, submitting specification data on any soil admixtures, and attending any pre-work conference and final inspection. It is the responsibility of the Contractor to submit the correct documents to the City of Jenks.
- Clearing should be performed in accordance with the more stringent of the procedures outlined in this section or as specified by the Oklahoma Department of Transportation (ODOT) Standard Specifications for Highway Construction (2009) Section 201. Site development should include the stripping of any vegetation, organic soils, and associated root systems from areas planned to receive fill. Any required tree removal should also be accomplished at this time. Care should be taken to thoroughly remove all root systems from the construction areas. Materials disturbed during removal of stumps should be undercut and replaced with structural fill.
- Qualified engineering personnel should monitor the stripping operations to observe that all unsuitable materials have been removed. We anticipate that additional undercutting will be required in existing ditches or drainageways where sediments may have accumulated. Soils removed during stripping operations could be placed in green areas of the development. Care should be exercised to separate these materials to avoid incorporation of the organic matter in structural fill sections.
- The subsurface conditions encountered across portions of the site are favorable for the development of perched groundwater conditions. In a perched groundwater condition, precipitation will infiltrate the upper lower plasticity/non plastic more permeable soils and sit (perch) on the underlying less permeable higher plasticity clay soils or bedrock. Generally, perched water is of limited volume and can be controlled with typical dewatering methods. However, it should be noted, that depending upon site grades, the subsurface stratigraphy, and the volume of water, more sophisticated dewatering methods/equipment may be required if a perched ground water condition is encountered at the time of construction. During wet seasons, the perched groundwater can cause the upper layers of soils to become soft and unstable.
- Prior to placement of any required structural fill, the moisture content of the exposed subgrade should be evaluated. Depending on the in-situ moisture content of the subgrade exposed, moisture conditioning of the exposed grade may be required prior to proofrolling and/or fill placement. The moisture content of the exposed grade in these fill areas should be adjusted to within the range recommended for structural fill, to allow the exposed material to be compacted to a minimum of 95 percent of the standard Proctor density. Extremely wet or unstable areas that hamper compaction of the subgrade may require undercutting and replacement with structural fill or other stabilization techniques.
- Following moisture conditioning, it is recommended that the exposed grade be Test Rolled. Test Rolling should be performed as specified by the Oklahoma Department of Transportation (ODOT) Standard Specifications for Highway Construction (2009) Section 203. After removing the existing vegetation and topsoil, and completing the required cuts and over-excavations but before placement of any new fill, the exposed subgrade shall be proofrolled with a loaded dump truck, scraper, or other rubber-tired construction equipment weighting at least 25 tons to evaluate the presence of any soft, unstable soils. Where rutting or pumping is observed, the unstable soils shall be overexcavated and replaced with approved engineered fill, if they cannot be satisfactorily densified in place.
- Excavation and embankment construction procedures should be performed as specified by the Oklahoma Department of Transportation (ODOT) Standard Specifications for Highway Construction (2009) Section 202.
- Pavement subgrade preparation procedures should be performed as specified by the Oklahoma

- Department of Transportation (ODOT) Standard Specifications for Highway Construction (2009) Section 310.
- After successfully proofrolling, the exposed subgrade shall then be scarified to a depth of at least 9 inches, and adjusted in moisture content to a level equal to plus or minus two percentage points of the material's optimum moisture content, as determined by test method ASTM D-698 (Standard Proctor), prior to being compacted to at least 95 percent of its maximum dry density determined in accordance with ASTM D-698.
 - A portion of the soils encountered at the site have a high silt content. These types of soils are highly moisture sensitive and may become unstable with minor variations in moisture content or when subjected to repeated construction traffic. If these soils are unstable at the time of construction, they will need to be undercut and replaced with structural fill, or be stabilized in place. Close moisture control during compaction operations will be required to reduce the potential for pumping of these soils.
 - Lower consistency soils were encountered in a portion of the borings at various depths across the project site. Correction of the lower consistency soil conditions is required to provide adequate and uniform support for the proposed pavements and to provide a subgrade suitable for fill placement. Prior to placement of structural fill, undercutting or stabilization of lower consistency soils should be anticipated.
 - Imported fill shall consist of approved, low volume change material as specified in the Geotechnical Report prepared by Building & Earth Sciences, Inc. for Jenks on Main, dated August 12, 2016, Sections 4.5 Structural Fill.
 - Grading fill shall be placed in horizontal loose lifts not exceeding 9 inches in thickness and compacted to at least 95 percent of the material's maximum laboratory dry density, determined in accordance with ASTM D-698. Fill shall be placed and compacted at a moisture content equal to plus or minus two percentage points of the material's optimum moisture content.
 - Contractor shall provide and maintain positive drainage away from the pavement areas. Water permitted to pond within these areas may result in subgrade failures and cause unacceptable movement of the subgrade. Infiltration of water into utility trenches shall be prevented during construction.
 - Temporary construction slopes shall be constructed in strict compliance with the most recent governing regulations. Construction slopes shall be closely observed for signs of mass movement: tension cracks near the crest, bulging at the toe, etc. If potential stability problems are observed, the geotechnical engineer shall be immediately contacted. The responsibility for excavation safety and stability of temporary construction slopes shall lie solely with the contractor.
 - The Grading Contractor shall comply with all governing regulations pertaining to environmental protection. The Grading Contractor shall be responsible for the control of dust and dirt rising and scattering in the air during construction and shall provide water sprinkling or other suitable methods of control. The Grading Contractor shall be responsible for the protection of soil erosion and sediment control measures during the entire grading construction period. These measures are to be maintained in accordance with the Storm Water Pollution Prevention Plan. Any damage caused by the Grading Contractor requiring repair or replacement shall be paid for by the Grading Contractor. The cost of this work and materials shall be included in the price bid for other items. No additional payment will be made.
 - A Report of Subsurface Exploration and Preliminary Geotechnical Evaluation dated August 12, 2016 has been made by Building & Earth Sciences, Inc. of Tulsa, Oklahoma for the "Jenks on Main" project. Copies of this report may be examined at the Engineer's Office during regular business hours. The Grading Contractor is requested to make use of this report in preparing his bid. In the event there is a conflict between these construction notes and the Report of Subsurface Exploration and Preliminary Geotechnical Evaluation, the Report of Subsurface Exploration and Preliminary Geotechnical Evaluation will take precedence.

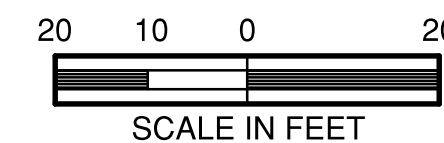
Legend

- 704 --- = Existing 1' Contours
- 705 --- = Existing 5' Contours
- 704 --- = Proposed 1' Contours
- 705 --- = Proposed 5' Contours
- 705 --- = Project Boundary Line
- --- = Drainage Area Boundary
- --- = Flow Arrow
- "Aa" = Drainage Area Designation
- 00.00 = Top of Paving Elevation
- 00.00 EX PV = Existing Paving Elevation
- 00.00 PV = Paving Elevation
- 00.00NG = Natural Ground Elevation
- 00.00TC = Top of Curb
- 00.00TW = Top of Wall Elevation

Benchmark

MAG Nail in the North sidewalk along West A Street and 35 feet West of the Railroad tracks.

Elevation = 618.27 NAVD 1988



GRADING PLAN

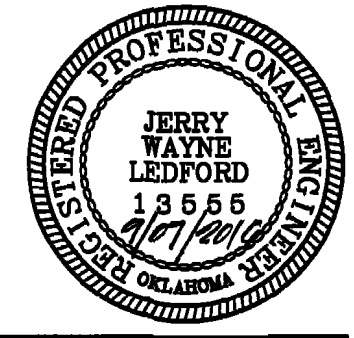
CITY OF JENKS, OKLAHOMA

PLANS & ESTIMATES PREPARED BY:
tep Tulsa Engineering & Planning Associates
9820 E. 41st St., Suite 102, Tulsa, Oklahoma 74116
Phone: 918-252-9821 Fax: 918-250-4566
Certificate of Authorization No. 531 TE/L/S Renewal Date June 30, 2017

Jenks on Main

REVISION	BY	DATE

PLAN SCALE 1" = 20'	APPROVED:
PROFILE SCALE	RECOMMENDED:
HORIZONTAL: N/A	DEVELOPMENT SERVICES
VERTICAL: N/A	RECOMMENDED:
FILE:	ENGINEERING SERVICES
DRAWING:	PUBLIC WORKS DIRECTOR
ATLAS PAGE NO.:	DATE:
-	SHEET 06 OF 08 SHEETS

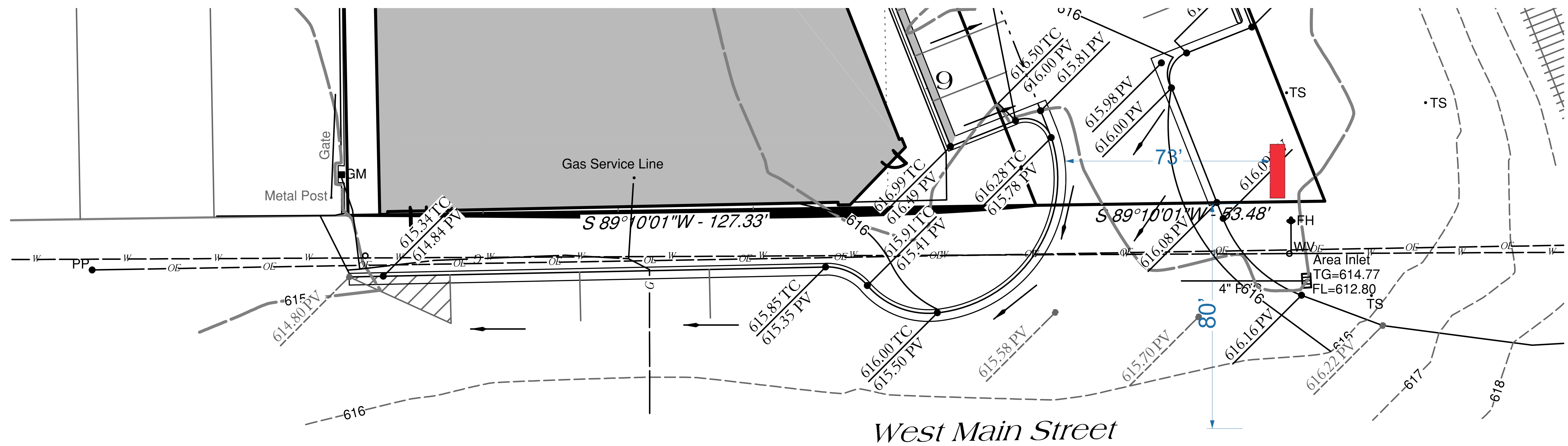


Jerry W. Ledford
REGISTERED PROFESSIONAL ENGINEER

SEAL

JENKS ON MAIN
201 W MAIN
JENKS

EXPLODED VIEW
NOT TO SCALE





Staff Report

To: Planning Commissioners
From: Jim Beach, City Planner
Hearing Date: December 5, 2019
Subject: JZ 19-647
Location: 424 West A Street (Ward 1)

Exhibits:

1. Location Map with Existing Zoning

Applicant:	Valerie Mann
Action Requested:	Rezone to CG – Commercial General
Current Zoning:	RS-3 – Residential Single-Family High Density
Lot Size:	Approximately 0.24 acres
Surrounding Zoning and Land Uses:	Primarily surrounded by commercial zoning and land uses

BACKGROUND

The property is in an area of older residences transitioning to commercial and office uses, consistent with the expectations of the Comprehensive Plan. The applicant states they are seeking to rezone the property and sell it for office, medical, retail, food service, etc. development.

STAFF EVALUATION

The Comprehensive Plan designates the strip along Main Street to A Street, “High Intensity.” CG Zoning is in accordance with the Plan and would be compatible with the surrounding zoning. The Comprehensive Plan includes CG and all its permitted uses as a zoning category that carries out the goals of the Plan. Both sides of Main Street, west of the railroad, are expected to transition to more intense commercial and office uses in time.

The CG District allows a broad variety of uses by right including retail, restaurant, trades and services, automotive services, and offices. A full list is at the end of this report. Multi-family uses are allowed with a PUD. Approval of a zoning change includes all the uses allowed by ordinance in the new zoning category. Approval may not be conditioned to exclude any allowed uses.

A rezoning request that is consistent with the Comprehensive Plan and with the zoning and land uses in the surrounding area should be approved. Any denial should be accompanied by clear findings that the Comprehensive Plan and Zoning ordinances are inappropriate or in error. If such a finding is made, prompt action should be taken to correct the error or inappropriateness.

RECOMMENDATION

Staff recommends approval of the zoning change from RS-3 to CG, and a waiver of the platting requirement because a new plat would not accomplish the purposes of platting. The property is already platted, has

utilities to serve new development or adequate easements or right-of-way to bring necessary utilities, has full right-of-way on both sides.

CRITERIA and CONSIDERATIONS FOR ACTION

The only question for consideration is whether CG zoning with all its permitted uses would be appropriate on this parcel.

Comprehensive Plan: The plan designates this property *High Intensity, not reserved for any specific land uses*. The requested CG zoning is in accordance with the Comprehensive Plan.

Zoning Code: Section 600.3. Purposes of the CG Commercial General District.

The CG District is designed to:

- a. Accommodate existing development of mixed commercial uses which are well established, while providing a degree of protection to adjacent residential areas.*
- b. Accommodate the grouping of certain commercial and light industrial which are compatible with one another.*

Chapter 10 Use Units, Section 1000.1. General.

The use unit is a grouping of individual uses having similarities in characteristics of function and/or performance which enable systematic consideration of location and other regulation.

The uses permitted in any zoning district are listed in the Zoning Code by the Use Unit in which they are categorized. Individual uses within each Use Unit are too numerous to list. They are provided in the Zoning Code in Chapter 10. The Use Units allowed in CS zoning are:

Use Unit 1. Area-wide uses by right

Use Unit 2. Specific use permit uses (SUP)

Use Unit 4. Public protection and utility and open-air facilities (temporary)

Use Unit 5. Community services and cultural facilities

Use Unit 8. Multifamily dwelling and similar uses (PUD)

Use Unit 10. Off-street parking areas

Use Unit 11. Offices and studios

Use Unit 12. Eating places other than drive-ins

Use Unit 13. Convenience goods and services

Use Unit 14. Shopping goods and services

Use Unit 15. Other trades and services

Use Unit 16. Gasoline Service Stations

Use Unit 17. Automotive allied activities

Use Unit 18. Drive-in Restaurants

Use Unit 19. Hotel, motel, and recreation facilities

Use Unit 20. Commercial Recreation Intensive (SUP)

Use Unit 21. Business signs, outdoor advertising, and billboards

Use Unit 22. Warehousing and Wholesaling (special exception)

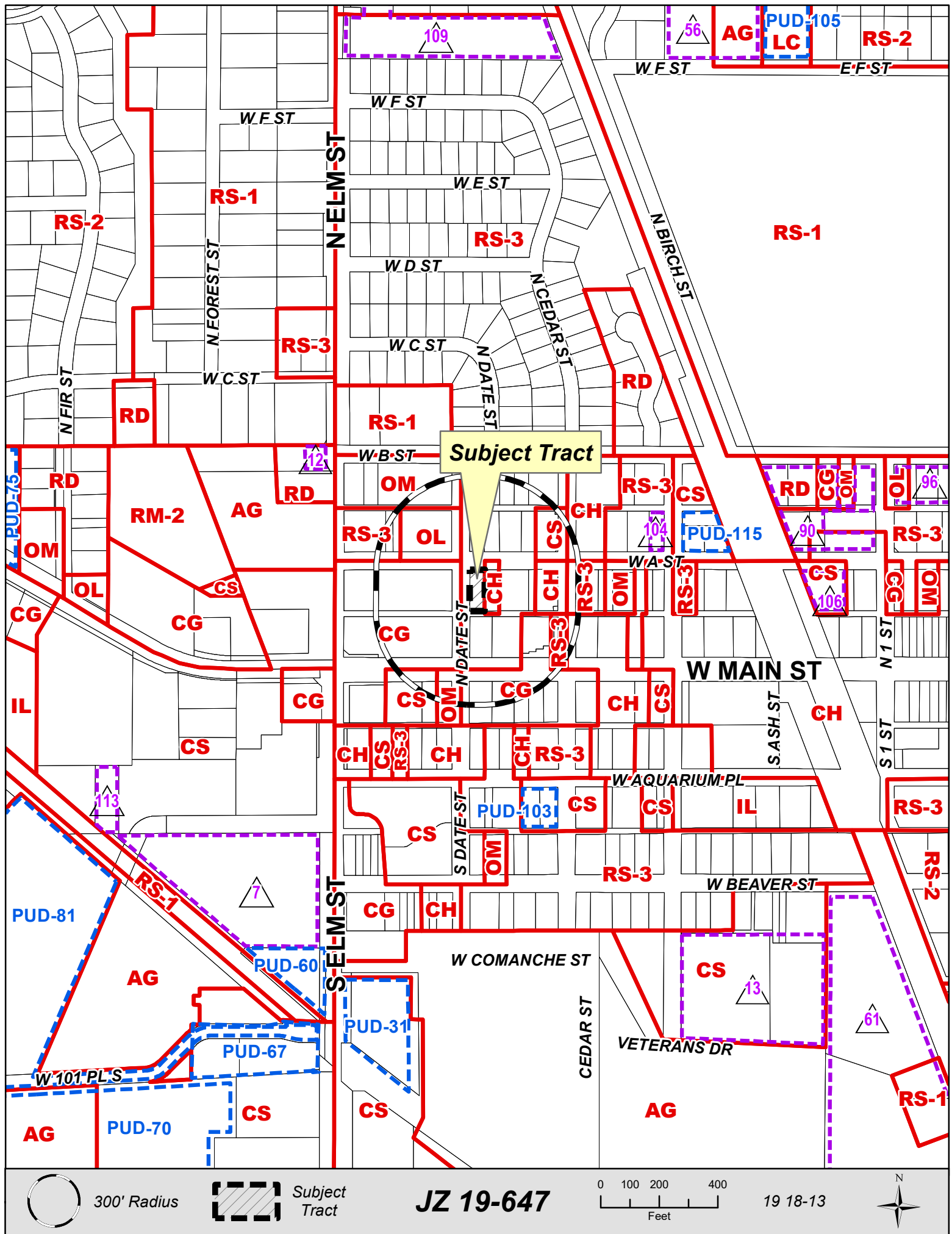
Use Unit 24. Light Manufacturing and Industrial Research and Development (special exception)

Use Unit 27. Tattoo and Massage Parlors (with special licensing)

Section 260. Platting requirement.

For the purposes of providing a proper arrangement of streets and assuring the adequacy of open spaces for traffic, utilities, and access of emergency vehicles, commensurate with the intensification of land use customarily incident to a change of zoning, a platting requirement is established as follows:

For any land which has been rezoned upon application, no building permit shall be issued until that portion of the tract on which the permit is sought has been included within a subdivision plat or replat, as the case may be, submitted to the Planning Commission for their review and recommendation, approved by the City Council, and filed on record in the office of the county clerk where the property is situated. Provided that City Council, pursuant to their exclusive jurisdiction of subdivision plats, may remove the platting requirement upon a determination that the above-stated purposes have been achieved by previous platting or could not be achieved by a plat or a replat.





Staff Report

To: Planning Commissioners

From: Jim Beach, City Planner

Hearing Date: December 5, 2019

Subject: **JL 19-344**

Location: 10511 S Gum Street (Ward 6)

Exhibits:

1. Lot Combination Exhibit of Lots 10 and 11
2. Location Map

Applicant: Cory Woodham

Action Requested: Approval of Lot Combination

Current Zoning: RS-1 – Single Family Residential, Low Density District, PUD-33

Lot Size: Approximately 3.5 acres

Surrounding Zoning

and Land Uses: Surrounded on the north by AG zoning, a steep bluff, and an agricultural use; to the west, south, and east sides by RS-1/PUD zoning with single-family dwellings

CRITERIA and CONSIDERATIONS FOR ACTION

As with lot splits, all new lots created by lot combination must meet the minimum dimensional requirements of the zoning district in which the parcel is located, including any PUD standards.

BACKGROUND

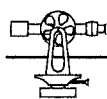
The owner of these two lots will build a house that would cross the common lot line. Lot 10 has a 15' drainage easement bisecting it which restricts building on that lot. Building across lot lines is problematic with side setback requirements in the zoning code and with certain building code requirements related to fire separation. It can possibly also create title problems. The lot combination effectively erases the common lot line which eliminates these problems.

STAFF EVALUATION

The two subject lots are approximately 1.75 acres each. The minimum lot size in this PUD is 20,000 square feet. The combined lots would be 7.5 times larger than the minimum lot size. Any subsequent lot split to reconfigure the combined lots would require a new application and review. The proposed new lots would be subject to all the existing requirements of the zoning code and PUD.

RECOMMENDATION

Staff recommends approval of the lot combination.



WHITE SURVEYING COMPANY

• 9936 EAST 55TH PLACE TULSA, OKLAHOMA 74146 • (918) 663-8924

MORTGAGE INSPECTION REPORT

LEGEND

—X— FENCE
U/E UTILITY EASEMENT
D/E DRAINAGE EASEMENT
M/P METERING POINT
B/E BURIED ELECTRIC &
EASEMENT
(APPROXIMATE
LOCATION)
B/L BUILDING LINE
O.B.L. OUTBUILDING LINE



BEFORE YOU DIG,
CALL OKIE
1-800-522-6543



1"=80'

INVOICE NO.: APEXTIT 19-98102

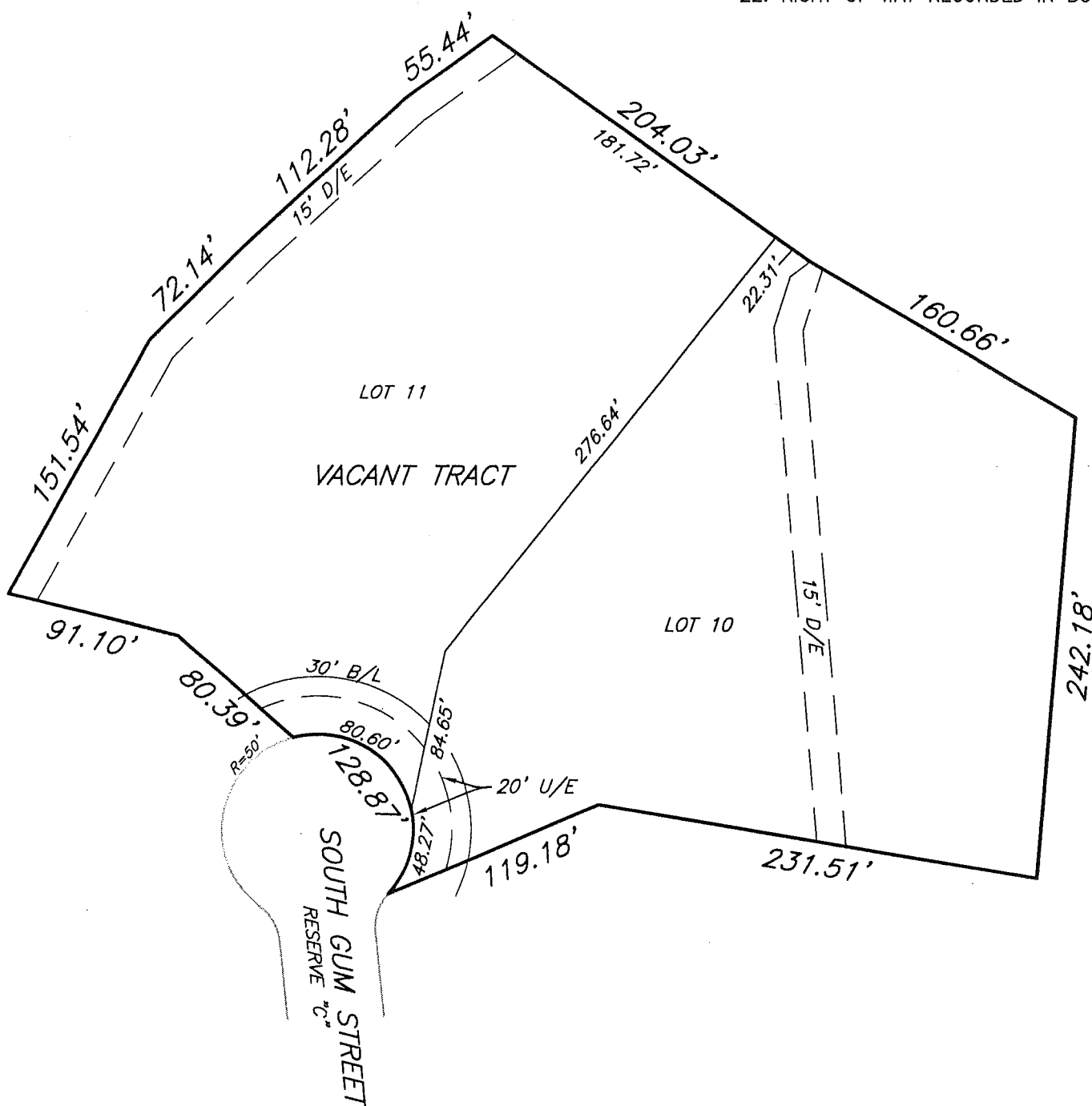
MORTGAGOR: CORY T. & MONICA J. WOODHAM REVOCABLE LIVING TRUST

CLIENT: APEX TITLE & CLOSING SERVICES, LLC
MIDFIRST BANK
FIDELITY NATIONAL TITLE INSURANCE COMPANY
19122218

THE FOLLOWING RECORDED DOCUMENT INCLUDES THIS PROPERTY:
6. QUIT CLAIM DEED RECORDED IN DOCUMENT NO.2004136581.

THE FOLLOWING RECORDED DOCUMENTS DO NOT AFFECT THIS PROPERTY:
7. RIGHT OF WAY RECORDED IN BOOK 37 PAGE 347,
WITH ASSIGNMENT RECORDED IN BOOK 2171 PAGE 489.
8. RIGHT OF WAY RECORDED IN BOOK 190 PAGE 322,
WITH ASSIGNMENT RECORDED IN BOOK 2171 PAGE 489.
9. EASEMENT RECORDED IN BOOK 2068 PAGE 157.
10. RIGHT OF WAY RECORDED IN BOOK 2362 PAGE 384,
WITH RESTRICTION OF RIGHT OF WAY RECORDED IN BOOK 4399 PAGE 11.
11. RIGHT OF WAY RECORDED IN BOOK 4007 PAGE 870.
12. DEDICATION RECORDED IN BOOK 4025 PAGE 545.
13. RIGHT OF WAY RECORDED IN BOOK 4033 PAGE 605.
14. RIGHT OF WAY RECORDED IN BOOK 4303 PAGE 1315.
15. EASEMENT RECORDED IN BOOK 4777 PAGE 1289.
16. EASEMENT RECORDED IN BOOK 4777 PAGE 1290.
17. REPORT OF COMMISSIONERS RECORDED IN CASE NO.90-01266.
18. RIGHT OF WAY RECORDED IN BOOK 6299 PAGE 1153.
19. RIGHT OF WAY RECORDED IN BOOK 6299 PAGE 1155.
20. WARRANTY DEED RECORDED IN BOOK 6299 PAGE 1155.
21. EASEMENT RECORDED IN BOOK 6723 PAGE 1089.
22. RIGHT OF WAY RECORDED IN BOOK 6795 PAGE 1427.

THIS PROPERTY LIES IN ZONE "X-UNSHADED, X-SHADED
& AE" FLOOD HAZARD AREA PER F.I.R.M. COMMUNITY PANEL
NO. 400209 0363L, AS LAST REVISED 10-16-12.



PLAT NO. 5802

LEGAL DESCRIPTION AS PROVIDED:

LOT TEN (10), BLOCK TWO (2), THE ESTATES AT STONE BLUFF, A SUBDIVISION IN THE CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF.

AND

LOT ELEVEN (11), BLOCK TWO (2), THE ESTATES AT STONE BLUFF, A SUBDIVISION IN THE CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF, AND KNOWN AS 10511 SOUTH GUM STREET.

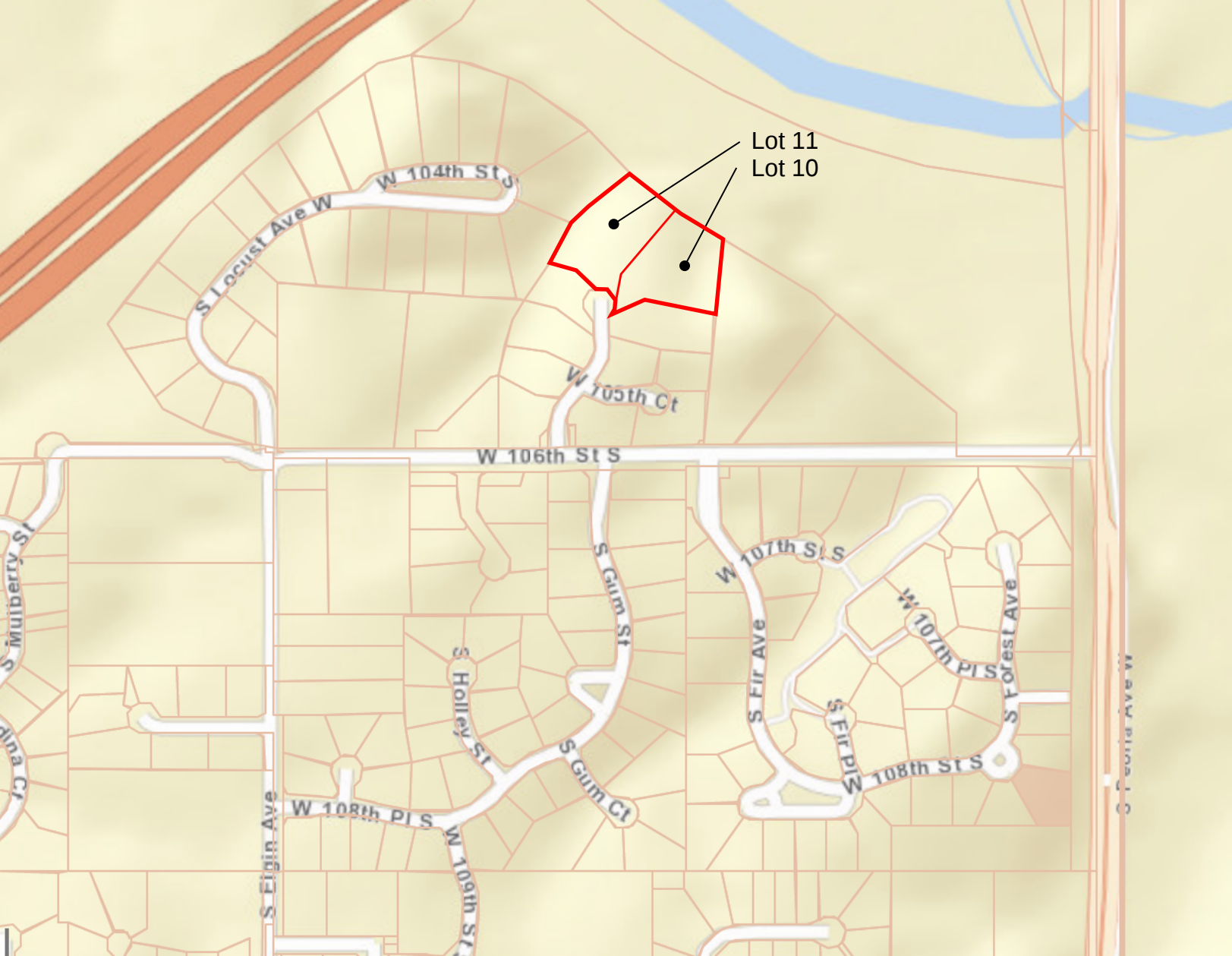
SURVEYOR'S STATEMENT

WHITE SURVEYING COMPANY, AN OKLAHOMA CORPORATION, AND THE UNDERSIGNED LICENSED PROFESSIONAL LAND SURVEYOR, UNDER CERTIFICATE OF AUTHORIZATION #CA1098 (RENEWAL DATE: JUNE 30, 2021), DO HEREBY STATE THAT IN OUR PROFESSIONAL OPINION THE ABOVE INSPECTION PLAT SHOWS THE DWELLING AS LOCATED ON THE PREMISES DESCRIBED, THAT IT IS ENTIRELY WITHIN THE DESCRIBED TRACT BOUNDARIES, AND THERE ARE NO ENCROACHMENTS THEREON BY VISIBLE PERMANENT IMPROVEMENTS, EXCEPT AS INDICATED; THAT THE ABOVE INSPECTION PLAT SHOWS ALL RECORDED PLAT EASEMENTS AND OTHER SUCH EASEMENTS WHICH HAVE BEEN DISCLOSED BY A CURRENT TITLE OPINION OR BY COMMITMENT FOR TITLE INSURANCE AND COPIES THEREOF PROVIDED TO US; THAT THIS INSPECTION PLAT WAS PREPARED FOR IDENTIFICATION PURPOSES ONLY FOR THE MORTGAGEE AND IS NOT A LAND OR BOUNDARY LINE SURVEY; THAT NO PROPERTY CORNERS WERE SET, AND IS NOT TO BE USED OR RELIED UPON FOR THE ESTABLISHMENT OF FENCE, BUILDING OR OTHER IMPROVEMENTS; THAT UNDERGROUND OR ABOVE GROUND UTILITIES WERE NOT FIELD LOCATED AND THEREFORE ARE NOT SHOWN ON THIS INSPECTION PLAT UNLESS SPECIFICALLY REQUESTED BY THE CLIENT; THAT THIS INSPECTION PLAT IS PREPARED SOLELY FOR THE CLIENT LISTED HEREON AS OF THIS DATE AND MAY NOT BE USED FOR ANY SUBSEQUENT LOAN CLOSING, REFINANCE, OR OTHER TRANSACTION; AND THAT NO RESPONSIBILITY OR LIABILITY IS ASSUMED HEREIN OR HEREBY TO THE PRESENT OR FUTURE LAND OWNER OR OCCUPANT.

WITNESS MY HAND AND SEAL THIS DATE: 9/11/19

WARNING! If the seal on this document is not RED, it is an unauthorized copy which may have been altered or modified, and cannot be used for any purpose without the written permission of White Surveying Company.

Copyright 2019 by White Surveying Company. All Rights reserved. No part of this plat may be reproduced, stored in a retrieval system, or transmitted in any form without prior written permission of White Surveying Company, P.O. Box 471675, Tulsa, Oklahoma.



Location Map

10511 S Gum Street