

AGENDA
JENKS CITY COUNCIL
TUESDAY, JANUARY 21, 2020, 6:00 P.M.
JENKS CITY HALL, COUNCIL CHAMBERS, 211 NORTH ELM

If you require special accommodations pursuant to the Americans with Disabilities Act, please notify the City Clerk's Office at (918)209-4960 or email agendas@jenksok.org.

I. CALL TO ORDER

II. ROLL CALL

III. INVOCATION

IV. PLEDGE OF ALLEGIANCE

V. CITIZEN'S COMMENTS

VI. EMPLOYEE RECOGNITION

VII. BUSINESS

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under "Consent" are considered by the City Council to be routine and will be enacted by one motion. Any Councilor may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)

A. Approve minutes of the regular meeting held on January 7, 2020

Documents:

[1A - 2020.01.07 CC MINUTES.PDF](#)

B. Approve Encumbrances and Expenditures

Documents:

[1B - ENCUMBRANCES AND EXPENDITURES.PDF](#)

C. Monthly Reports

Documents:

[1C - MONTHLY REPORTS.PDF](#)

D. Request by the Oklahoma Aquarium, to use Jenks streets for an Aquarium Run event on Saturday, April 4, 2020 from 7:30 a.m. to 12:00 p.m.

Documents:

[1D - AQUARIUM RUN.PDF](#)

E. Request to authorize the City of Jenks to administer a Community Expansion of Nutrition Assistance Grant by the Department of Commerce/Office of Community Development and INCOG/Area Agency on Aging to Jenks Senior Citizens, Inc., in

the amount of \$14,646.41 for capital expenditures in the Jenks Senior Citizens program; and to appropriate \$14,646.41 from the Risk Management Fund fund balance to be budgeted to Account No. 61-801-5250, which will be reimbursed from grant proceeds.

Documents:

[1E - JENKS SENIOR CITIZENS GRANT.PDF](#)

- F. Request to approve Resolution No. 690, a resolution amending the annual appropriations by \$14,647 from the Risk Management Fund Balance to account 61-801-5250 (Risk Management – Contractual Services Account) due to the grant for the Jenks Senior Citizens program.

Documents:

[1F - RESOLUTION 690.PDF](#)

2. Consideration and appropriate action relating to items removed from the Consent Agenda.
3. Request to award a bid for construction of a Street Improvement Project for milling and overlay in Melody Lane and asphalt patching in Melody Lane, South Creek, Sunnybrook Estates and on Union Avenue, to H&G Paving (Muskogee, Oklahoma) in the total amount of \$227,785.00; funding is included in the FY 19-20 Street Maintenance budget (Account No. 53-521-5393) as part of the existing Pavement Management Program. [Robinson]

Documents:

[3 - STREET IMPROVMENTS PROJECTS.PDF](#)

4. Request to approve JZ 19-648 from Theresa Dewhurst, rezoning from RS-3 (Single-Family Residential High-Density District) to CS (Commercial Shopping District). General Location: 122 North 6th Street [Beach]

Documents:

[4 - JZ 19-648.PDF](#)

5. Request to approve Ordinance No. 1504 relating to JZ 19-648, rezoning a tract of land from RS-3 (Single-Family Residential High-Density District) to CS (Commercial Shopping District). General Location: 122 North 6th Street [Beach]

Documents:

[5 - ORDINANCE 1504.PDF](#)

6. Request to approve the emergency clause for Ordinance No. 1504, making it effective immediately upon passage.
7. Request by Josh Nave for approval of ROW/UEC 19-70 to close a 7-foot wide portion of a utility easement to allow a retaining wall. General Location: 10709 South Nandina Court [Beach]

Documents:

[7 - ROW UEC 19-70.PDF](#)

8. Request to approve Ordinance No. 1506 relating to ROW/UEC 19-70, closing a 7-foot

wide portion of a utility easement to allow a retaining wall. General Location: 10709 South Nandina Court [Beach]

Documents:

[8 - ORDINANCE 1506.PDF](#)

9. Request to approve the emergency clause for Ordinance No. 1506, making it effective immediately upon passage.
10. Request by Bell Land Use for approval of JZ 19-649/PUD 97A amending Development Area B of PUD 97 to include Reserve B of Jenks Landing Subdivision in the land area, making the total area of Development Area B approximately 13.2 acres to allow more dwelling units in the previously approved multi-family portion of the PUD. General Location: SE Corner South James Avenue and West 114th Street [Beach]

Documents:

[10 - JZ 19-649 PUD 97A.PDF](#)

11. Request to approve Ordinance No. 1505 relating to JZ 19-649 to amend Development Area B of PUD 97 to include Reserve B of Jenks Landing Subdivision in the land area, making the total area of Development Area B approximately 13.2 acres to allow more dwelling units in the previously approved multi-family portion of the PUD. General Location: SE Corner South James Avenue and West 114th [Beach]

Documents:

[11 - ORDINANCE 1505.PDF](#)

12. Request to approve the emergency clause for Ordinance No. 1505, making it effective immediately upon passage.
13. Request by Bell Land Use for approval of a preliminary/conditional final plat to accompany JZ 19-649 PUD 97A. General Location: SE Corner South James Avenue and West 114th [Beach]

Documents:

[13 - JENKS LANDING II PLAT.PDF](#)

14. Request to approve the capital projects and amounts to include in a G.O. Bond package.

Documents:

[14 - CAPITAL PROJECTS.PDF](#)

VIII. OTHER BUSINESS

1. City Manager's Report

Documents:

[CITY MANAGER REPORT.PDF](#)

IX. ADJOURNMENT

MINUTES
JENKS CITY COUNCIL
TUESDAY, JANUARY 7, 2020,6:00 P.M.
JENKS CITY HALL, COUNCIL CHAMBERS, 211 NORTH ELM

The Agenda for the Jenks City Council was posted in City Hall and on the City's website at 2:20 p.m. on December 31, 2019. The meeting was called to order at 6:00 p.m. on the above date with Mayor Robert Lee presiding. A roll call vote of members was taken as follows:

Dawn Dyke	Present
Donna Ogez	Present
Kaye Lynn	Present
Craig Murray	Present
Gary Isbell	Present
Cory Box	Present
Mayor Robert Lee	Present

Invocation was given by Pastor Sean Farver with Kirk Crossing.

Pledge of Allegiance was given.

Citizen's Comments

There were no citizen comments

Business

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under "Consent" are considered by the City Council to be routine and will be enacted by one motion. Any Councilor may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)
 - A. Approve minutes of the regular meeting held on December 16, 2019
 - B. Approve Encumbrances and Expenditures
 - C. Monthly Reports
 - D. Request by the Kibo Group, to use Jenks streets for a Run to the Well event on Saturday, April 18, 2020 from 7:00 a.m. to 11:00 a.m.
 - E. Request by RunnersWorld Racing, to use Jenks streets for a Tulsa Area Triathletes Spring Fever Triathlon event on Sunday, April 19, 2020 from 7:00 a.m. to 12:00 p.m.
 - F. Request to note in the minutes Oklahoma Department of Environmental Quality (DEQ) Permit Number SL000072190838 for the construction of 4,128 linear feet of eight (8) inch PVC sanitary sewer line, 340 LF of 10" inch PVC sanitary sewer line, and all appurtenances to serve the Tulsa Premium Outlets, Jenks, Tulsa County, Oklahoma.

- G. Request to note in the minutes Oklahoma Department of Environmental Quality (DEQ) Permit Number WL000072190839 for the construction of 2,788 linear feet of twelve (12) inch PVC water line, 5,385 Linear feet of ten (10) inch PVC water line, and all appurtenances to serve the Tulsa Premium Outlets, Jenks, Tulsa County, Oklahoma.
- H. Request to enter into an Agreement between Union Pacific Railroad and the City of Jenks concerning the installation of a sanitary forcemain crossing underneath the Union Pacific Railroad. This sanitary forcemain will connect the Simon Premium Outlets to City of Jenks infrastructure. General location: South of the intersection of River District Drive and 1st Street

Cory Box made a motion to approve Item 1. Dawn Dyke seconded the motion. A roll call vote of members was taken as follow:

Dawn Dyke	Yes
Donna Ogez	Yes
Kaye Lynn	Yes
Craig Murray	Yes
Gary Isbell	Yes
Cory Box	Yes
Mayor Robert Lee	Yes

Motion Carried.

2. Consideration and appropriate action relating to items removed from the Consent Agenda.
Withdrawn
3. Request to approve the Project Agreement for 111th Street (US 75 to Elwood Ave) and the 111th Street and Elwood Ave intersection improvement project J/P 25212(04) with the Oklahoma Department of Transportation (ODOT), the supporting Resolution No. 688, authorization to pay the invoice for construction costs to ODOT, and authorize the Mayor to execute the document; funding in the amount of \$1,058,000 from the 2010 and 2013 bonds (account 24-862-5393 and 32-862-5393) has been previously encumbered, \$65,763 is already deposited with ODOT, and additional funding in the amount of \$708,712 is requested to be encumbered from the 2010 Bond account 24-862-5393. City Engineer Chris Robinson presented the history of the project, funding, and design of 111th Street from Hwy 75 to Elwood Ave and the 111th Street and Elwood intersection.

Dawn Dyke made a motion to approve Item 3. Donna Ogez seconded the motion. A roll call vote of members was taken as follow:

Dawn Dyke	Yes
Donna Ogez	Yes
Kaye Lynn	Yes
Craig Murray	Yes
Gary Isbell	Yes
Cory Box	Yes
Mayor Robert Lee	Yes

Motion Carried.

4. Request to approve Resolution No. 689, a resolution amending the annual appropriations by \$708,712.00 from the 2010 G.O. Bond Fund Balance to account 24-862-5393 due to the project agreement with ODOT for 111th Street (US 75 to Elwood Ave) and the 111th Street and Elwood Ave intersection.

Craig Murray made a motion to approve Item 4. Cory Box seconded the motion. A roll call vote of members was taken as follow:

Dawn Dyke	Yes
Donna Ogez	Yes
Kaye Lynn	Yes
Craig Murray	Yes
Gary Isbell	Yes
Cory Box	Yes
Mayor Robert Lee	Yes

Motion Carried.

5. Discuss potential capital projects and available funding sources. Assistant City Manager Robert Carr presented a summary of various capital projects with the current funding sources, if applicable, and answered questions regarding said projects. Mayor stated that the goal is to put a G.O. Bond Package on the April ballot, which means a resolution will have to be approved at the February 4, 2020 meeting.

Edward Phillips, 13422 S 19th Ct, gave Council an updated informational document regarding the need for a Jenks Adult Activity Center (JAAC) and asked that it be included in the official record (Attachment A).

Keith Montgomery, 10612 S Fir Ave, agrees that engineering should be done upfront and encourages Council to pursue the engineering plans without fear of the project not being completed.

Bill Rodgers, 705 E 119th St S, states that he believes that Jenks has done a great job for multiple age groups throughout the years with various projects and the only thing missing is a Senior Center. He also mentioned that while the average age of citizens living in Jenks is 33-35 years old, the average age of a voter is 72 years old. He also stated that the Seniors is only asking for a shell of a building and they will furnish and purchase equipment using grant funds.

Some discussion was held regarding the price per square foot on the proposed Senior Center.

Murray Powers states that the heating and air conditioning required for that size of building would be around \$200,000 to \$300,000 alone.

Mayor asked Council to be prepared to have the project list narrowed down by the next meeting so a resolution can be prepared for the following meeting.

Other Business

1. City Manager's Report. City Manager Chis Shrout stated that the report was included in the agenda packet and mentioned several upcoming events.

Adjournment. Cory Box made a motion to adjourn. Craig Murray seconded the motion. A roll call vote of members was taken as follow:

Dawn Dyke	Yes
Donna Ogez	Yes
Kaye Lynn	Yes
Craig Murray	Yes
Gary Isbell	Yes
Cory Box	Yes
Mayor Robert Lee	Yes

Motion Carried. The Jenks City Council adjourned at 7:45 p.m.

Robert Lee, **MAYOR**

Brittany Long, **CITY CLERK**

Jenks Adult Activity Center FAQ's

JAAC

"Empowering and enhancing the quality of life of adults as they age in our community."

Extended Version

Why Is a Jenks Adult Activity Center (JAAC) Required?

- **What do you think of when someone says the words Jenks Adult Activity or senior Center? Do you picture older people (much older than you, of course) sitting around playing bingo and shuffleboard? Eating bland meals while a television is blaring?**

Response: Time to update your vision! Senior or Boomer centers are not what they used to be. Today's senior center is a vibrant, action-packed combination of local volunteering headquarters, transportation hub, and tasty dining locale. Senior centers don't just offer card games. Sure, cards are available (and fun and challenging). But the Jenks Adult Activity Center will offer far more than that—everything from trips and special events to fine arts and crafts, music and dance, lifelong learning, and fitness and health programs. Research shows that compared with their peers, senior center participants have higher levels of health, social interaction, and quality of life satisfaction, and are able to live at home longer.

- **What is the Mission Statement of the Jenks Adult Activity Center?**

Response: To Empower and Enhance the Quality of Life of People as They Age

- **How will the Jenks Adult Activity Center be Organized?**

Response: Action is underway to modify an existing Nonprofit 501 c (7) to a Nonprofit 501 c (3) organization that will receive certain federal, state and local tax benefits as well as qualified donors and grantors. The 501 c (3) will be run by a multi-member Board and the Center will have a small staff of full time and part time employees running the day to day activities.

- **What's Wrong with the Facilities that Serve the Current Senior's Group?**

Response:

Many of the following programs and activities cannot be conducted due to the very limited space and scheduling use two days scheduled per week in the 1st Floor Community Room at Jenks City Hall.

The City Hall Community Room currently utilized will only accommodate approximately 90 persons with a current group membership of 175. The demand for services and programs outstripped the Community Room's physical and

operational capacity several years ago. Seniors are being turned away from popular programs due to space restrictions. With completion of the larger JAAC facility, membership is expected to surge to 500.

- **Why does the Jenks Adult Activity Center need to be larger and sooner Than later?**

The use of the Community Room has increased regularly due to the steady growth of Jenks's senior population, greater need for assistance and increased interest in programs offered. Office space is not available. There is a need for staff to provide private consultation for taxes, fuel assistance, legal issues, health insurance counseling and wellness clinics. There is extremely limited space for seniors to congregate before or after programs. These issues will only be exacerbated by the continued growth of the senior population in town.

In addition, Jenks is growing at an accelerated rate which will increase City staff demand for office and other functions in the City Hall Community Room, building and parking areas.

- **How much space is required to meet Jenks Adult Activity Center needs?**

Response: 10,000 to 12,000 square feet will be needed to accommodate near future needs. The design and site plan will allow for longer-term future expansion.

- **What input have we received from the seniors in town?**

Response: Groups have met to discuss the best means to address the needs of this underserved population. Committee members and volunteers have visited centers in the surrounding area to see how other towns provide these needed services.

The rough draft of the new building floor plan and proposal were presented to seniors and the public at a standing room town hall meeting 11/2/2019 with very favorable reactions.

- **Are we considering combining it with a Community Center or trying to use the current Jenks/Glenpool Community Center at Elm-Peoria and 137th St?**

Response: Jenks taxpayers have already contributed to the current large South Tulsa County Recreation Center with community meeting areas located at 13800 S. Peoria Ave. as well as the Hive building located in downtown Jenks.

The South County Recreation Center shared by Jenks and Glenpool has an outdoor zero-entry pool, full-sized basketball court, three meeting rooms, a game room and fitness center. Activities and programs are available year-round for all ages particularly oriented towards youth and families.

Combining an Adult/Senior Activity Center with a Youth Center may appear to be more efficient space management. However, this would not be effective in actual practice due to large differences in management and dedicated space requirements as well as scheduling conflicts.

- **Have we thought about using one of the other existing City of Jenks buildings for the Jenks Adult Activities Center?**

Response: There are currently no City of Jenks owned buildings that could provide the needed space or facilities. All of the existing facilities have multiple uses that would not allow the needed activities to occur on a regular basis.

- **Why don't we "regionalize" this with another surrounding city?**

Response: We have discussed regionalization with neighboring communities without success for several reasons such as lack of interest, the loss of a sense of the senior community, and the additional distance to travel to the Senior Center.

- **What is the Member Health Policy?**

Response: Members of the Jenks Adult Activity Center must be able to take care of their own personal and health needs. Caregivers are welcome to accompany members and will be solely responsible for the health and well-being of that member. The Board reserves the right to terminate a JAAC membership after three incidents that involve emergency personnel, or the incidents interfere with the daily activities of the membership or the Coordinator, or if the incidents create an unsafe situation for the membership.

- **Is There Anything Like Jenks Adult Activity Center, Currently in Operation in Tulsa County?**

Response: Yes. Broken Arrow currently supports a 20,000 square foot center with activities and facilities resembling those proposed with JAAC. The BA Center has been hugely successful. In 2018, 62% of Broken Arrow voters passed a \$4.8 million-dollar bond to build an additional 30,000+ square foot facility across the street from the current center to further expand their activities. The BA center has over 50 programs and activities weekly and 2019 membership has swelled to 2,800 persons. (Broken Arrow has an approximate population of 112,000, five times larger than Jenks). The City of Broken Arrow does provide some limited operating cost support but the majority of the programs are self-funded, either by dues or donations.

- **How does this plan relate to the new Horizon Jenks comprehensive plan under development?**

Response: A requirement for a new Adult/Senior Activity Center has been previously identified. *A response will be developed after reviewing the final Jenks Horizon report.*

What Are the Number of Jenks and Nearby Seniors and Demographics?

- **What are the Estimated Near-Term Growths of Age 55 Plus and 65 Plus Populations *Within the Jenks City Limits*?**

Response:

- The Jenks 2019 population will increase from 22,386 to approximately 26,444 by 2024.
- The Age 55+ population will increase 1,360 from 5,368 in 2019 to 6,728 in 2024.
- The Age 65+ population will increase 1,073 from 2,889 in 2019 to 3,962 in 2024 resulting in a 37 percent increase.
- If only 10 percent of the 1,360 new Jenks Age 55 Plus residents within the city limits join the Jenks Adult Activity Center (JAAC), the membership demands will increase almost 76 percent from 178 in 2019 to over 314 in 2024 **ONLY** four years away!
- The Age 55 Plus populations and JAAC members are expected to increase dramatically by 2030 and 2050 within the Jenks city limits and in adjacent ZIP Code areas.
- Notes:
 - Data Source: Indian Nations Council of Governments (INCOG) 12/2019.
 - Zip Code boundaries do not coincide with actual city boundaries, so population comparisons often do not match.

- **Who will use the New Jenks Adult Activity Center?**

Response: the new Jenks Adult Activity Center will result in an immediate increase in the number of people able to use the Senior Center. From discussions with other towns that have built new Adult/Senior Centers, we have found that there is typically a significant increase in usage once the new center is constructed.

According to the National Council on Aging;

- Approximately 70% of senior center participants are women; half of them live alone.
- Compared with their peers, senior center participants have higher levels of health, social interaction, and life satisfaction.
- 75% of participants visit their center 1 to 3 times per week. They spend an average of 3.3 hours per visit.

- **What are the demographic projections for seniors?**

Response: Most of the public particularly younger people less than 50 realize the population and economic shift that will take place. ***Truly a Tsunami Wave!***

By 2030 seniors will outnumber youth in U.S.... The year 2030 marks an important demographic turning point in U.S. history according to the U.S. Census Bureau's 2017 National Population Projections. By 2030, all baby boomers will be

older than age 65. This will expand the size of the older population so that 1 in every 5 residents will be retirement age.

- **What Are the Senior Populations Within and Close to Jenks, Oklahoma That May Participate in Jenks Adult Center Activities?**

Notes:

- Data Source: AARP Oklahoma data September 2019.
- Zip Code boundaries do not coincide with actual city boundaries, so population data comparisons often do not match.
- City of Jenks taxpayers help fund the Jenks Adult Action Center.
- Jenks Adult Action Center members and participants residing outside the City of Jenks will pay extra for participation in many activities.
- Area Zip Code populations and demographics are commonly used by new Jenks businesses. Simon's Premium Outlet Mall and other businesses used Jenks and adjacent area populations to justify their major investments and estimated future customers and revenue.

Responses:

Populations by Adjacent Zip Code

Adjacent Zip Code	City	Total Population	Population Age 50+	Population Age 65+
74037	Jenks	21,018	6,338	2,621
74132	Tulsa, NW of Jenks	9,288	3,356	1,624
74137	Tulsa, East of Jenks	27,778	11,779	5,377
74171	Tulsa, East of Jenks	1,525	178	117
Totals		59,609	21,651	9,739

Populations by Distance from Jenks Percentages

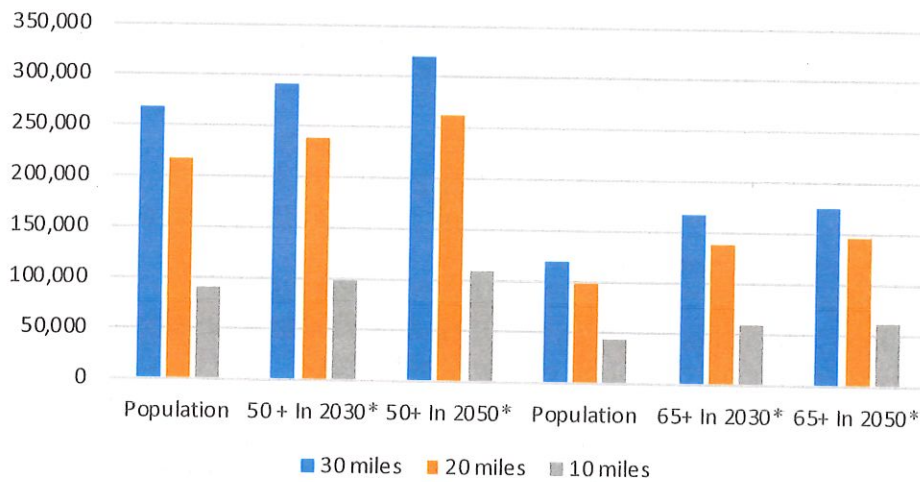
Radius from Jenks	Population 50+	Percent Population 50+	Population 65+	Percent Population 65+
30 miles	266,493	33%	119,731	15%
20 miles	218,231	33%	98,715	15%
10 miles	90,565	36%	42,868	17%

Populations by Distance from Jenks In 2030 and 2050

* Based on statewide estimates for population growth

Radius from Jenks	Population 50+	50 + In 2030*	50+ In 2050*	Population 65+	65+ In 2030*	65+ In 2050*
30 miles	266,493	290,477	319,792	119,731	167,623	176,005
20 miles	218,231	237,904	261,913	98,715	138,201	145,111
10 miles	90,565	98,716	108,678	42,868	60,015	63,016

Distance From Jenks Populations



U.S. Population Predictions for Seniors and Children

Population values in millions

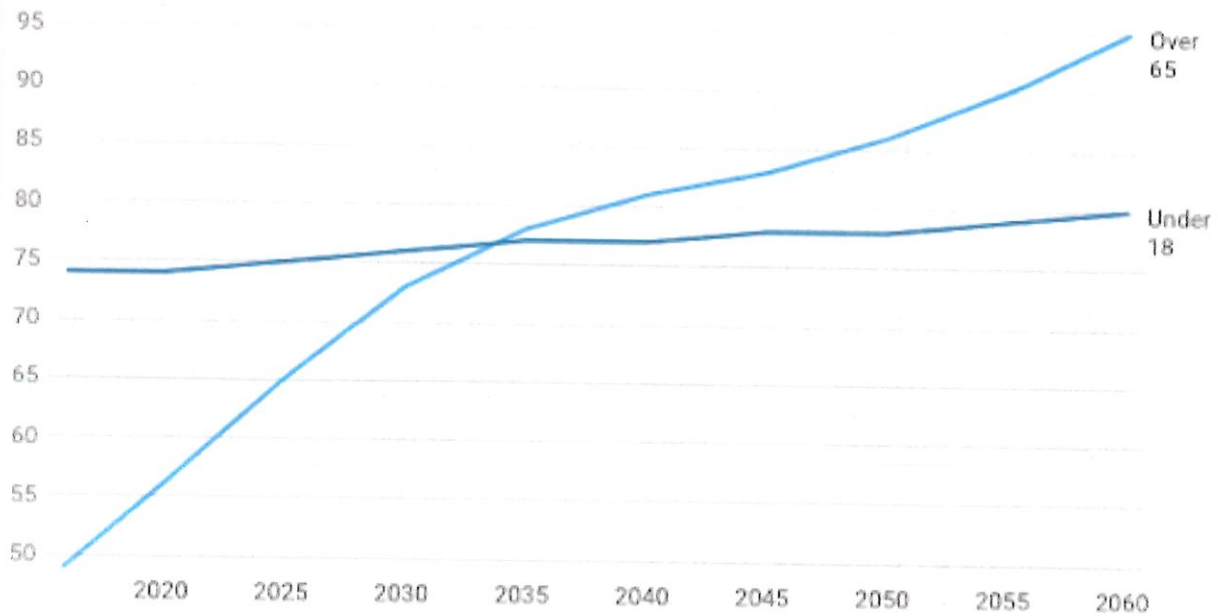


Chart: U.S. News & World Report • Source: U.S. Census Bureau • [Get the data](#)

USNews

What Programs Will the Jenks Adult Activity Center Offer?

- **What programs are likely to be offered at the Jenks Adult Activities Center?**

Response:

- Many of the following needed programs and activities cannot be conducted presently due to the very limited space and scheduling use in the 1st Floor Community Room at Jenks City Hall.
- Low Impact Exercises, Speakers/Classes, Health and Wellness Information, Meals and Nutrition Programs, Card & Board Games, Art & Crafts, Educational Offerings, Topics and Events, Computers/Internet/Wi-Fi, Library/Reading Room, TV/Sports, Music, Line/Square Dancing, Pool Tables, Pickleball, and External Transportation to/from Center, Trips, and Tours.

- **What programs are Jenks currently offering at City Hall?**

Response:

- Card & Board Games, Speakers, Special Speakers and Events, Painting Classes, External Transportation to/from City Hall Community Room, Trips, and Tours. As previously outlined, the demand for programs far exceed existing City Hall Community Room limitations.

What Are the Jenks Adult Activity Center and Senior Benefits?

- **What is the benefit to the overall community of having a Jenks Adult Activities Center?**

Responses: Active older adults have better ties to the community, spend money in the community, vote, and generate tax revenues. The Jenks Adult Activity Center increases the quality of life, gives the aging population a purpose, and it provides a place to meet other seniors, especially those leaving their homes and moving here to be with families. They are also seeking to volunteer and use their life experience to give back to the community.

Having an attractive, active Jenks Adult activity Center will keep current 55+ adults active and involved in the community, plus bring in additional business and tax revenue in the form of seniors from surrounding communities. Jenks is a destination city, the seniors need to be included, and are the new wave population.

- **What are the Benefits of an Adult Activity Center for Small Communities?**

Response:

- Life in smaller communities offers many benefits: clean air, little traffic, low crime rates, and a slow pace. To boost their economies and revitalize their communities, many smaller communities throughout the US are investing in some form of Adult Activity Centers.

- **Activity Centers Promote an Active and Healthy Community**
 Maintaining an active lifestyle is a fundamental aspect of a happy and healthy life. Walking clubs, educational classes, exercise & fitness programs, arts and crafts classes, various board games, billiards, social activities such as dance instruction/events, volunteer opportunities, pickleball, meal programs, various cultural activities are examples are made available through activity centers and their partner civic organizations. An activity facility helps to develop a culture of physical wellbeing, mental health, and nutritional education. With intelligent programming and effective community outreach, an activity center can be a central component to enact change at the community level. Once again, there is little to no cost associated with participation in these programs, which is a significant benefit for those living on a fixed income.
- **Boosts the Local Economy**
 It may be surprising to some, but adult activity centers can boost a small community's economy. Active adults spend dollars in the communities. When an activity center serves to attract people from neighboring communities to your community, they are likely to bring money to local restaurants, small retail businesses, grocery stores, and main shopping centers. For smaller communities, a small economic boost can have a huge impact.
- **Provides a Meeting Space**
 Outside of town halls and churches, many small communities do not have available public meeting/activity space for seniors. Whether it be a group senior event and activity, a club meeting, a special family event, an educational program, a senior meal program or a fundraiser, an innovative/flexible facility provides a convenient/functional place to gather. By having a senior meeting venue can increase community involvement and revitalize your town's social scene.
- **Adult Activity Centers Increase Property Values**
 By providing a convenient, popular and affordable meeting space destination for cultural, social, fitness and athletic activities, efficiently operated adult activity centers make the community more attractive. Older wealthy families/individuals are more likely to move to a city that features a thriving adult activity facility. Property values are likely to be higher in an area where there is an adult activity center offering exciting activities and compelling programs.

Adult Activity Centers serve as a gateway to the nation's aging network—connecting older adults to vital community services that can help them stay healthy, socially engaged and independent. The adult activity center is a place where adults can meet others, gain information, receive services, and participate

in a variety of activities. An Adult Activity Facility provides the over 50-year-old citizens with programs that fosters independence, dignity, community involvement, recreation, self-help, companionship, personal growth and wellness. More than 60% of senior centers are designated focal points for delivery of Older American Act (OAA) services—allowing older adults to access multiple services in one place.

- **What are some of the Additional Senior Center Benefits and Impacts?**

Response: According to the National Council of Aging, research shows that compared with their peers, senior center participants have higher levels of health, social interaction, and life satisfaction. Research also shows that older adults who participate in senior center programs can learn to manage and delay the onset of chronic disease and experience measurable improvements in their physical, social, spiritual, emotional, mental, and economic well-being.

Senior centers are designated as community focal points that not only provide helpful resources to older adults but serve the entire community with information on aging; support for family caregivers, training professionals and students; and development of innovative approaches to aging issues such as loneliness. Social isolation and loneliness are among top concerns for older adults. Feelings of loneliness are linked to health concerns including depression and cognitive decline, and unfortunately, health issues that many seniors experience like mobility challenges or hearing loss can exacerbate loneliness. In fact, research shows that loneliness is just as unhealthy as smoking 15 cigarettes per day.

This is a vicious cycle all too many older adults are experiencing – the National Poll on Healthy Aging found and one in three older adults say they lack regular companionship. Findings from a recent survey support this – with 52% of older adults ages 65+ experience feelings of loneliness a few times a year, 14% reported once a week, and **21% feel lonely every day**. AARP reports that Social isolation among midlife and older adults is associated with an estimated \$6.7 billion in additional Medicare spending annually.

- **What is the Value of Older Adults?**

Response:

- Older adults have a lot of wisdom and experience to share
- Older adults are often the first to volunteer for numerous city and area nonprofit organizations and groups, e.g. many charities, schools, churches.
- The majority of town Boards and Committees have senior participants
- Older adults are city, county and school taxpayers and voters
- Older adults contribute to the local economy
- Older adults have been there for you. Don't keep them waiting!
- Older adults care about the town.
- They need an Adult Activity Center!

What are the Financial Considerations?

- **How will Jenks Adult Activity Center (JAAC) be funded and what are the funds needed to build the facility?**

Response: \$3.5 million will be requested through a General Obligation ("GO") Bond. The GO Bond for JAAC will seek approval from the City Council the first week of February 2020 and then go to the voters for approval on April 7, 2020. Once approved, completion will take 3-5 years.

- **What impact will this have on my taxes?**

Response: GO Bonds are not a sales tax. They are a levy on property values. A \$3.5 million, 20 year GO Bond for JAAC, translates to an average annual mil rate of .24, or \$2.40 dollar per \$1,000 of taxable property value. The fair cash value of a \$100,000 property would increase yearly taxes by \$24.00; a \$300,000 property value = \$72.00/yr.

- **What financial support and services does the City of Jenks currently provide to the senior center, and will this change if the GO Bond for JAAC is passed?**

Response: The City of Jenks and the Jenks Senior Citizens currently have an agreement that the City provides a Community Room for senior activities and programs; a transportation van; a part-time coordinator; and a cook twice weekly. They graciously help with a sundry of other miscellaneous goods, furniture, equipment, and supplies. Presently, it is unknown as to how this agreement will be restructured. If JAAC is passed by voters this agreement will need to be renegotiated by the parties. By using a non-profit 501(c)3 status, the JAAC can apply for grants through Federal, State, Regional, and Local agencies, programs, and foundations to offset some of these expenses. We also expect a wide variety of tax-deductible donations for goods such as furniture, equipment, and supplies.

- **What Is the Current Tax Investment in Jenks Schools Compared to the Current Jenks Senior Center?**

Response:

About 75% of every property tax dollar is allocated for schools, 10% to fund county operations, with the remaining percentage distributed to other public entities and publicly supported projects as authorized by the voters ---Tulsa County Assessor Website

Presently, there are no property tax dollars allocated to any adult activity center in Jenks, or within a 10-mile radius. *The 50+ age group represent 41% of area population with **zero** property tax investments specifically supporting this group.*

- **Will the Jenks Adult Activities Center be eligible for tax deductions and grants?**

Response:

- Action is underway to change from a Nonprofit 501 c (7) to a Nonprofit 501 c (3) organization.

- 501(c)(3) nonprofits have many more provisions and purposes than other entities.
 - First, it is exempt from federal taxes. If you are eligible at the federal level, you may be eligible for exemption from state taxes. The other major provision is that donations may be tax deductible. If you have to pay state taxes, donations to a 501(c)(3) nonprofit may also be deductible from your state taxes, depending on your state's laws. Also, the post office offers special bulk rate postage discounts for nonprofit organizations.
 - A 501(c)(3) nonprofit may also be eligible for private and public grants. When you become a nonprofit exempt under Section 501(c)(3), you may also solicit charitable donations from the public. Often, government agencies and foundations will limit their charitable contributions to public entities.
- **Will the Jenks Adult Activities Center apply for grants or donations to fund this project and develop and operate programs in the center?**
Response: Using a non-profit 501(c)3 status, the JAAC will apply for grants through Federal, State, Regional, and Local agencies, programs, and foundations as well as donations.
 - **Why is it important financially for seniors (and their children) to be able to stay at home instead of going to Assisted Living or a Long-Term Care Nursing Home?**
Response:
 - Research shows that older adults who participate in senior center programs can learn to manage and delay the onset of chronic disease and experience measurable improvements in their physical, social, spiritual, emotional, mental, quality of life, and economic well-being.
 - Assisted Living and Long-Term Care in a nursing home costs \$4,000 to \$8,000 or more per month resulting in annual costs from \$48,000 to \$96,000 or more.
 - Living at home in a house or apartment is considerably less expensive even with some home care assistance.
 - *Medicare normally does not pay for Assisted Living or a Long-Term Care Nursing Home.*
 - Many family caregivers and seniors think these Long-Term Care Nursing Home costs will be taken care of by Medicaid, the joint federal and state program that provides medical assistance to impoverished people. When it comes to long-term care, this public assistance program does pay for the largest share of these services, *but only if a senior meets strict financial and functional requirements.*
 - Additionally, a Medicaid applicant must: Be age 65 or older; OR Have a permanent disability as defined by the Social Security Administration; OR Be blind.
 - Long Term Care insurance is often limited to only two or three years with expensive premiums increasing rapidly.

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: N/A NON-DEPARTMENTAL						
193348	1 -2653	OKLAHOMA UNIFORM BUILDING C	BUILDING PERMIT FEES	1/2020	PERMIT FEES DEC 20	260.00
DEPARTMENT TOTAL:					260.00	
DEPARTMENT: 231 GENERAL GOVERNMENT						
192943	1 -2199	TULSA WORLD	ADERTISING	1/2020	I0000613797-1206	30.72
193361	1 -2199	TULSA WORLD	ADVERTISING INVOICE	1/2020	I0000616801-1220	35.84
DEPARTMENT TOTAL:					66.56	
DEPARTMENT: 241 CITY PLANNER						
193168	1 -2199	TULSA WORLD	JZ 19-649 PUD 97A	1/2020	I0000614682-1211	192.00
193361	1 -2199	TULSA WORLD	ADVERTISING INVOICE	1/2020	I0000616239-1218	209.92
DEPARTMENT TOTAL:					401.92	
DEPARTMENT: 311 UNIFORMED PATROL						
193309	1 -1054	LOCKE SUPPLY	PARTS-RPR HIVE/PD LIGHTS	1/2020	38941222-00 12-11	83.64
193305	1 -1812	JENKS CAR WASH/CHAMPION'S	ABASIC CAR WASH	1/2020	4073 09-24	320.00
192558	1 -3687	911 CUSTOM LLC	NEW EQUIPMENT	1/2020	39078 01-02	2,003.19
DEPARTMENT TOTAL:					2,406.83	
DEPARTMENT: 411 FIRE SUPPRESSION						
193339	1 -1011	CECIL'S TIRE CENTER INC	BRUSH REPAIR	1/2020	1679 12-31	658.65
193367	1 -2198	MCKESSON MEDICAL-SURGICAL	LE2 PULSOX	1/2020	72734741 12-30	270.99
193232	1 -2642	WARRIORS CONCRETE	CONCRETE REPAIRS STN 2	1/2020	0001 12-27	2,500.00
193337	1 -2876	SUNDANCE OFFICE SUPPLY INC	COPY PAPER	1/2020	390355 12-30	39.79
193366	1 -3413	STANLEY STEEMER	CLEAN DAY ROOM CARPET	1/2020	12238361-8 12-27	163.00
DEPARTMENT TOTAL:					3,632.43	
DEPARTMENT: 412 FIRE VOLUNTEERS						
192218	1 -1692	SPECIAL-OPS UNIFORMS INC	CLOTHING/UNIFORMS VOLUN	1/2020	793091 01-10	873.26
193221	1 -1692	SPECIAL-OPS UNIFORMS INC	KNIT CAPS/BEANIES	1/2020	792896 12-26	449.70
193222	1 -2198	MCKESSON MEDICAL-SURGICAL	LSTATION 2 MEDICAL SUPPLIE	1/2020	71836283 12-17	125.93
193106	1 -2667	HARRIS CORPORATION PSPC	BATTERY/PARTS FOR RADIOS	1/2020	93335096 01-02	2,604.72
193107	1 -2952	SHI INTERNATIONAL CORP	HP COLOR LASER JET PRINTE	1/2020	B11036966 12-17	1,222.00
193108	1 -2952	SHI INTERNATIONAL CORP	DELL OPTIPLEX COMPUTER	1/2020	B11111614 01-02	757.88
193340	1 -3443	IMS ALLIANCE	ACCOUNTABILITY TAGS	1/2020	19-2302 12-06	23.00
DEPARTMENT TOTAL:					6,056.49	

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 521 STREET MAINTENANCE						
193309	1 -1054	LOCKE SUPPLY	PARTS-RPR HIVE/PD LIGHTS	1/2020	38996401-00 12-18	217.41
193313	1 -1092	SIGNALTEK INC	TRAFFIC CONTROL MAINT	1/2020	16702 12-16	775.50
193364	1 -1750	LOWE'S BUSINESS ACCOUNT	SUPPLIES-CHRISTMAS TREE	1/2020	01348 12-31	36.86
193314	1 -2350	DUNHAM'S ASPHALT SERVICES	IASPHALT-PTOHOLE RPRS	1/2020	253679 12-10	470.58
193431	1 -3186	J H SOLUTIONS	ELEC WORK-PARK & TOWER	1/2020	1623 01-03	160.00
190056	1 -3381	TULSA-SAPULPA UNION RAILWAY	19/20 MAINT & INSPECTION	1/2020	#JK-1219 12-31	745.84
192905	1 -3424	TAPCO	PEDESTRIAN CROSSING SIGNS	1/2020	1658975 01-07	2,025.00
DEPARTMENT TOTAL:					4,431.19	
DEPARTMENT: 522 GENERAL MAINTENANCE						
193311	1 -1321	WELDON PARTS INC	PW SHOP SUPPLIES	1/2020	2404870-00 12-23	40.00
193362	1 -1321	WELDON PARTS INC	SUPPLIES-BACKHOE BUCKET	1/2020	2408520-00 12-31	60.16
193310	1 -1457	O'REILLY AUTO PARTS	SUPPLIES-PW SHOP	1/2020	2075-180458 12-17	147.91
193363	1 -1457	O'REILLY AUTO PARTS	MISC SHOP SUPPLIES	1/2020	2075-181409 12-27	41.39
193316	1 -2761	HI-LINE	BACKSTOCK-SHOP SUPPLIES	1/2020	10746085 12-03	98.27
DEPARTMENT TOTAL:					387.73	
DEPARTMENT: 561 PARKS & GROUNDS						
193315	1 -1081	PREGLER LAWN & GARDEN INC	REPAIRS-CHAINSAWS	1/2020	141389 12-16	121.87
193386	1 -1750	LOWE'S BUSINESS ACCOUNT	SUPPLIES-STORING DECORATI	1/2020	02135 01-02	157.30
193312	1 -2503	ALL MAINTENANCE SUPPLY	JANITORIAL SUPPLIES	1/2020	00087769-01 12-19	150.75
193317	1 -3186	J H SOLUTIONS	ELEC WORK-PED BRIDGE	1/2020	1618 12-18	160.00
193431	1 -3186	J H SOLUTIONS	ELEC WORK-PARK & TOWER	1/2020	1625 01-03	160.00
DEPARTMENT TOTAL:					749.92	
FUND TOTAL:					18,393.07	

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 311 UNIFORMED PATROL						
192557	1 -3687	911 CUSTOM LLC	NEW EQUIPMENT	1/2020	39081 01-02	1,070.63
DEPARTMENT TOTAL:					1,070.63	
FUND TOTAL:					1,070.63	

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 411 ** INVALID DEPARTMENT **						
193219	1 -2747	WITMER PUBLIC SAFETY GROUP	STRUCTURAL FIRE BOOT	1/2020	E1917997 12-24	493.89
193336	1 -2747	WITMER PUBLIC SAFETY GROUP	FIREFIGHTING BOOTS	1/2020	E1899940 12-11	498.87
DEPARTMENT TOTAL:				992.76		
FUND TOTAL:				992.76		

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 321 CENTRAL DISPATCH						
193203	1 -2088	CROSS MATCH TECHNOLOGIES	INYEARY MAINT CONTRACT	1/2020	13493 01-02	2,010.97
DEPARTMENT TOTAL:				2,010.97		
FUND TOTAL:				2,010.97		

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 775 OTA/TURNPIKE						
191672	1 -2540	MONAGHAN & ASSOCIATES	FY 2020 LGL FEES SPARKMAN	1/2020	12-31 SPARKMAN LAN	2,548.53
DEPARTMENT TOTAL:					2,548.53	
FUND TOTAL:					2,548.53	

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 801 INS & CASH REIMB.						
193451	1 -3678	TRAVELERS	FLU0206 12-31	1/2020	FLU0206 12-31	1,731.00
DEPARTMENT TOTAL:					1,731.00	
FUND TOTAL:					1,731.00	
GRAND TOTAL:					26,746.96	

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 231 GENERAL GOVERNMENT						
193214	1 -3763	CRAWFORD & ASSOCIATES, P.C.LEGAL SERVICES		1/2020	13069 12-15	2,398.00
DEPARTMENT TOTAL:					2,398.00	
DEPARTMENT: 411 FIRE SUPPRESSION						
192805	1 -1119	STAPLES	OFFICE SUPPLIES	1/2020	2393637221 11-23	87.49
192959	1 -1520	TULSA AUTO SPRING CO	SUSPENSION MODIFICATION	1/2020	00360717 12-09	1,328.96
DEPARTMENT TOTAL:					1,416.45	
FUND TOTAL:					3,814.45	
GRAND TOTAL:					3,814.45	

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P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 411 FIRE SUPPRESSION						
192945	1 -3639	ADOBE	ADOBE LICENSE	1/2020	1121465300 12-11	215.53
DEPARTMENT TOTAL:					215.53	
FUND TOTAL:					215.53	
GRAND TOTAL:					215.53	

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P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 311 UNIFORMED PATROL						
190009	1 -1047	JENKS PUBLIC WORKS AUTHOR	WATER SERV JUL 19/JUN 20	1/2020	05-0230-01 JAN 20	30.99
DEPARTMENT TOTAL:					30.99	
DEPARTMENT: 411 FIRE SUPPRESSION						
190009	1 -1047	JENKS PUBLIC WORKS AUTHOR	WATER SERV JUL 19/JUN 20	1/2020	05-0160-01 JAN 20	193.09
DEPARTMENT TOTAL:					193.09	
DEPARTMENT: 521 STREET MAINTENANCE						
190007	1 -1025	EAST CENTRAL ELECTRIC	ELECTRIC JUL 19/JUN 20	1/2020	3993001 JAN 2020	1,002.36
DEPARTMENT TOTAL:					1,002.36	
DEPARTMENT: 561 PARKS & GROUNDS						
190009	1 -1047	JENKS PUBLIC WORKS AUTHOR	WATER SERV JUL 19/JUN 20	1/2020	01-2801-00 JAN 20	451.06
DEPARTMENT TOTAL:					451.06	
FUND TOTAL:					1,677.50	

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P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 321 CENTRAL DISPATCH						
190143	1 -1228	WEST PAYMENT CENTER	INVESTIAGTION SOFTWARE	1/2020	841221717 OCT 19	360.82
DEPARTMENT TOTAL:				360.82		
FUND TOTAL:				360.82		
GRAND TOTAL:				2,038.32		

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P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 315 POLICE RESERVE						
190836A	1 -1338	COMPSOURCE MUTUAL INSURANCE	WORKERS COMP	1/2020	1023028063A 12-23-	228.92
DEPARTMENT TOTAL:				228.92		
DEPARTMENT: 411 FIRE SUPPRESSION						
190836	1 -1338	COMPSOURCE MUTUAL INSURANCE	WORKERS COMP	1/2020	1023028063 12-23	12,010.28
DEPARTMENT TOTAL:				12,010.28		
FUND TOTAL:				12,239.20		
GRAND TOTAL:				12,239.20		

PAID UNAPPROVED

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 214 CITY ATTORNEY						
190202	1 -1228	WEST PAYMENT CENTER	841586294 DEC 19 - 01-01	1/2020	841586294 DEC 19	347.16
DEPARTMENT TOTAL:						347.16
DEPARTMENT: 245 COMMUNITY DEVELOPMENT						
190012	1 -1701	PUBLIC SERVICE CO. OF OKL	ELECTRIC SERV 2019/2020	1/2020	95094298213 JAN 20	310.03
DEPARTMENT TOTAL:						310.03
DEPARTMENT: 311 UNIFORMED PATROL						
190012	1 -1701	PUBLIC SERVICE CO. OF OKL	ELECTRIC SERV 2019/2020	1/2020	95471419218 JAN 20	272.97
193224	1 -3312	WEX BANK-QUIKTRIP	62945984 12-23-19 FUEL	1/2020	62945984 12-23-19	3,258.97
DEPARTMENT TOTAL:						3,531.94
DEPARTMENT: 315 POLICE RESERVE						
193224	1 -3312	WEX BANK-QUIKTRIP	62945984 12-23-19 FUEL	1/2020	62945984 12-23-19	584.31
DEPARTMENT TOTAL:						584.31
DEPARTMENT: 411 FIRE SUPPRESSION						
190012	1 -1701	PUBLIC SERVICE CO. OF OKL	ELECTRIC SERV 2019/2020	1/2020	95483091716 JAN 20	1,249.44
193306	1 -1750	LOWE'S BUSINESS ACCOUNT	STN 2 MAINT SUPPLIES	1/2020	13770 12-30	37.29
193341	1 -1750	LOWE'S BUSINESS ACCOUNT	FORCIBLE DOOR PROP WOOD	1/2020	2931 11-25	68.48
193225	1 -2025	TIMMONS OIL COMPANY INC	BI31920 12-19-19 DIESEL	1/2020	BI31920 12-19-19	357.70
190051	1 -2586	A T & T MOBILITY	287284955796X01032020 JAN	1/2020	520-5704 JAN 2020	390.25
193224	1 -3312	WEX BANK-QUIKTRIP	62945984 12-23-19 FUEL	1/2020	62945984 12-23-19	1,782.41
DEPARTMENT TOTAL:						3,885.57
DEPARTMENT: 521 STREET MAINTENANCE						
190011	1 -1082	PUBLIC SERVICE COMPANY OF	ELECTRIC JUL 19/JUN 20	1/2020	95015815103 JAN 20	8,529.90
193318	1 -1750	LOWE'S BUSINESS ACCOUNT	TRAFFIC COUNTER SUPPLIES	1/2020	10589 12-16	85.38
193225	1 -2025	TIMMONS OIL COMPANY INC	BI31920 12-19-19 DIESEL	1/2020	BI31920 12-19-19	107.31
190008	1 -2027	O G & E ELECTRIC SERVICES	ELECTRIC JUL 19/JUN 20	1/2020	128515769-7 JAN 20	25.51
193224	1 -3312	WEX BANK-QUIKTRIP	62945984 12-23-19 FUEL	1/2020	62945984 12-23-19	303.23
DEPARTMENT TOTAL:						9,051.33

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P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 561 PARKS & GROUNDS						
190011	1 -1082	PUBLIC SERVICE COMPANY OF	ELECTRIC JUL 19/JUN 20	1/2020	95362998221 JAN 20	656.43
193319	1 -1750	LOWE'S BUSINESS ACCOUNT	SUPPLIES-REPAIR CABLES	1/2020	14690 12-27	7.52
193225	1 -2025	TIMMONS OIL COMPANY INC	BI31920 12-19-19 DIESEL	1/2020	BI31920 12-19-19	107.31
193224	1 -3312	WEX BANK-QUIKTRIP	62945984 12-23-19 FUEL	1/2020	62945984 12-23-19	47.90
DEPARTMENT TOTAL:					819.16	
DEPARTMENT: 562 ANIMAL CONTROL						
190012	1 -1701	PUBLIC SERVICE CO. OF OKL	ELECTRIC SERV 2019/2020	1/2020	95323119305 JAN 20	154.98
193224	1 -3312	WEX BANK-QUIKTRIP	62945984 12-23-19 FUEL	1/2020	62945984 12-23-19	112.89
DEPARTMENT TOTAL:					267.87	
FUND TOTAL:					18,797.37	

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P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 411 ** INVALID DEPARTMENT **						
193307	1 -1750	LOWE'S BUSINESS ACCOUNT	RESCUE TOOLS	1/2020	13062 12-30	169.10
DEPARTMENT TOTAL:					169.10	
FUND TOTAL:					169.10	

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P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 321 CENTRAL DISPATCH						
190143	1 -1228	WEST PAYMENT CENTER	INVESTIAGTION SOFTWARE	1/2020	841569313 DEC 19	180.41
DEPARTMENT TOTAL:					180.41	
FUND TOTAL:					180.41	

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P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 801 INS & CASH REIMB.						
193358	1 -2013	BENEFIT RESOURCES INC	FSA PARTICIPANTS FEES	1/2020	18-7077 01-01-2020	129.00
DEPARTMENT TOTAL:				129.00		
FUND TOTAL:				129.00		
GRAND TOTAL:				19,275.88		

PAID UNAPPROVED

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 311 UNIFORMED PATROL						
193349	1 -3312	WEX BANK-QUIKTRIP	63043527 12-31-19 FUEL	1/2020	63043527 12-31-19	158.54
DEPARTMENT TOTAL:					158.54	
FUND TOTAL:					158.54	
GRAND TOTAL:					158.54	

PAID UNAPPROVED

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 321 CENTRAL DISPATCH						
185734	1 -2667	HARRIS CORPORATION	PSPC 70110154 05-10	1/2020	70110154 05-10	695.00
DEPARTMENT TOTAL:					695.00	
FUND TOTAL:					695.00	
GRAND TOTAL:					695.00	

PAID UNAPPROVED

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 311 UNIFORMED PATROL						
193320	1 -2667	HARRIS CORPORATION PSPC	RADIO REPAIR	1/2020	93331341 11-06-19	1,485.69
DEPARTMENT TOTAL:						1,485.69
FUND TOTAL:						1,485.69
GRAND TOTAL:						1,485.69

PAID UNAPPROVED

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 221 MUNICIPAL COURT						
193426	1 -2586	A T & T MOBILITY	287291914369X01032020 JAN	1/2020	704-4299 JAN 2020	59.74
DEPARTMENT TOTAL:					59.74	
DEPARTMENT: 245 COMMUNITY DEVELOPMENT						
190013	1 -2101	AMERICAN WASTE CONTROL INC TRASH SERV 2019/2020		1/2020	0005463100 JAN 20	57.05
DEPARTMENT TOTAL:					57.05	
DEPARTMENT: 311 UNIFORMED PATROL						
193426	1 -2586	A T & T MOBILITY	287291914369X01032020 JAN	1/2020	237-6573 JAN 2020	1,828.22
DEPARTMENT TOTAL:					1,828.22	
DEPARTMENT: 411 FIRE SUPPRESSION						
190013	1 -2101	AMERICAN WASTE CONTROL INC TRASH SERV 2019/2020		1/2020	0005461586 JAN 20	145.94
DEPARTMENT TOTAL:					145.94	
DEPARTMENT: 512 PROTECTIVE INSPECTIONS						
193426	1 -2586	A T & T MOBILITY	287291914369X01032020 JAN	1/2020	808-7096 JAN 2020	59.74
DEPARTMENT TOTAL:					59.74	
DEPARTMENT: 561 PARKS & GROUNDS						
190013	1 -2101	AMERICAN WASTE CONTROL INC TRASH SERV 2019/2020		1/2020	0005461776 JAN 20	135.78
DEPARTMENT TOTAL:					135.78	
FUND TOTAL:					2,286.47	
GRAND TOTAL:					2,286.47	

PAID UNAPPROVED

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 245 COMMUNITY DEVELOPMENT						
190048	1 -1073	OKLAHOMA NATURAL GAS	GAS SERVICE JUL 19/JUN 20	1/2020	113491891 JAN 2020	394.34
DEPARTMENT TOTAL:					394.34	
DEPARTMENT: 411 FIRE SUPPRESSION						
190048	1 -1073	OKLAHOMA NATURAL GAS	GAS SERVICE JUL 19/JUN 20	1/2020	109782864 JAN 2020	550.36
DEPARTMENT TOTAL:					550.36	
DEPARTMENT: 562 ANIMAL CONTROL						
190048	1 -1073	OKLAHOMA NATURAL GAS	GAS SERVICE JUL 19/JUN 20	1/2020	251827736 JAN 2020	144.04
DEPARTMENT TOTAL:					144.04	
FUND TOTAL:					1,088.74	

PAID UNAPPROVED

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 321 CENTRAL DISPATCH						
190016	1 -2542	A T & T	91815400606522 JAN 2020	1/2020	15400606522 JAN 20	236.90
DEPARTMENT TOTAL:						236.90
FUND TOTAL:						236.90
GRAND TOTAL:						1,325.64

PAID UNAPPROVED

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 862 ELWOOD/111TH ST INTERSECT						
145830	1 -1326	OKLA DEPT OF TRANSPORTATION	ELWOOD/111TH INTERSECTION	1/2020	25212(04)-5 12-23	256,000.00
DEPARTMENT TOTAL:				256,000.00		
FUND TOTAL:				256,000.00		
GRAND TOTAL:				256,000.00		

PAID UNAPPROVED

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 862 ELWOOD AVE/111TH INTER.						
166033	1 -1326	OKLA DEPT OF TRANSPORTATION	111TH/ELWOOD INTERSECTION	1/2020	25212(04)-5 12-23-	802,000.00
DEPARTMENT TOTAL:				802,000.00		
FUND TOTAL:				802,000.00		
GRAND TOTAL:				802,000.00		

PAID UNAPPROVED

P.O.#	VENDOR #	NAME	SUMMARY DESCRIPTION	DATE	INVOICE	AMOUNT
DEPARTMENT: 862 ELWOOD/111TH ST INTERSECT						
193476	1 -1326	OKLA DEPT OF TRANSPORTATION	25212(04)-5 111TH/ELWOOD	1/2020	25212(04)-5 12-23.	708,711.99
DEPARTMENT TOTAL:				708,711.99		
FUND TOTAL:				708,711.99		
GRAND TOTAL:				708,711.99		

PAID UNAPPROVED

GENERAL FUND ENCUMBRANCES AND EXPENDITURES

Payroll January 1, 2020 through January 15, 2020
PAID UNAPPROVED

Payroll for employees 150,000.00

Additional payroll benefits and costs for approval January 15, 2020

BancFirst	Federal Tax Deposit	17,500.00
BancFirst	FICA and Medicare Taxes	7,000.00
BancFirst	State Withholding Tax	6,200.00
Ultipro	Service fee	-
Benefits Resoures, Inc	Unreimbursed Medical	300.00
Jenks FOP	Withholdings	500.00
Jenks Firefighters Local	Dues	560.00
ICMA Retirement 401	Contributions to Retirement	2,750.00
ICMA Retirement 457	Contributions to Retirement	1,250.00
Ok Firemen's Pension	Contributions to General Fund	9,750.00
Ok Police Pension	Contributions to General Fund	11,000.00
Firefighters	Cleaning allowance	500.00
Police Officers	Cleaning allowance	750.00
Dispatchers	Cleaning allowance	200.00
STREET MAINTENANCE	Cleaning allowance	100.00
PARKS AND GROUNDS	Cleaning allowance	100.00
ANIMAL CONTROL	Cleaning allowance	50.00
Inspectors	Cleaning allowance	50.00
Garnishments	Misc Garnishments	400.00
	total	58,960.00



JENKS FIRE & RESCUE MONTHLY RUN REPORTS December 2019

Prepared by: Fire Chief Greg Ostrum

Jenks Fire & Rescue

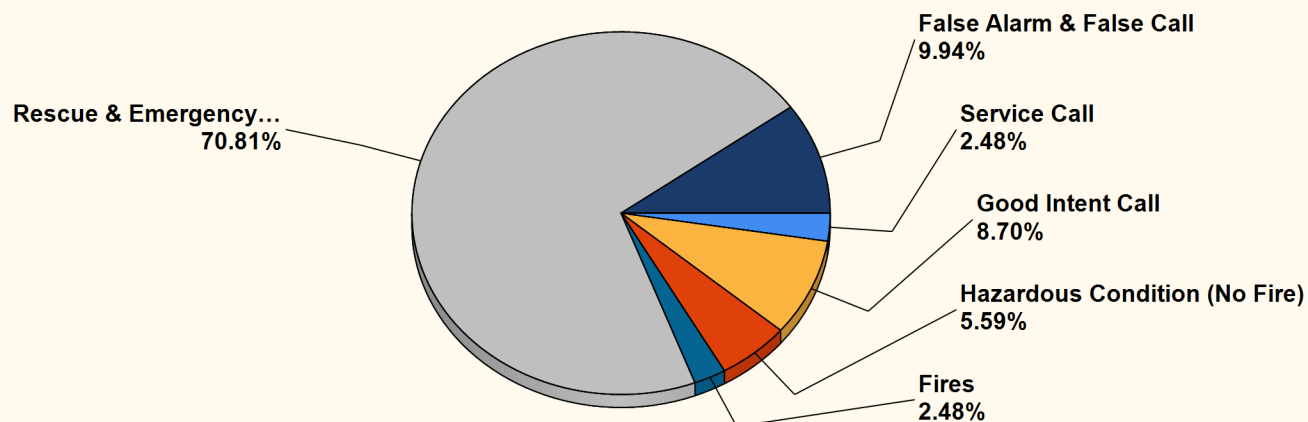
Jenks, OK

This report was generated on 1/9/2020 3:07:18 PM



Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 12/01/2019 | End Date: 12/31/2019



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	4	2.48%
Rescue & Emergency Medical Service	114	70.81%
Hazardous Condition (No Fire)	9	5.59%
Service Call	4	2.48%
Good Intent Call	14	8.70%
False Alarm & False Call	16	9.94%
TOTAL	161	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.



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Doc Id: 553

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Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
111 - Building fire	1	0.62%
143 - Grass fire	3	1.86%
311 - Medical assist, assist EMS crew	37	22.98%
320 - Emergency medical service, other	11	6.83%
321 - EMS call, excluding vehicle accident with injury	56	34.78%
322 - Motor vehicle accident with injuries	7	4.35%
324 - Motor vehicle accident with no injuries.	3	1.86%
412 - Gas leak (natural gas or LPG)	4	2.48%
422 - Chemical spill or leak	1	0.62%
442 - Overheated motor	1	0.62%
462 - Aircraft standby	1	0.62%
463 - Vehicle accident, general cleanup	2	1.24%
531 - Smoke or odor removal	1	0.62%
554 - Assist invalid	3	1.86%
600 - Good intent call, other	1	0.62%
611 - Dispatched & cancelled en route	7	4.35%
622 - No incident found on arrival at dispatch address	3	1.86%
652 - Steam, vapor, fog or dust thought to be smoke	1	0.62%
671 - HazMat release investigation w/no HazMat	2	1.24%
700 - False alarm or false call, other	5	3.11%
721 - Bomb scare - no bomb	1	0.62%
730 - System malfunction, other	3	1.86%
733 - Smoke detector activation due to malfunction	3	1.86%
743 - Smoke detector activation, no fire - unintentional	3	1.86%
745 - Alarm system activation, no fire - unintentional	1	0.62%
TOTAL INCIDENTS:	161	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Jenks Fire & Rescue

Jenks, OK

This report was generated on 1/9/2020 3:08:47 PM



Incident Type Count per Station for Date Range

Start Date: 12/01/2019 | End Date: 12/31/2019

INCIDENT TYPE	# INCIDENTS
Station: 1 - STATION 1	
111 - Building fire	1
311 - Medical assist, assist EMS crew	25
320 - Emergency medical service, other	3
321 - EMS call, excluding vehicle accident with injury	30
322 - Motor vehicle accident with injuries	4
324 - Motor vehicle accident with no injuries.	2
412 - Gas leak (natural gas or LPG)	1
462 - Aircraft standby	1
463 - Vehicle accident, general cleanup	2
554 - Assist invalid	1
600 - Good intent call, other	1
611 - Dispatched & cancelled en route	5
622 - No incident found on arrival at dispatch address	1
652 - Steam, vapor, fog or dust thought to be smoke	1
671 - HazMat release investigation w/no HazMat	2
700 - False alarm or false call, other	4
721 - Bomb scare - no bomb	1
730 - System malfunction, other	3
733 - Smoke detector activation due to malfunction	1
743 - Smoke detector activation, no fire - unintentional	1
745 - Alarm system activation, no fire - unintentional	1

Incidents for 1 - STATION 1: 91

Station: 2 - STATION 2	
143 - Grass fire	3
311 - Medical assist, assist EMS crew	12
320 - Emergency medical service, other	8
321 - EMS call, excluding vehicle accident with injury	26
322 - Motor vehicle accident with injuries	3
324 - Motor vehicle accident with no injuries.	1

Only REVIEWED incidents included.



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INCIDENT TYPE	# INCIDENTS
412 - Gas leak (natural gas or LPG)	3
422 - Chemical spill or leak	1
442 - Overheated motor	1
531 - Smoke or odor removal	1
554 - Assist invalid	2
611 - Dispatched & cancelled en route	2
622 - No incident found on arrival at dispatch address	2
700 - False alarm or false call, other	1
733 - Smoke detector activation due to malfunction	2
743 - Smoke detector activation, no fire - unintentional	2

Incidents for 2 - STATION 2: 70

Only REVIEWED incidents included.

Jenks Fire & Rescue

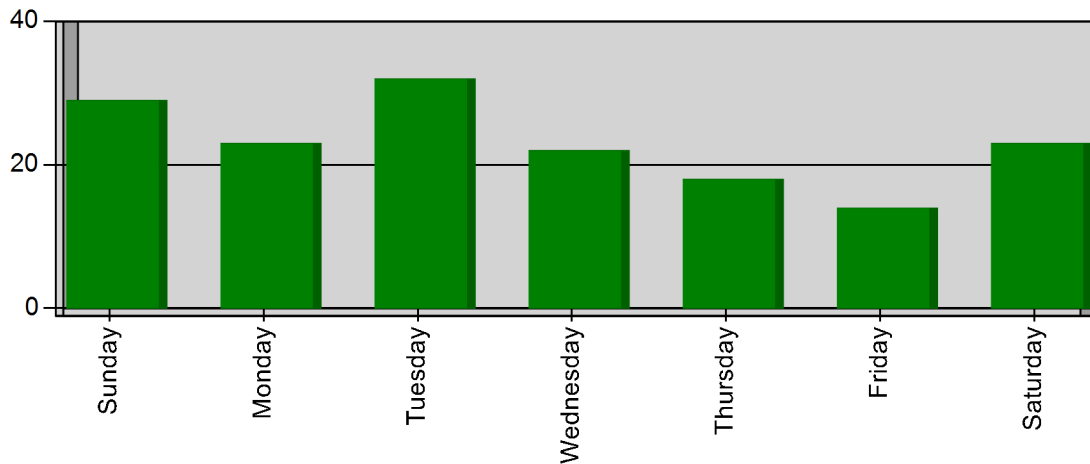
Jenks, OK

This report was generated on 1/9/2020 3:09:25 PM



Incidents by Day of the Week for Date Range

Start Date: 12/01/2019 | End Date: 12/31/2019



DAY OF THE WEEK	# INCIDENTS
Sunday	29
Monday	23
Tuesday	32
Wednesday	22
Thursday	18
Friday	14
Saturday	23
TOTAL	161

Only REVIEWED incidents included



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Doc Id: 445

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Jenks Fire & Rescue

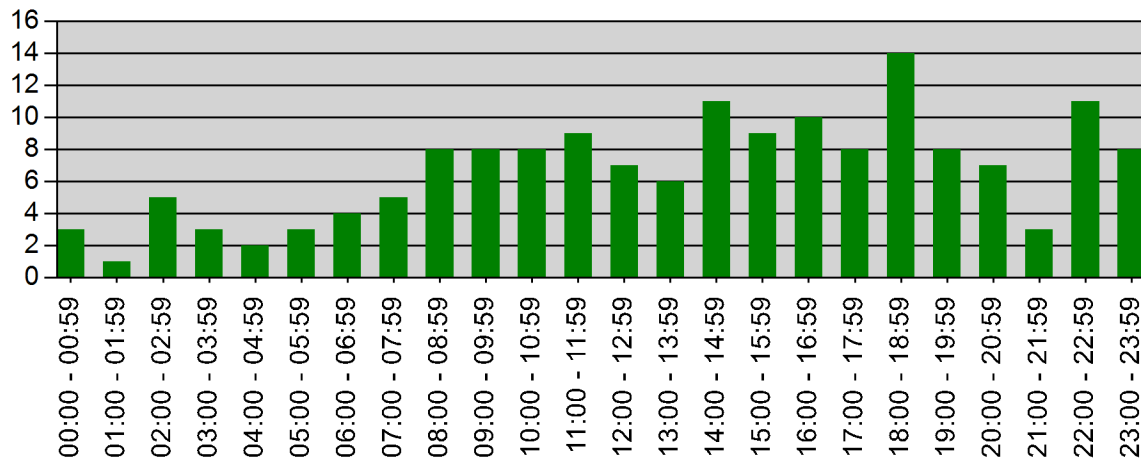
Jenks, OK

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Incidents by Hour for Date Range

Start Date: 12/01/2019 | End Date: 12/31/2019



Hour	# of CALLS
00:00 - 00:59	3
01:00 - 01:59	1
02:00 - 02:59	5
03:00 - 03:59	3
04:00 - 04:59	2
05:00 - 05:59	3
06:00 - 06:59	4
07:00 - 07:59	5
08:00 - 08:59	8
09:00 - 09:59	8
10:00 - 10:59	8
11:00 - 11:59	9
12:00 - 12:59	7
13:00 - 13:59	6
14:00 - 14:59	11
15:00 - 15:59	9
16:00 - 16:59	10
17:00 - 17:59	8
18:00 - 18:59	14

Only REVIEWED incidents included



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HOUR	# of CALLS
19:00 - 19:59	8
20:00 - 20:59	7
21:00 - 21:59	3
22:00 - 22:59	11
23:00 - 23:59	8

Only REVIEWED incidents included



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Doc Id: 19

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Jenks Fire & Rescue

Jenks, OK

This report was generated on 1/9/2020 3:10:43 PM



Code Hours Summary per Training Code For Date Range

Training Code(s): All Training Codes | Start Date: 12/01/2019 | End Date: 12/31/2019

Total Training Hours By Code		
Total Hours for Training Code: Administrative duties and functions		4:00
Total Hours for Training Code: Aerial operations		22:00
Total Hours for Training Code: Building inspections		3:00
Total Hours for Training Code: Documentation		6:00
Total Hours for Training Code: Driver training		41:30
Total Hours for Training Code: Effective interpersonal communication		1:45
Total Hours for Training Code: Emergency Reporting System		5:00
Total Hours for Training Code: FFI Skills		2:00
Total Hours for Training Code: Fire behavior		4:05
Total Hours for Training Code: Fire detection, alarms and suppression systems		6:00
Total Hours for Training Code: Fire hose		8:00
Total Hours for Training Code: Fire streams		2:00
Total Hours for Training Code: Firefighter orientation		1:30
Total Hours for Training Code: Forcible entry		6:00
Total Hours for Training Code: General		21:30
Total Hours for Training Code: High and low angle		5:00
Total Hours for Training Code: ICS		23:00
Total Hours for Training Code: Inspection, maintenance and repair		1:00
Total Hours for Training Code: Inspections		25:00
Total Hours for Training Code: Leadership		3:00
Total Hours for Training Code: Lesson plan development		1:30
Total Hours for Training Code: Loss control		1:00
Total Hours for Training Code: Principles of learning		1:00
Total Hours for Training Code: Pump operations		129:30
Total Hours for Training Code: Rapid intervention team		3:00
Total Hours for Training Code: Ropes, knots and rigging		48:05
Total Hours for Training Code: Safety		6:00
Total Hours for Training Code: Safety & health		35:00
Total Hours for Training Code: Streets and addresses		2:00
Total Hours for Training Code: Vehicle extrication		3:00
Total Hours for Training Code: Ventilation		4:15
Totals for all selected Training Codes 12/1/2019 - 12/31/2019		23 personnel 425:40

Displays the total training hours per for each of the selected Training Codes. NOTE that this report only applies to accounts that are set to Track Hours by Training Code. Archived Training Codes are not included in this report. This report also includes hours for non-agency Personnel. This report pulls training hours from the Training Code Hours field on the Info Page.



JENKS FIRE & RESCUE RUN REPORTS Comparison 2018 / 2019

Jenks Fire & Rescue

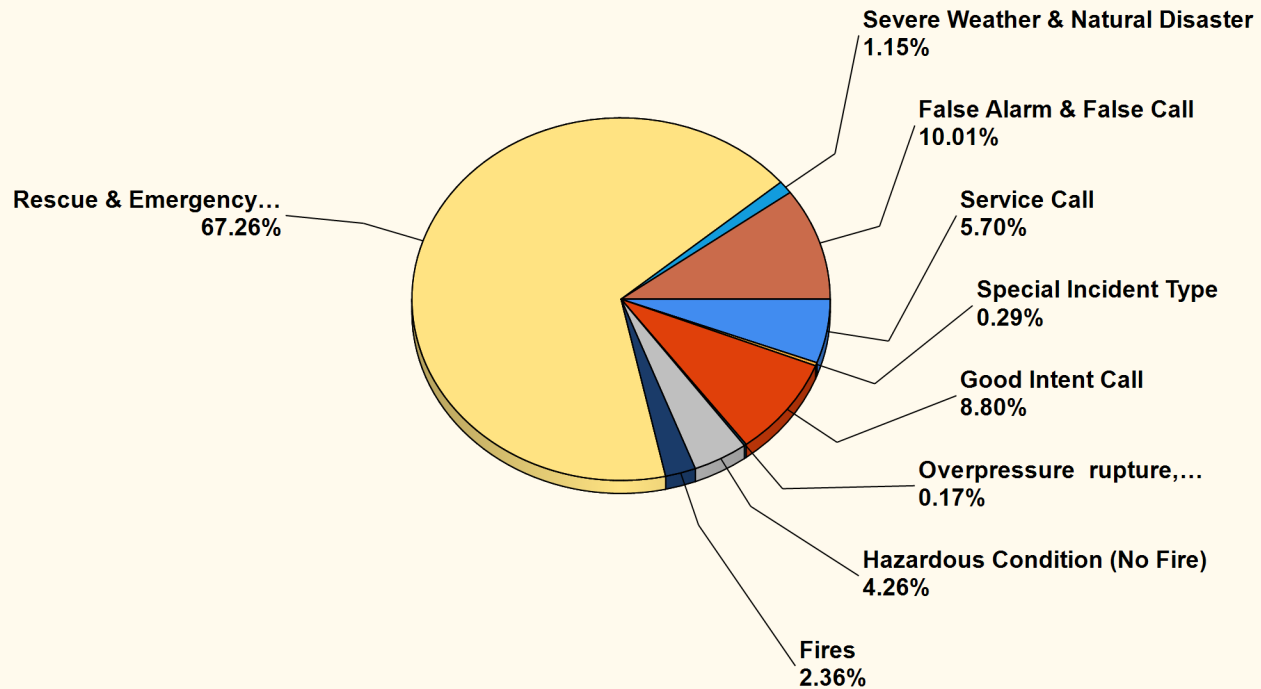
Jenks, OK

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Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 01/01/2019 | End Date: 12/31/2019



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	41	2.36%
Overpressure rupture, explosion, overheating - no fire	3	0.17%
Rescue & Emergency Medical Service	1169	67.26%
Hazardous Condition (No Fire)	74	4.26%
Service Call	99	5.70%
Good Intent Call	153	8.80%
False Alarm & False Call	174	10.01%
Severe Weather & Natural Disaster	20	1.15%
Special Incident Type	5	0.29%
TOTAL	1738	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
100 - Fire, other	7	0.40%
111 - Building fire	6	0.35%
112 - Fires in structure other than in a building	1	0.06%
113 - Cooking fire, confined to container	5	0.29%
131 - Passenger vehicle fire	5	0.29%
138 - Off-road vehicle or heavy equipment fire	1	0.06%
140 - Natural vegetation fire, other	3	0.17%
142 - Brush or brush-and-grass mixture fire	2	0.12%
143 - Grass fire	5	0.29%
151 - Outside rubbish, trash or waste fire	4	0.23%
160 - Special outside fire, other	1	0.06%
162 - Outside equipment fire	1	0.06%
221 - Overpressure rupture of air or gas pipe/pipeline	1	0.06%
251 - Excessive heat, scorch burns with no ignition	2	0.12%
300 - Rescue, EMS incident, other	5	0.29%
311 - Medical assist, assist EMS crew	309	17.78%
320 - Emergency medical service, other	100	5.75%
321 - EMS call, excluding vehicle accident with injury	610	35.10%
322 - Motor vehicle accident with injuries	87	5.01%
323 - Motor vehicle/pedestrian accident (MV Ped)	3	0.17%
324 - Motor vehicle accident with no injuries.	37	2.13%
342 - Search for person in water	3	0.17%
350 - Extrication, rescue, other	1	0.06%
352 - Extrication of victim(s) from vehicle	2	0.12%
353 - Removal of victim(s) from stalled elevator	3	0.17%
360 - Water & ice-related rescue, other	1	0.06%
361 - Swimming/recreational water areas rescue	1	0.06%
363 - Swift water rescue	2	0.12%
365 - Watercraft rescue	1	0.06%
370 - Electrical rescue, other	1	0.06%
371 - Electrocution or potential electrocution	1	0.06%
381 - Rescue or EMS standby	2	0.12%
410 - Combustible/flammable gas/liquid condition, other	2	0.12%
411 - Gasoline or other flammable liquid spill	1	0.06%
412 - Gas leak (natural gas or LPG)	32	1.84%
422 - Chemical spill or leak	2	0.12%
424 - Carbon monoxide incident	3	0.17%
440 - Electrical wiring/equipment problem, other	3	0.17%
441 - Heat from short circuit (wiring), defective/worn	1	0.06%
442 - Overheated motor	5	0.29%
444 - Power line down	4	0.23%
445 - Arcing, shorted electrical equipment	5	0.29%
460 - Accident, potential accident, other	1	0.06%
462 - Aircraft standby	6	0.35%
463 - Vehicle accident, general cleanup	9	0.52%
500 - Service Call, other	4	0.23%
510 - Person in distress, other	2	0.12%
511 - Lock-out	2	0.12%
520 - Water problem, other	1	0.06%
522 - Water or steam leak	1	0.06%
531 - Smoke or odor removal	3	0.17%
542 - Animal rescue	2	0.12%
550 - Public service assistance, other	14	0.81%
551 - Assist police or other governmental agency	13	0.75%
552 - Police matter	2	0.12%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
553 - Public service	17	0.98%
554 - Assist invalid	29	1.67%
561 - Unauthorized burning	9	0.52%
600 - Good intent call, other	7	0.40%
611 - Dispatched & cancelled en route	104	5.98%
621 - Wrong location	1	0.06%
622 - No incident found on arrival at dispatch address	13	0.75%
650 - Steam, other gas mistaken for smoke, other	1	0.06%
651 - Smoke scare, odor of smoke	16	0.92%
652 - Steam, vapor, fog or dust thought to be smoke	4	0.23%
653 - Smoke from barbecue, tar kettle	1	0.06%
671 - HazMat release investigation w/no HazMat	5	0.29%
672 - Biological hazard investigation, none found	1	0.06%
700 - False alarm or false call, other	46	2.65%
710 - Malicious, mischievous false call, other	1	0.06%
715 - Local alarm system, malicious false alarm	1	0.06%
721 - Bomb scare - no bomb	2	0.12%
730 - System malfunction, other	8	0.46%
731 - Sprinkler activation due to malfunction	1	0.06%
733 - Smoke detector activation due to malfunction	24	1.38%
734 - Heat detector activation due to malfunction	1	0.06%
735 - Alarm system sounded due to malfunction	17	0.98%
736 - CO detector activation due to malfunction	12	0.69%
740 - Unintentional transmission of alarm, other	5	0.29%
743 - Smoke detector activation, no fire - unintentional	17	0.98%
744 - Detector activation, no fire - unintentional	7	0.40%
745 - Alarm system activation, no fire - unintentional	26	1.50%
746 - Carbon monoxide detector activation, no CO	5	0.29%
751 - Biological hazard, malicious false report	1	0.06%
812 - Flood assessment	11	0.63%
813 - Wind storm, tornado/hurricane assessment	6	0.35%
814 - Lightning strike (no fire)	3	0.17%
900 - Special type of incident, other	1	0.06%
911 - Citizen complaint	4	0.23%
TOTAL INCIDENTS:	1738	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Jenks Fire & Rescue

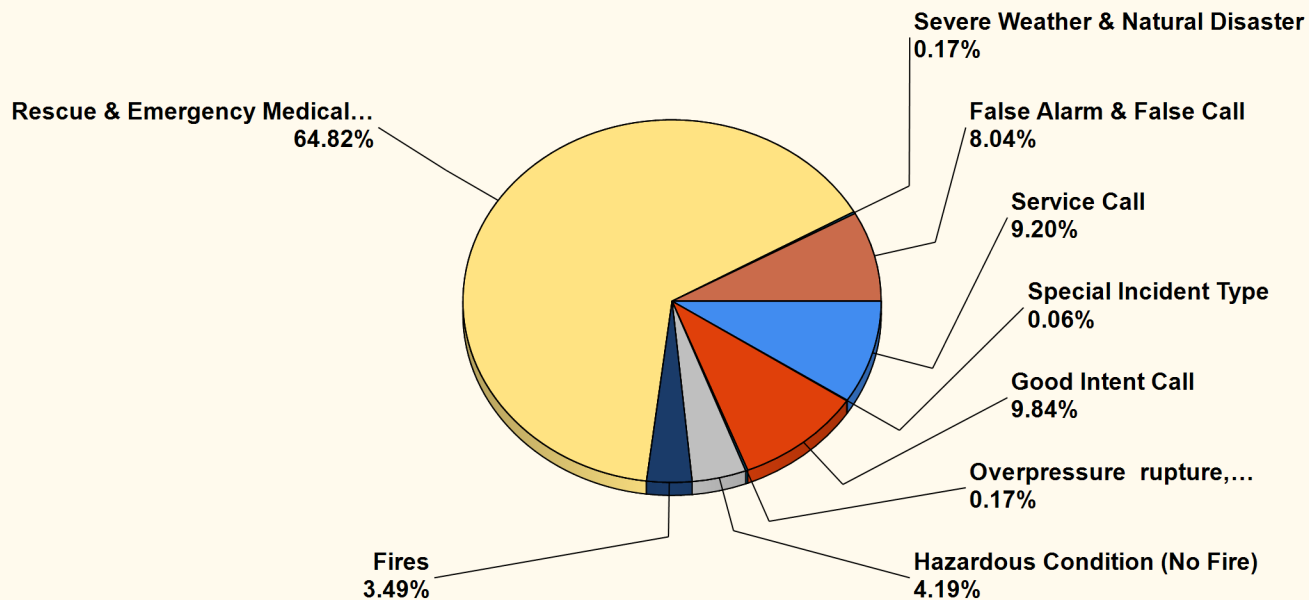
Jenks, OK

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Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 01/01/2018 | End Date: 12/31/2018



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	60	3.49%
Overpressure rupture, explosion, overheating - no fire	3	0.17%
Rescue & Emergency Medical Service	1113	64.82%
Hazardous Condition (No Fire)	72	4.19%
Service Call	158	9.20%
Good Intent Call	169	9.84%
False Alarm & False Call	138	8.04%
Severe Weather & Natural Disaster	3	0.17%
Special Incident Type	1	0.06%
TOTAL	1717	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.



**EMERGENCY
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Doc Id: 553

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Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
100 - Fire, other	4	0.23%
111 - Building fire	9	0.52%
113 - Cooking fire, confined to container	4	0.23%
118 - Trash or rubbish fire, contained	2	0.12%
130 - Mobile property (vehicle) fire, other	5	0.29%
131 - Passenger vehicle fire	6	0.35%
132 - Road freight or transport vehicle fire	1	0.06%
138 - Off-road vehicle or heavy equipment fire	1	0.06%
140 - Natural vegetation fire, other	1	0.06%
142 - Brush or brush-and-grass mixture fire	9	0.52%
143 - Grass fire	10	0.58%
150 - Outside rubbish fire, other	2	0.12%
151 - Outside rubbish, trash or waste fire	3	0.17%
154 - Dumpster or other outside trash receptacle fire	2	0.12%
162 - Outside equipment fire	1	0.06%
200 - Overpressure rupture, explosion, overheat other	1	0.06%
221 - Overpressure rupture of air or gas pipe/pipeline	1	0.06%
251 - Excessive heat, scorch burns with no ignition	1	0.06%
300 - Rescue, EMS incident, other	4	0.23%
311 - Medical assist, assist EMS crew	194	11.30%
320 - Emergency medical service, other	60	3.49%
321 - EMS call, excluding vehicle accident with injury	747	43.51%
322 - Motor vehicle accident with injuries	57	3.32%
323 - Motor vehicle/pedestrian accident (MV Ped)	3	0.17%
324 - Motor vehicle accident with no injuries.	34	1.98%
331 - Lock-in (if lock out , use 511)	5	0.29%
342 - Search for person in water	1	0.06%
350 - Extrication, rescue, other	2	0.12%
357 - Extrication of victim(s) from machinery	1	0.06%
371 - Electrocution or potential electrocution	1	0.06%
381 - Rescue or EMS standby	4	0.23%
400 - Hazardous condition, other	1	0.06%
410 - Combustible/flammable gas/liquid condition, other	1	0.06%
412 - Gas leak (natural gas or LPG)	22	1.28%
413 - Oil or other combustible liquid spill	3	0.17%
422 - Chemical spill or leak	2	0.12%
424 - Carbon monoxide incident	6	0.35%
440 - Electrical wiring/equipment problem, other	6	0.35%
441 - Heat from short circuit (wiring), defective/worn	3	0.17%
442 - Overheated motor	2	0.12%
444 - Power line down	7	0.41%
445 - Arcing, shorted electrical equipment	6	0.35%
451 - Biological hazard, confirmed or suspected	1	0.06%
460 - Accident, potential accident, other	1	0.06%
462 - Aircraft standby	3	0.17%
463 - Vehicle accident, general cleanup	8	0.47%
500 - Service Call, other	8	0.47%
510 - Person in distress, other	6	0.35%
511 - Lock-out	8	0.47%
512 - Ring or jewelry removal	1	0.06%
531 - Smoke or odor removal	6	0.35%
542 - Animal rescue	3	0.17%
550 - Public service assistance, other	57	3.32%
551 - Assist police or other governmental agency	21	1.22%
552 - Police matter	1	0.06%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
553 - Public service	12	0.70%
554 - Assist invalid	20	1.16%
561 - Unauthorized burning	13	0.76%
571 - Cover assignment, standby, moveup	2	0.12%
600 - Good intent call, other	22	1.28%
611 - Dispatched & cancelled en route	105	6.12%
622 - No incident found on arrival at dispatch address	9	0.52%
631 - Authorized controlled burning	7	0.41%
651 - Smoke scare, odor of smoke	20	1.16%
652 - Steam, vapor, fog or dust thought to be smoke	2	0.12%
653 - Smoke from barbecue, tar kettle	1	0.06%
671 - HazMat release investigation w/no HazMat	3	0.17%
700 - False alarm or false call, other	48	2.80%
711 - Municipal alarm system, malicious false alarm	1	0.06%
730 - System malfunction, other	9	0.52%
733 - Smoke detector activation due to malfunction	15	0.87%
735 - Alarm system sounded due to malfunction	12	0.70%
736 - CO detector activation due to malfunction	2	0.12%
740 - Unintentional transmission of alarm, other	14	0.82%
743 - Smoke detector activation, no fire - unintentional	13	0.76%
744 - Detector activation, no fire - unintentional	5	0.29%
745 - Alarm system activation, no fire - unintentional	14	0.82%
746 - Carbon monoxide detector activation, no CO	5	0.29%
814 - Lightning strike (no fire)	3	0.17%
900 - Special type of incident, other	1	0.06%
TOTAL INCIDENTS:	1717	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.



JENKS FIRE & RESCUE YEAR END RUN REPORT 2019

Prepared by: Fire Chief Greg Ostrum

Jenks Fire & Rescue

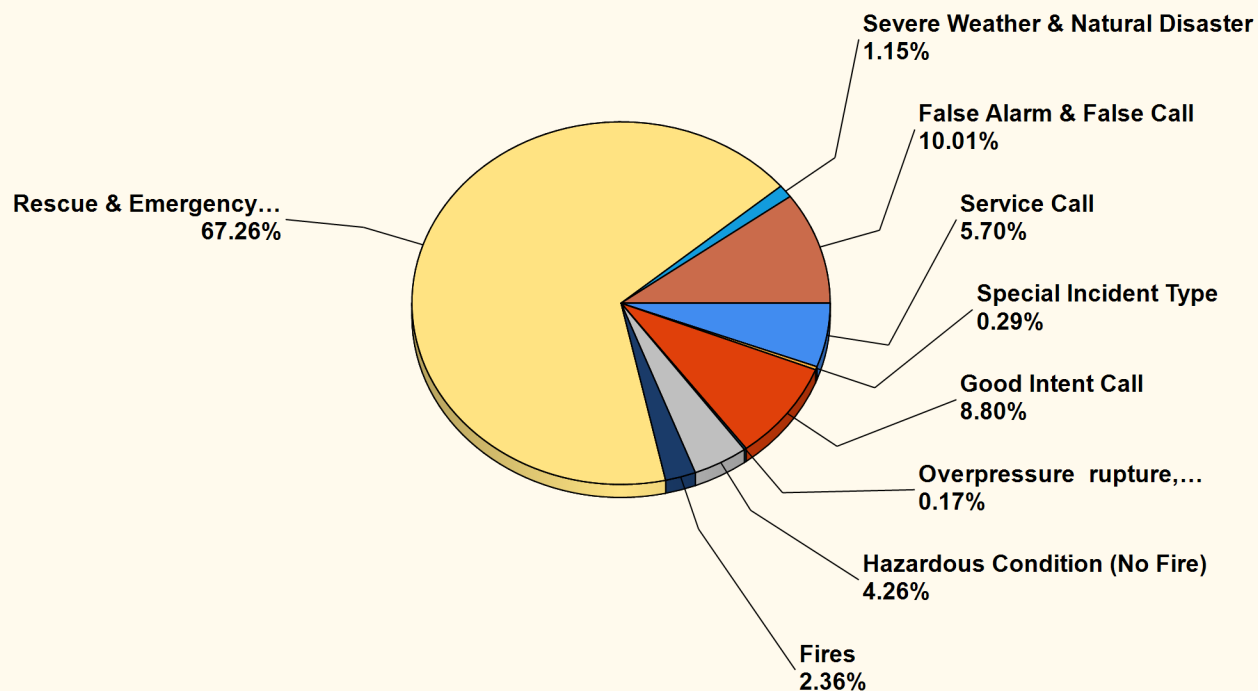
Jenks, OK

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Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 01/01/2019 | End Date: 12/31/2019



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	41	2.36%
Overpressure rupture, explosion, overheating - no fire	3	0.17%
Rescue & Emergency Medical Service	1169	67.26%
Hazardous Condition (No Fire)	74	4.26%
Service Call	99	5.70%
Good Intent Call	153	8.80%
False Alarm & False Call	174	10.01%
Severe Weather & Natural Disaster	20	1.15%
Special Incident Type	5	0.29%
TOTAL	1738	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.



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Doc Id: 553

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Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
100 - Fire, other	7	0.40%
111 - Building fire	6	0.35%
112 - Fires in structure other than in a building	1	0.06%
113 - Cooking fire, confined to container	5	0.29%
131 - Passenger vehicle fire	5	0.29%
138 - Off-road vehicle or heavy equipment fire	1	0.06%
140 - Natural vegetation fire, other	3	0.17%
142 - Brush or brush-and-grass mixture fire	2	0.12%
143 - Grass fire	5	0.29%
151 - Outside rubbish, trash or waste fire	4	0.23%
160 - Special outside fire, other	1	0.06%
162 - Outside equipment fire	1	0.06%
221 - Overpressure rupture of air or gas pipe/pipeline	1	0.06%
251 - Excessive heat, scorch burns with no ignition	2	0.12%
300 - Rescue, EMS incident, other	5	0.29%
311 - Medical assist, assist EMS crew	309	17.78%
320 - Emergency medical service, other	100	5.75%
321 - EMS call, excluding vehicle accident with injury	610	35.10%
322 - Motor vehicle accident with injuries	87	5.01%
323 - Motor vehicle/pedestrian accident (MV Ped)	3	0.17%
324 - Motor vehicle accident with no injuries.	37	2.13%
342 - Search for person in water	3	0.17%
350 - Extrication, rescue, other	1	0.06%
352 - Extrication of victim(s) from vehicle	2	0.12%
353 - Removal of victim(s) from stalled elevator	3	0.17%
360 - Water & ice-related rescue, other	1	0.06%
361 - Swimming/recreational water areas rescue	1	0.06%
363 - Swift water rescue	2	0.12%
365 - Watercraft rescue	1	0.06%
370 - Electrical rescue, other	1	0.06%
371 - Electrocution or potential electrocution	1	0.06%
381 - Rescue or EMS standby	2	0.12%
410 - Combustible/flammable gas/liquid condition, other	2	0.12%
411 - Gasoline or other flammable liquid spill	1	0.06%
412 - Gas leak (natural gas or LPG)	32	1.84%
422 - Chemical spill or leak	2	0.12%
424 - Carbon monoxide incident	3	0.17%
440 - Electrical wiring/equipment problem, other	3	0.17%
441 - Heat from short circuit (wiring), defective/worn	1	0.06%
442 - Overheated motor	5	0.29%
444 - Power line down	4	0.23%
445 - Arcing, shorted electrical equipment	5	0.29%
460 - Accident, potential accident, other	1	0.06%
462 - Aircraft standby	6	0.35%
463 - Vehicle accident, general cleanup	9	0.52%
500 - Service Call, other	4	0.23%
510 - Person in distress, other	2	0.12%
511 - Lock-out	2	0.12%
520 - Water problem, other	1	0.06%
522 - Water or steam leak	1	0.06%
531 - Smoke or odor removal	3	0.17%
542 - Animal rescue	2	0.12%
550 - Public service assistance, other	14	0.81%
551 - Assist police or other governmental agency	13	0.75%
552 - Police matter	2	0.12%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
553 - Public service	17	0.98%
554 - Assist invalid	29	1.67%
561 - Unauthorized burning	9	0.52%
600 - Good intent call, other	7	0.40%
611 - Dispatched & cancelled en route	104	5.98%
621 - Wrong location	1	0.06%
622 - No incident found on arrival at dispatch address	13	0.75%
650 - Steam, other gas mistaken for smoke, other	1	0.06%
651 - Smoke scare, odor of smoke	16	0.92%
652 - Steam, vapor, fog or dust thought to be smoke	4	0.23%
653 - Smoke from barbecue, tar kettle	1	0.06%
671 - HazMat release investigation w/no HazMat	5	0.29%
672 - Biological hazard investigation, none found	1	0.06%
700 - False alarm or false call, other	46	2.65%
710 - Malicious, mischievous false call, other	1	0.06%
715 - Local alarm system, malicious false alarm	1	0.06%
721 - Bomb scare - no bomb	2	0.12%
730 - System malfunction, other	8	0.46%
731 - Sprinkler activation due to malfunction	1	0.06%
733 - Smoke detector activation due to malfunction	24	1.38%
734 - Heat detector activation due to malfunction	1	0.06%
735 - Alarm system sounded due to malfunction	17	0.98%
736 - CO detector activation due to malfunction	12	0.69%
740 - Unintentional transmission of alarm, other	5	0.29%
743 - Smoke detector activation, no fire - unintentional	17	0.98%
744 - Detector activation, no fire - unintentional	7	0.40%
745 - Alarm system activation, no fire - unintentional	26	1.50%
746 - Carbon monoxide detector activation, no CO	5	0.29%
751 - Biological hazard, malicious false report	1	0.06%
812 - Flood assessment	11	0.63%
813 - Wind storm, tornado/hurricane assessment	6	0.35%
814 - Lightning strike (no fire)	3	0.17%
900 - Special type of incident, other	1	0.06%
911 - Citizen complaint	4	0.23%
TOTAL INCIDENTS:	1738	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Jenks Fire & Rescue

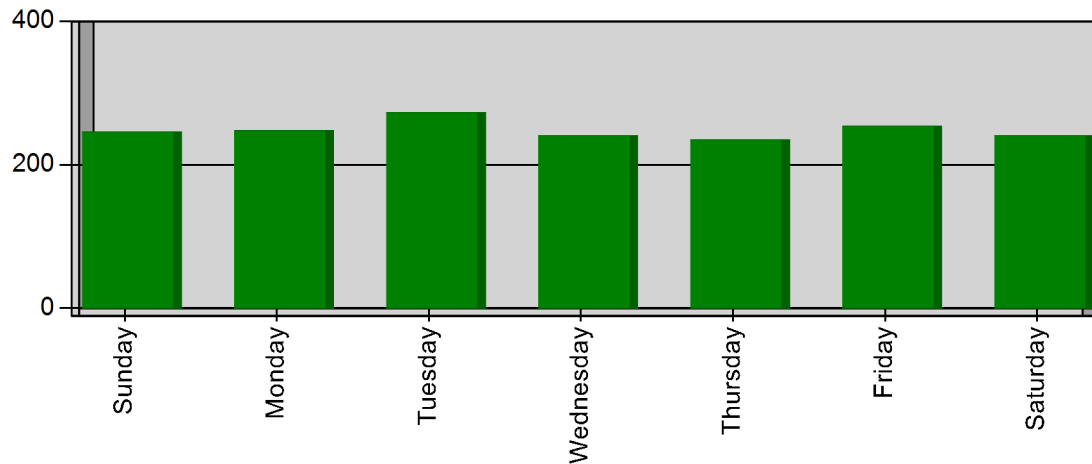
Jenks, OK

This report was generated on 1/9/2020 4:28:07 PM



Incidents by Day of the Week for Date Range

Start Date: 01/01/2019 | End Date: 12/31/2019



DAY OF THE WEEK	# INCIDENTS
Sunday	246
Monday	248
Tuesday	273
Wednesday	241
Thursday	235
Friday	254
Saturday	241
TOTAL	1738

Only REVIEWED incidents included



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Jenks Fire & Rescue

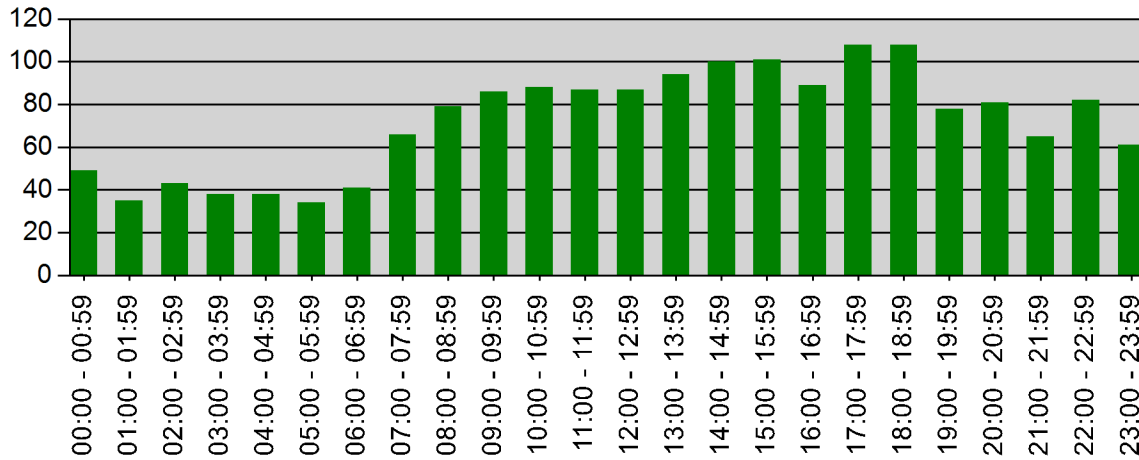
Jenks, OK

This report was generated on 1/9/2020 4:28:45 PM



Incidents by Hour for Date Range

Start Date: 01/01/2019 | End Date: 12/31/2019



Hour	# of CALLS
00:00 - 00:59	49
01:00 - 01:59	35
02:00 - 02:59	43
03:00 - 03:59	38
04:00 - 04:59	38
05:00 - 05:59	34
06:00 - 06:59	41
07:00 - 07:59	66
08:00 - 08:59	79
09:00 - 09:59	86
10:00 - 10:59	88
11:00 - 11:59	87
12:00 - 12:59	87
13:00 - 13:59	94
14:00 - 14:59	100
15:00 - 15:59	101
16:00 - 16:59	89
17:00 - 17:59	108
18:00 - 18:59	108

Only REVIEWED incidents included



**EMERGENCY
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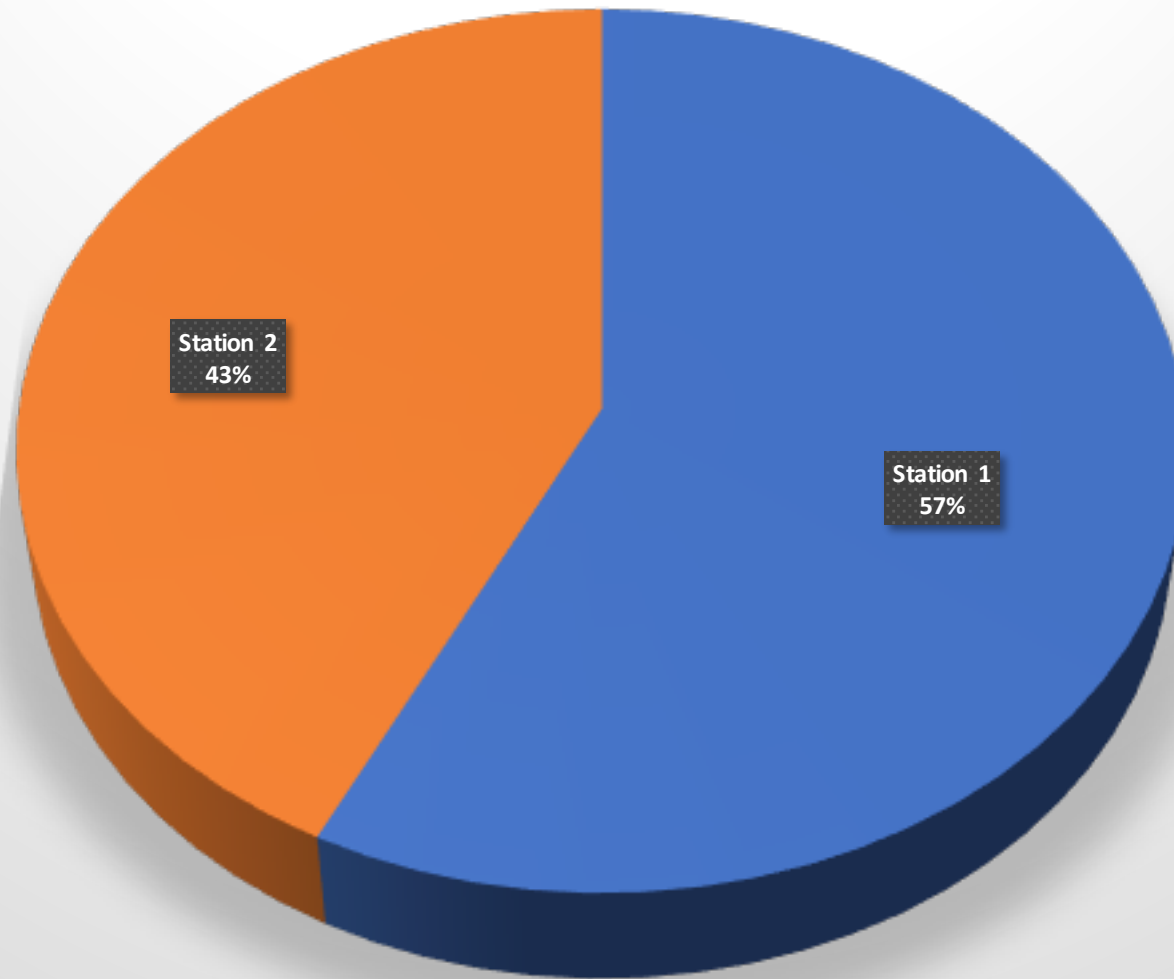
Doc Id: 19

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HOUR	# of CALLS
19:00 - 19:59	78
20:00 - 20:59	81
21:00 - 21:59	65
22:00 - 22:59	82
23:00 - 23:59	61

Only REVIEWED incidents included

Percentage of Calls by Station



Jenks Fire & Rescue

Jenks, OK

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Incident Type Count per Station for Date Range

Start Date: 01/01/2019 | End Date: 12/31/2019

INCIDENT TYPE	# INCIDENTS
Station: 1 - STATION 1	
100 - Fire, other	2
111 - Building fire	1
113 - Cooking fire, confined to container	2
131 - Passenger vehicle fire	2
142 - Brush or brush-and-grass mixture fire	1
143 - Grass fire	1
151 - Outside rubbish, trash or waste fire	3
160 - Special outside fire, other	1
251 - Excessive heat, scorch burns with no ignition	2
300 - Rescue, EMS incident, other	4
311 - Medical assist, assist EMS crew	209
320 - Emergency medical service, other	62
321 - EMS call, excluding vehicle accident with injury	339
322 - Motor vehicle accident with injuries	51
323 - Motor vehicle/pedestrian accident (MV Ped)	2
324 - Motor vehicle accident with no injuries.	18
342 - Search for person in water	3
352 - Extrication of victim(s) from vehicle	2
353 - Removal of victim(s) from stalled elevator	3
360 - Water & ice-related rescue, other	1
361 - Swimming/recreational water areas rescue	1
363 - Swift water rescue	2
365 - Watercraft rescue	1
381 - Rescue or EMS standby	1
410 - Combustible/flammable gas/liquid condition, other	1
411 - Gasoline or other flammable liquid spill	1
412 - Gas leak (natural gas or LPG)	12
424 - Carbon monoxide incident	1
440 - Electrical wiring/equipment problem, other	3
441 - Heat from short circuit (wiring), defective/worn	1

Only REVIEWED incidents included.



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INCIDENT TYPE	# INCIDENTS
442 - Overheated motor	1
444 - Power line down	2
445 - Arcing, shorted electrical equipment	2
460 - Accident, potential accident, other	1
462 - Aircraft standby	6
463 - Vehicle accident, general cleanup	6
510 - Person in distress, other	1
511 - Lock-out	1
520 - Water problem, other	1
531 - Smoke or odor removal	1
542 - Animal rescue	1
550 - Public service assistance, other	5
551 - Assist police or other governmental agency	7
552 - Police matter	2
553 - Public service	7
554 - Assist invalid	14
561 - Unauthorized burning	2
600 - Good intent call, other	4
611 - Dispatched & cancelled en route	65
622 - No incident found on arrival at dispatch address	3
651 - Smoke scare, odor of smoke	8
652 - Steam, vapor, fog or dust thought to be smoke	1
671 - HazMat release investigation w/no HazMat	4
672 - Biological hazard investigation, none found	1
700 - False alarm or false call, other	31
710 - Malicious, mischievous false call, other	1
715 - Local alarm system, malicious false alarm	1
721 - Bomb scare - no bomb	2
730 - System malfunction, other	8
731 - Sprinkler activation due to malfunction	1
733 - Smoke detector activation due to malfunction	6
734 - Heat detector activation due to malfunction	1
735 - Alarm system sounded due to malfunction	10
736 - CO detector activation due to malfunction	6
740 - Unintentional transmission of alarm, other	2
743 - Smoke detector activation, no fire - unintentional	10
744 - Detector activation, no fire - unintentional	4
745 - Alarm system activation, no fire - unintentional	14

Only REVIEWED incidents included.

INCIDENT TYPE	# INCIDENTS
746 - Carbon monoxide detector activation, no CO	1
751 - Biological hazard, malicious false report	1
812 - Flood assessment	10
813 - Wind storm, tornado/hurricane assessment	4
814 - Lightning strike (no fire)	2
900 - Special type of incident, other	1
911 - Citizen complaint	2

Incidents for 1 - STATION 1: 997

Station: 2 - STATION 2	
100 - Fire, other	5
111 - Building fire	5
112 - Fires in structure other than in a building	1
113 - Cooking fire, confined to container	3
131 - Passenger vehicle fire	3
138 - Off-road vehicle or heavy equipment fire	1
140 - Natural vegetation fire, other	3
142 - Brush or brush-and-grass mixture fire	1
143 - Grass fire	4
151 - Outside rubbish, trash or waste fire	1
162 - Outside equipment fire	1
221 - Overpressure rupture of air or gas pipe/pipeline	1
300 - Rescue, EMS incident, other	1
311 - Medical assist, assist EMS crew	100
320 - Emergency medical service, other	38
321 - EMS call, excluding vehicle accident with injury	271
322 - Motor vehicle accident with injuries	36
323 - Motor vehicle/pedestrian accident (MV Ped)	1
324 - Motor vehicle accident with no injuries.	19
350 - Extrication, rescue, other	1
370 - Electrical rescue, other	1
371 - Electrocution or potential electrocution	1
381 - Rescue or EMS standby	1
410 - Combustible/flammable gas/liquid condition, other	1
412 - Gas leak (natural gas or LPG)	20
422 - Chemical spill or leak	2
424 - Carbon monoxide incident	2
442 - Overheated motor	4

Only REVIEWED incidents included.

INCIDENT TYPE	# INCIDENTS
444 - Power line down	2
445 - Arcing, shorted electrical equipment	3
463 - Vehicle accident, general cleanup	3
500 - Service Call, other	4
510 - Person in distress, other	1
511 - Lock-out	1
522 - Water or steam leak	1
531 - Smoke or odor removal	2
542 - Animal rescue	1
550 - Public service assistance, other	9
551 - Assist police or other governmental agency	6
553 - Public service	10
554 - Assist invalid	15
561 - Unauthorized burning	7
600 - Good intent call, other	3
611 - Dispatched & cancelled en route	39
621 - Wrong location	1
622 - No incident found on arrival at dispatch address	10
650 - Steam, other gas mistaken for smoke, other	1
651 - Smoke scare, odor of smoke	8
652 - Steam, vapor, fog or dust thought to be smoke	3
653 - Smoke from barbecue, tar kettle	1
671 - HazMat release investigation w/no HazMat	1
700 - False alarm or false call, other	15
733 - Smoke detector activation due to malfunction	18
735 - Alarm system sounded due to malfunction	7
736 - CO detector activation due to malfunction	6
740 - Unintentional transmission of alarm, other	3
743 - Smoke detector activation, no fire - unintentional	7
744 - Detector activation, no fire - unintentional	3
745 - Alarm system activation, no fire - unintentional	12
746 - Carbon monoxide detector activation, no CO	4
812 - Flood assessment	1
813 - Wind storm, tornado/hurricane assessment	2
814 - Lightning strike (no fire)	1
911 - Citizen complaint	2

Incidents for 2 - STATION 2: 741

Only REVIEWED incidents included.

Jenks Fire & Rescue

Jenks, OK

This report was generated on 1/9/2020 4:29:15 PM



Code Hours Summary per Training Code For Date Range

Training Code(s): All Training Codes | Start Date: 01/01/2019 | End Date: 12/31/2019

Total Training Hours By Code	
Total Hours for Training Code: Administrative duties and functions	40:00
Total Hours for Training Code: Aerial operations	194:00
Total Hours for Training Code: Airway	17:30
Total Hours for Training Code: Building construction	22:30
Total Hours for Training Code: Building inspections	88:45
Total Hours for Training Code: Building pre-plans	6:00
Total Hours for Training Code: Child safety seat	100:00
Total Hours for Training Code: Cleaning	12:00
Total Hours for Training Code: Communications	16:30
Total Hours for Training Code: Computer skills	20:00
Total Hours for Training Code: Confined Space	0:30
Total Hours for Training Code: CPR	72:00
Total Hours for Training Code: Decontamination	9:00
Total Hours for Training Code: Documentation	19:00
Total Hours for Training Code: Driver training	418:30
Total Hours for Training Code: Effective interpersonal communication	5:45
Total Hours for Training Code: Emergency Reporting System	7:00
Total Hours for Training Code: Extinguishers	1:30
Total Hours for Training Code: FFI Skills	159:30
Total Hours for Training Code: Fire behavior	50:15
Total Hours for Training Code: Fire control	73:00
Total Hours for Training Code: Fire detection, alarms and suppression systems	23:30
Total Hours for Training Code: Fire hose	118:45
Total Hours for Training Code: Fire prevention	2:00
Total Hours for Training Code: Fire prevention and public education	28:00
Total Hours for Training Code: Fire streams	23:00
Total Hours for Training Code: Firefighter orientation	25:00
Total Hours for Training Code: Forcible entry	59:30
Total Hours for Training Code: General	158:00
Total Hours for Training Code: General	12:00
Total Hours for Training Code: General review	121:30
Total Hours for Training Code: Geriatrics	2:00
Total Hours for Training Code: Ground ladders	64:30
Total Hours for Training Code: Hazardous materials properties	2:00
Total Hours for Training Code: High and low angle	62:00
Total Hours for Training Code: ICS	50:00
Total Hours for Training Code: Identification	8:00

Displays the total training hours per for each of the selected Training Codes. NOTE that this report only applies to accounts that are set to Track Hours by Training Code. Archived Training Codes are not included in this report. This report also includes hours for non-agency Personnel. This report pulls training hours from the Training Code Hours field on the Info Page.



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Total Hours for Training Code: Inspection, maintenance and repair	134:30
Total Hours for Training Code: Inspections	34:30
Total Hours for Training Code: Leadership	161:30
Total Hours for Training Code: Legal	22:00
Total Hours for Training Code: Lesson plan development	1:30
Total Hours for Training Code: Life safety	10:00
Total Hours for Training Code: Lifting and moving patients	4:00
Total Hours for Training Code: Loss control	14:00
Total Hours for Training Code: Machinery and equipment extrication	23:30
Total Hours for Training Code: Maintenance	9:00
Total Hours for Training Code: MCI	51:00
Total Hours for Training Code: Medical Emergencies	83:30
Total Hours for Training Code: NREMT Skills	20:15
Total Hours for Training Code: Patient Assessment	14:30
Total Hours for Training Code: Patient handling, packaging and carries	12:00
Total Hours for Training Code: Pediatrics	11:00
Total Hours for Training Code: Personal protective equipment	56:00
Total Hours for Training Code: Plan review	1:00
Total Hours for Training Code: Post incident analysis	31:00
Total Hours for Training Code: Principles of learning	1:00
Total Hours for Training Code: Protecting fire scene evidence	9:30
Total Hours for Training Code: Protocols	34:00
Total Hours for Training Code: Pump operations	354:00
Total Hours for Training Code: Rapid intervention team	46:00
Total Hours for Training Code: Ropes and knots	20:00
Total Hours for Training Code: Ropes, knots and rigging	140:35
Total Hours for Training Code: Safety	12:00
Total Hours for Training Code: Safety & health	185:30
Total Hours for Training Code: Search and recovery	191:30
Total Hours for Training Code: Strategic goals and tactics	12:30
Total Hours for Training Code: Streets and addresses	110:00
Total Hours for Training Code: Supervision	43:00
Total Hours for Training Code: Trauma Emergencies	38:30
Total Hours for Training Code: Trench	0:30
Total Hours for Training Code: Vehicle extrication	139:00
Total Hours for Training Code: Ventilation	19:15
Total Hours for Training Code: Water	476:00
Total Hours for Training Code: Water supply	25:00

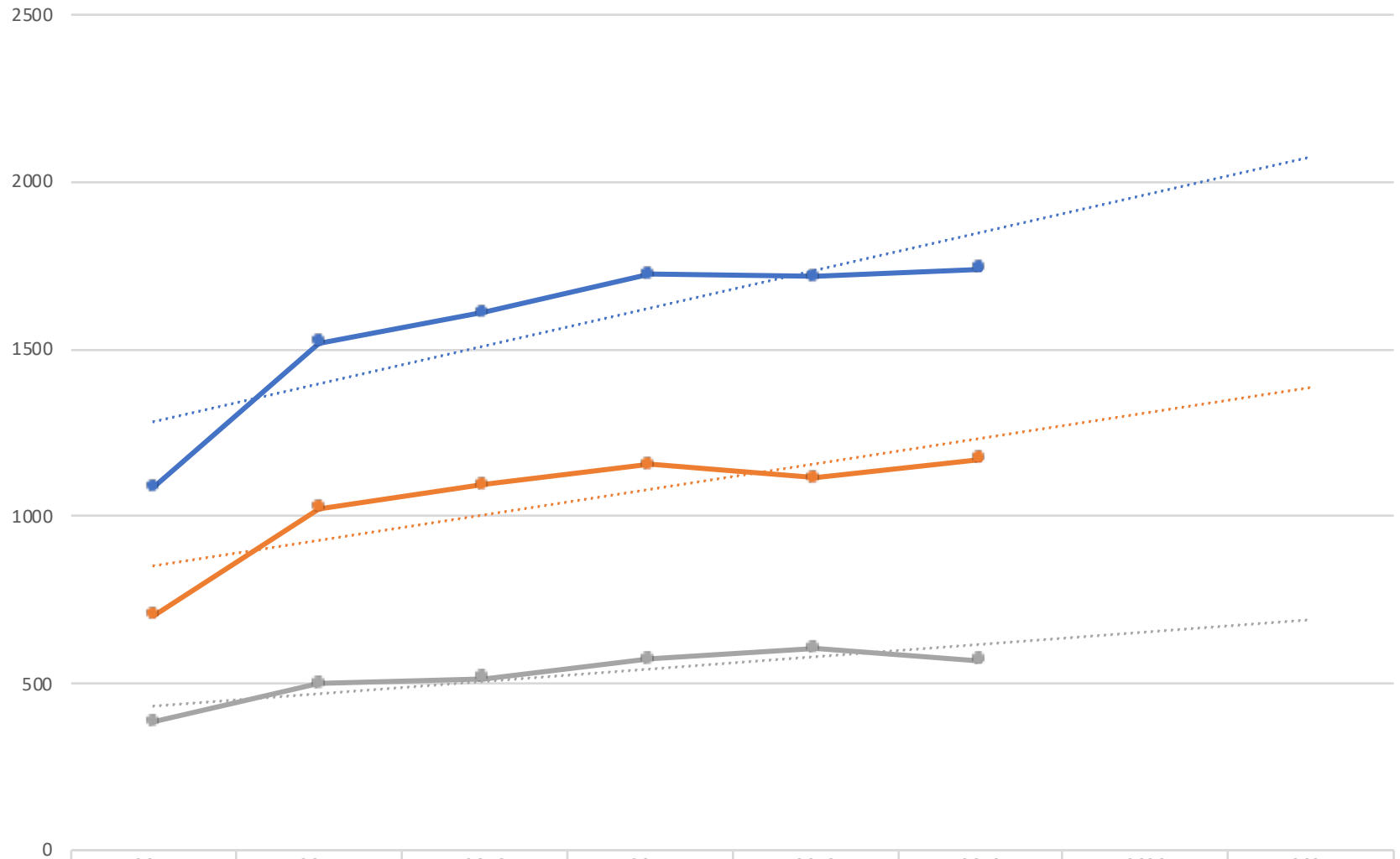
Totals for all selected Training Codes 1/1/2019 - 12/31/2019	30 personnel	4645:35
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Displays the total training hours per for each of the selected Training Codes. NOTE that this report only applies to accounts that are set to Track Hours by Training Code. Archived Training Codes are not included in this report. This report also includes hours for non-agency Personnel. This report pulls training hours from the Training Code Hours field on the Info Page.



JENKS FIRE & RESCUE RUN REPORTS Comparison 2018 / 2019

Jenks Fire Rescue Call Volume



	2014	2015	2016	2017	2018	2019	2020	2021
Total Calls	1087	1520	1608	1722	1717	1738		
EMS	702	1022	1092	1152	1113	1169		
Fire	385	498	516	570	604	569		

—●— Total Calls
 —●— EMS
 —●— Fire
 ····· Linear (Total Calls)
 ····· Linear (EMS)
 ····· Linear (Fire)

Jenks Fire & Rescue

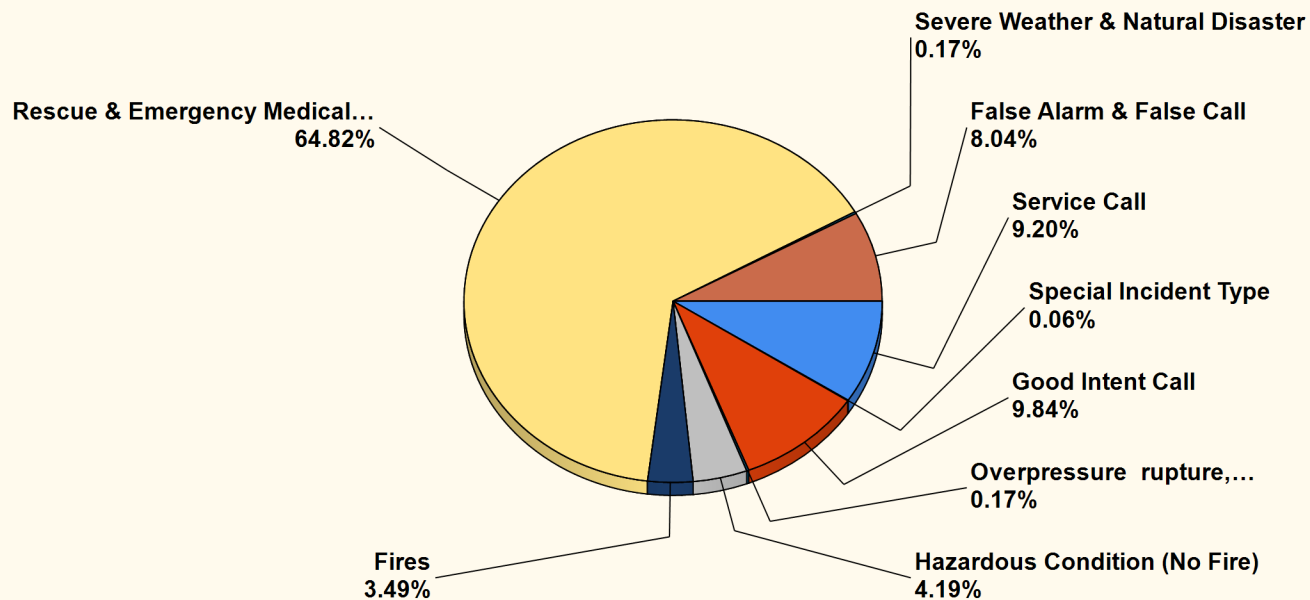
Jenks, OK

This report was generated on 1/9/2020 4:31:30 PM



Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 01/01/2018 | End Date: 12/31/2018



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	60	3.49%
Overpressure rupture, explosion, overheating - no fire	3	0.17%
Rescue & Emergency Medical Service	1113	64.82%
Hazardous Condition (No Fire)	72	4.19%
Service Call	158	9.20%
Good Intent Call	169	9.84%
False Alarm & False Call	138	8.04%
Severe Weather & Natural Disaster	3	0.17%
Special Incident Type	1	0.06%
TOTAL	1717	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.



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Doc Id: 553

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Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
100 - Fire, other	4	0.23%
111 - Building fire	9	0.52%
113 - Cooking fire, confined to container	4	0.23%
118 - Trash or rubbish fire, contained	2	0.12%
130 - Mobile property (vehicle) fire, other	5	0.29%
131 - Passenger vehicle fire	6	0.35%
132 - Road freight or transport vehicle fire	1	0.06%
138 - Off-road vehicle or heavy equipment fire	1	0.06%
140 - Natural vegetation fire, other	1	0.06%
142 - Brush or brush-and-grass mixture fire	9	0.52%
143 - Grass fire	10	0.58%
150 - Outside rubbish fire, other	2	0.12%
151 - Outside rubbish, trash or waste fire	3	0.17%
154 - Dumpster or other outside trash receptacle fire	2	0.12%
162 - Outside equipment fire	1	0.06%
200 - Overpressure rupture, explosion, overheat other	1	0.06%
221 - Overpressure rupture of air or gas pipe/pipeline	1	0.06%
251 - Excessive heat, scorch burns with no ignition	1	0.06%
300 - Rescue, EMS incident, other	4	0.23%
311 - Medical assist, assist EMS crew	194	11.30%
320 - Emergency medical service, other	60	3.49%
321 - EMS call, excluding vehicle accident with injury	747	43.51%
322 - Motor vehicle accident with injuries	57	3.32%
323 - Motor vehicle/pedestrian accident (MV Ped)	3	0.17%
324 - Motor vehicle accident with no injuries.	34	1.98%
331 - Lock-in (if lock out , use 511)	5	0.29%
342 - Search for person in water	1	0.06%
350 - Extrication, rescue, other	2	0.12%
357 - Extrication of victim(s) from machinery	1	0.06%
371 - Electrocution or potential electrocution	1	0.06%
381 - Rescue or EMS standby	4	0.23%
400 - Hazardous condition, other	1	0.06%
410 - Combustible/flammable gas/liquid condition, other	1	0.06%
412 - Gas leak (natural gas or LPG)	22	1.28%
413 - Oil or other combustible liquid spill	3	0.17%
422 - Chemical spill or leak	2	0.12%
424 - Carbon monoxide incident	6	0.35%
440 - Electrical wiring/equipment problem, other	6	0.35%
441 - Heat from short circuit (wiring), defective/worn	3	0.17%
442 - Overheated motor	2	0.12%
444 - Power line down	7	0.41%
445 - Arcing, shorted electrical equipment	6	0.35%
451 - Biological hazard, confirmed or suspected	1	0.06%
460 - Accident, potential accident, other	1	0.06%
462 - Aircraft standby	3	0.17%
463 - Vehicle accident, general cleanup	8	0.47%
500 - Service Call, other	8	0.47%
510 - Person in distress, other	6	0.35%
511 - Lock-out	8	0.47%
512 - Ring or jewelry removal	1	0.06%
531 - Smoke or odor removal	6	0.35%
542 - Animal rescue	3	0.17%
550 - Public service assistance, other	57	3.32%
551 - Assist police or other governmental agency	21	1.22%
552 - Police matter	1	0.06%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
553 - Public service	12	0.70%
554 - Assist invalid	20	1.16%
561 - Unauthorized burning	13	0.76%
571 - Cover assignment, standby, moveup	2	0.12%
600 - Good intent call, other	22	1.28%
611 - Dispatched & cancelled en route	105	6.12%
622 - No incident found on arrival at dispatch address	9	0.52%
631 - Authorized controlled burning	7	0.41%
651 - Smoke scare, odor of smoke	20	1.16%
652 - Steam, vapor, fog or dust thought to be smoke	2	0.12%
653 - Smoke from barbecue, tar kettle	1	0.06%
671 - HazMat release investigation w/no HazMat	3	0.17%
700 - False alarm or false call, other	48	2.80%
711 - Municipal alarm system, malicious false alarm	1	0.06%
730 - System malfunction, other	9	0.52%
733 - Smoke detector activation due to malfunction	15	0.87%
735 - Alarm system sounded due to malfunction	12	0.70%
736 - CO detector activation due to malfunction	2	0.12%
740 - Unintentional transmission of alarm, other	14	0.82%
743 - Smoke detector activation, no fire - unintentional	13	0.76%
744 - Detector activation, no fire - unintentional	5	0.29%
745 - Alarm system activation, no fire - unintentional	14	0.82%
746 - Carbon monoxide detector activation, no CO	5	0.29%
814 - Lightning strike (no fire)	3	0.17%
900 - Special type of incident, other	1	0.06%
TOTAL INCIDENTS:	1717	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Jenks Fire & Rescue

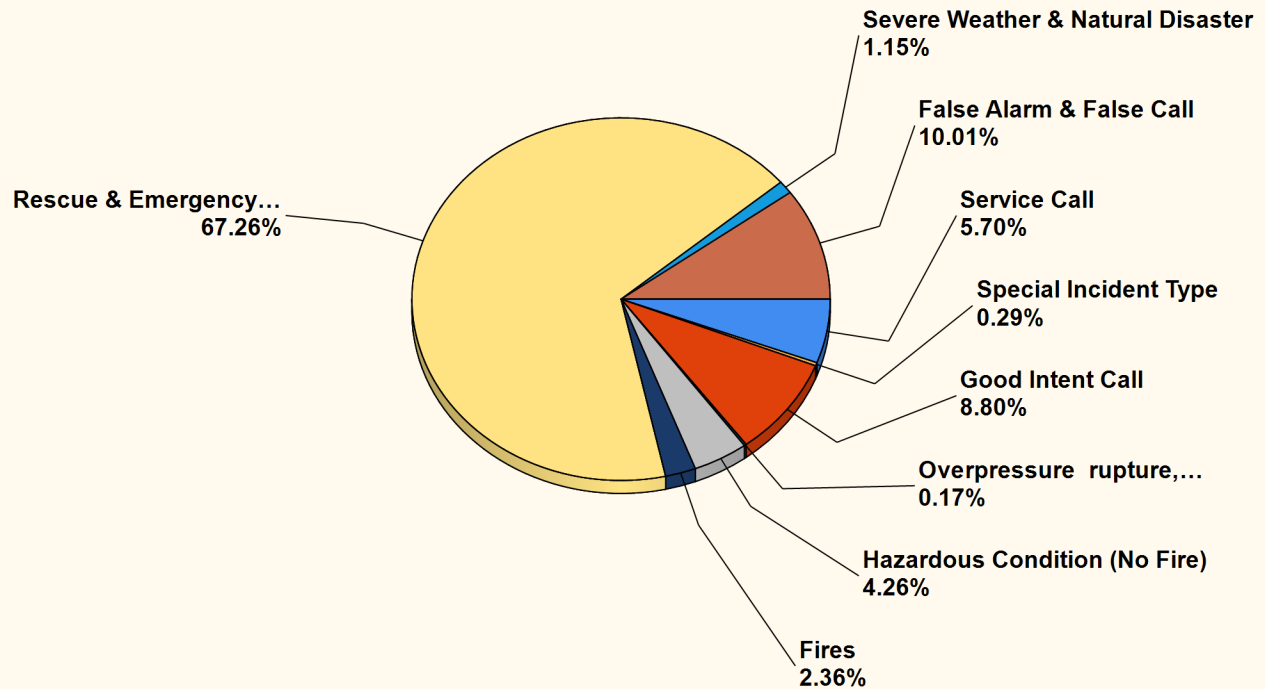
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Breakdown by Major Incident Types for Date Range

Zone(s): All Zones | Start Date: 01/01/2019 | End Date: 12/31/2019



MAJOR INCIDENT TYPE	# INCIDENTS	% of TOTAL
Fires	41	2.36%
Overpressure rupture, explosion, overheating - no fire	3	0.17%
Rescue & Emergency Medical Service	1169	67.26%
Hazardous Condition (No Fire)	74	4.26%
Service Call	99	5.70%
Good Intent Call	153	8.80%
False Alarm & False Call	174	10.01%
Severe Weather & Natural Disaster	20	1.15%
Special Incident Type	5	0.29%
TOTAL	1738	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
100 - Fire, other	7	0.40%
111 - Building fire	6	0.35%
112 - Fires in structure other than in a building	1	0.06%
113 - Cooking fire, confined to container	5	0.29%
131 - Passenger vehicle fire	5	0.29%
138 - Off-road vehicle or heavy equipment fire	1	0.06%
140 - Natural vegetation fire, other	3	0.17%
142 - Brush or brush-and-grass mixture fire	2	0.12%
143 - Grass fire	5	0.29%
151 - Outside rubbish, trash or waste fire	4	0.23%
160 - Special outside fire, other	1	0.06%
162 - Outside equipment fire	1	0.06%
221 - Overpressure rupture of air or gas pipe/pipeline	1	0.06%
251 - Excessive heat, scorch burns with no ignition	2	0.12%
300 - Rescue, EMS incident, other	5	0.29%
311 - Medical assist, assist EMS crew	309	17.78%
320 - Emergency medical service, other	100	5.75%
321 - EMS call, excluding vehicle accident with injury	610	35.10%
322 - Motor vehicle accident with injuries	87	5.01%
323 - Motor vehicle/pedestrian accident (MV Ped)	3	0.17%
324 - Motor vehicle accident with no injuries.	37	2.13%
342 - Search for person in water	3	0.17%
350 - Extrication, rescue, other	1	0.06%
352 - Extrication of victim(s) from vehicle	2	0.12%
353 - Removal of victim(s) from stalled elevator	3	0.17%
360 - Water & ice-related rescue, other	1	0.06%
361 - Swimming/recreational water areas rescue	1	0.06%
363 - Swift water rescue	2	0.12%
365 - Watercraft rescue	1	0.06%
370 - Electrical rescue, other	1	0.06%
371 - Electrocution or potential electrocution	1	0.06%
381 - Rescue or EMS standby	2	0.12%
410 - Combustible/flammable gas/liquid condition, other	2	0.12%
411 - Gasoline or other flammable liquid spill	1	0.06%
412 - Gas leak (natural gas or LPG)	32	1.84%
422 - Chemical spill or leak	2	0.12%
424 - Carbon monoxide incident	3	0.17%
440 - Electrical wiring/equipment problem, other	3	0.17%
441 - Heat from short circuit (wiring), defective/worn	1	0.06%
442 - Overheated motor	5	0.29%
444 - Power line down	4	0.23%
445 - Arcing, shorted electrical equipment	5	0.29%
460 - Accident, potential accident, other	1	0.06%
462 - Aircraft standby	6	0.35%
463 - Vehicle accident, general cleanup	9	0.52%
500 - Service Call, other	4	0.23%
510 - Person in distress, other	2	0.12%
511 - Lock-out	2	0.12%
520 - Water problem, other	1	0.06%
522 - Water or steam leak	1	0.06%
531 - Smoke or odor removal	3	0.17%
542 - Animal rescue	2	0.12%
550 - Public service assistance, other	14	0.81%
551 - Assist police or other governmental agency	13	0.75%
552 - Police matter	2	0.12%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Detailed Breakdown by Incident Type

INCIDENT TYPE	# INCIDENTS	% of TOTAL
553 - Public service	17	0.98%
554 - Assist invalid	29	1.67%
561 - Unauthorized burning	9	0.52%
600 - Good intent call, other	7	0.40%
611 - Dispatched & cancelled en route	104	5.98%
621 - Wrong location	1	0.06%
622 - No incident found on arrival at dispatch address	13	0.75%
650 - Steam, other gas mistaken for smoke, other	1	0.06%
651 - Smoke scare, odor of smoke	16	0.92%
652 - Steam, vapor, fog or dust thought to be smoke	4	0.23%
653 - Smoke from barbecue, tar kettle	1	0.06%
671 - HazMat release investigation w/no HazMat	5	0.29%
672 - Biological hazard investigation, none found	1	0.06%
700 - False alarm or false call, other	46	2.65%
710 - Malicious, mischievous false call, other	1	0.06%
715 - Local alarm system, malicious false alarm	1	0.06%
721 - Bomb scare - no bomb	2	0.12%
730 - System malfunction, other	8	0.46%
731 - Sprinkler activation due to malfunction	1	0.06%
733 - Smoke detector activation due to malfunction	24	1.38%
734 - Heat detector activation due to malfunction	1	0.06%
735 - Alarm system sounded due to malfunction	17	0.98%
736 - CO detector activation due to malfunction	12	0.69%
740 - Unintentional transmission of alarm, other	5	0.29%
743 - Smoke detector activation, no fire - unintentional	17	0.98%
744 - Detector activation, no fire - unintentional	7	0.40%
745 - Alarm system activation, no fire - unintentional	26	1.50%
746 - Carbon monoxide detector activation, no CO	5	0.29%
751 - Biological hazard, malicious false report	1	0.06%
812 - Flood assessment	11	0.63%
813 - Wind storm, tornado/hurricane assessment	6	0.35%
814 - Lightning strike (no fire)	3	0.17%
900 - Special type of incident, other	1	0.06%
911 - Citizen complaint	4	0.23%
TOTAL INCIDENTS:	1738	100.00%

Only REVIEWED incidents included. Summary results for a major incident type are not displayed if the count is zero. Does not include Imported data.

Special Event Committee Recommendation

Event title: Aquarium Run

Proposed date(s): April 4, 2020

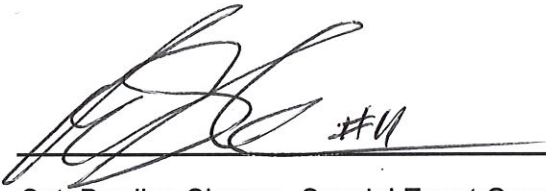
Description: Half Marathon/10k/5k

After reviewing the special event application and meeting with the applicant the majority of the committee voted to:

- ☒ Recommend the event be approved by City Council.
- ☐ Does not recommend the event be approved by City Council.

Comments:

Temporary Closures and delays along Run Routes.

A handwritten signature in black ink, appearing to be "BSH #11", written over a horizontal line.

1-1-2020

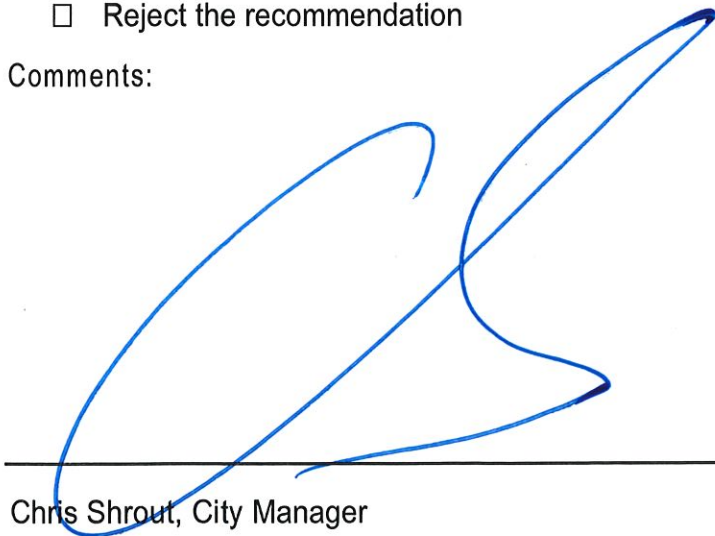
Sgt. Bradley Shouse, Special Event Committee Chair

Date

After reviewing the committee's recommendation:

- ☒ Accept as submitted and approve it to be presented to City Council
- ☐ Accept with the following modifications before it is presented to City Council
- ☐ Reject the recommendation

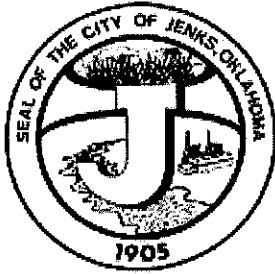
Comments:

A large, stylized handwritten signature in blue ink, written over a horizontal line.

1.10.2020

Chris Shrout, City Manager

Date

Print**SPECIAL EVENT APPLICATION - Submission #1131****Date Submitted: 12/17/2019**

Sgt. Brad Shouse
PO Box 2007
211 N Elm St Jenks OK,
74037
918-556-7481
bshouse@jenksok.org

Special Event Applications are submitted for review and approval for events conducted on a public property, public right of way or easement, and/or events that require the use of other public resources. This application is required on all such events within the City of Jenks and must be submitted 90 days before the event (exceptions may be granted for special, unusual circumstances). There is no fee for a Special Event Application or its approval.

The point of contact during the application process will be Sgt. Brad Shouse; his contact information is listed above. He will be glad to answer questions and offer guidance during this process to insure that your submitted application packet is complete with all required documentation.

Once the completed application packet has been accepted, a date will be scheduled for the applicant to present their plan to the Special Events Committee. The Committee will send its recommendation regarding the event to the City Council, who will vote to approve or deny the event. You may attend the City Council meeting for your event's City Council review. Agendas are displayed at the City of Jenks City Hall at 211 N. Elm and online at www.jenks.com.

An application approval does not imply city sponsorship. The applicant will be responsible for any extra ordinary costs relating to the public for the event; for example, required city personnel and services, approved barricades, directional signage, adequate cleanup, and/or damages occurring to city property and/or facilities. The applicant has the responsibility to be aware of and comply with City Ordinances and Regulations including, but not limited to, Curfew Ordinance, County/City Public Health Regulations, police safety requirements, and insurance coverage requirements.

Event and Event Organizer Information**Event Title***

Aquarium Run

Event Description*

Half Marathon, 10K, 5K, 1-Mile Fun Run

Date of Event*

4/4/2020

Event Location (Include Site & Street Maps)*

Begins and ends in front of the Oklahoma Aquarium

Diagram/Map

Aquarium Run 10K Course.pdf

Total Anticipated Attendance (Participants, staff, vendors, crowd, etc.)*

2,000

Event Organizer*

Oklahoma Aquarium

Email Address*

events@okaquarium.org

Primary Contact*

Danielle Beck

Primary Phone*

9185575658

Secondary Contact

Andrea Leitch

Secondary Phone

9182616285

Primary Email Address*

dbeck@okaquarium.org

Primary Mailing Address*

300 Aquarium Drive

City*

Jenks

State*

OK

Zip Code*

74037

Agency Status*☐ Profit☒ Non-Profit☒ Fundraiser/What Cause☐**Fundraiser/What Cause (Please Specify)**

Education and exhibits at the Oklahoma Aquarium

TIMELINE OF EVENT

Event Start**Date***

4/4/2020

Time*

8:00 AM

Street Closing (for setup)**Date ***

4/4/2020

Time*

7:30 AM

Event Closes**Date***

4/4/2020

Time*

12:00 PM

Street Opening**Date***

4/4/2020

Time*

10:00 AM

Street(s) requested to be closed*

Same as last year; please refer to last year's map

Attach diagram/Maps as appropriate

Map/Diagram

No file chosen

Medical Plan*

We will have a

Security Plan*

Jenks police

Safety Plan*

Jenks police

Traffic Plan *

Jenks police

Fire Prevention Plan*

Jenks fire

Parking Plan*

Parking will be in our guest and staff parking lots

Disabled Parking*

We have spaces available in our guest and staff parking lots

Noise & Light Pollution Plan*

We won't disrupt with noise or light pollution

Restroom Facilities Plan*

We will rent additional facilities

Refuse Collection Plan*

We will have additional dumpsters for waste management

Additional Responsibilities**Open Air Event***

- ☒ Yes
☒ No
☐

Private Property *

- ☐ Yes
☐ No
☒

Owner of Property/Contact

Phone

Non-City Public Property*

- ☐ Yes
☒ No
☒

Owner of Property/Contact

Phone

City of Jenks Property*

- ☒ Yes
☒ No
☐

Explain

We are the Oklahoma Aquarium

Alcohol/Beer*

OK ABLE License Required

- ☐ Yes
☒ No
☐

Explain**Food Sales***

- ☒ Yes
☒ No
☐

Number of Food Vendors

We use our in-house catering service and Pepsi products

Tents*

- ☐ Yes
☒ No
☐

Tent Sizes/Locations

Attach map

Other Information*

- ☐ Yes
☒ No
☐

Explain**Special Permits Needed***

- ☒ Yes
☒ No
☐

Explain

Run insurance

Appropriate Zoning*

- ☒ Yes
☒ No
☐

Explain

We will be in and around the Oklahoma Aquarium

Venue Insurance*

- ☒ Yes
☒ No
☐

Agency Contact

City of Jenks

Phone

918-299-5883

EXTRAORDINARY USES*

- ☐ Animals
☐ Firearms
☐ Explosives/Fireworks
☐

- ☒ Road Closures
☒ Cooking
☐ Alcoholic Beverages Served
☐

- ☐ Tents/Temp Structures
☐ Aircraft
☐ Other
☐

Please specify if other chosen

1. Describe your organization and its purpose.*

Our mission is "to educate and inspire conservation of our aquatic world through interactive discovery."

2. Describe your experience managing similar events and/or activities.*

We have hosted the Aquarium Run for more than a decade.

3. What is the purpose of the event?*

To increase awareness about the Oklahoma Aquarium

4. Summarize your event.*

We offer a half-marathon, 10K, 5K, and 1-mile fun run.

5. Has an event like this been held before? By whom?*

Yes, it's been hosted by the Oklahoma Aquarium for more than a decade.

6. What do you see as the biggest challenge for a successful event?*

We want to ensure the proper paperwork is filed through the City of Jenks.

7. What is your budget for the entire event?*

\$40K

8. Do you have adequate funding to hold the event at this time? If not, when will you have the funds and how will you acquire them?*

Yes, we do.

9. What is your advertising plan?*

We plan to promote the run extensively through print and digital media, run expos, and other related events.

10. How many people will be needed to staff the event?*

80

11. List all the organizations that will provide staff for the event (include numbers).*

The Oklahoma Aquarium will provide 70 staff and volunteers, and AdventureTech Sports will have 10 staff members.

12. List any special equipment needed and the organization that will provide it.*

AdventureTech Sports will provide the timing tools and the beginning/end race point.

13. List any special equipment needed and the organization that will provide it.*

We will work with vendors for additional restroom facilities and dumpsters for trash. We will also have medical assistance from staff and a third party.

Affidavit of Applicant

City personnel and services, approved barricades and directional signage will be required for street closings, traffic/crowd control, and security. The Event Organizer has the responsibility to be aware of and comply with City Ordinances and Regulations including, but not limited to, Curfew Ordinance, City/County Public Health Regulations, and Police/Park/Public Safety requirements. Further, the Event Organizer is responsible for:

1) Providing evidence of public liability coverage in a sum of not less than \$1,000,000 (one million) dollars, including property damage coverage of not less than \$100,000 (one hundred thousand) dollars before the event date or within ten days of Council approval, whichever comes first, and

2) Notifying businesses in the affected areas two weeks prior to the event.

Failure to comply with these requirements may result in additional fees and denial of subsequent applications by the Event Organizer. An application approval does not imply City sponsorship. Review the cover letter for further information in reference to Special Events.

I certify the information contained in the foregoing application is true and correct to the best of my knowledge and belief, and that I have read, understand, and agree to abide by the rules and regulations governing the proposed Special Event.

I further certify that I, on the behalf of the Event Organizer, am also authorized to commit that Organizer and therefore agree to be financially responsible for any costs and fees that may be incurred by or on behalf of the Event to the City of Jenks.

Electronic Signature Agreement

By checking the "I agree" box below, you agree and acknowledge that 1) your application will not be signed in the sense of a traditional paper document, 2) by signing in this alternate manner, you authorize your electronic signature to be valid and binding upon you to the same force and effect as a handwritten signature, and 3) you may still be required to provide a traditional signature at a later date.

☒ I agree.

Electronic Signature

Andrea N. Leitch

Print Name*

Andrea Leitch

Date*

12/17/2019

Route To: Jenks Police Department, Attn: Sgt. Brad Shouse, P. O. Box 2007, Jenks, OK 74037, email: bshouse@jenksok.org

City of Jenks & Related Entities Hold Harmless Agreement

Name of Event Sponsor*

Oklahoma Aquarium

hereinafter referred to as "APPLICANT"

Address of Applicant*

300 Aquarium Drive

City

Jenks

State

OK

Zip Code

74037

The APPLICANT has made an application to use certain property, streets, sidewalks, or easements under the ownership or control of the City of Jenks, Oklahoma, or its related public trust entities e.g. the Jenks Public Works Authority and the Jenks Aquarium Authority d/b/a the Oklahoma Aquarium, hereinafter collectively referred to as "CITY", for a special event to be held on

Date*

4/4/2020

Between the hours of*

7:30 AM

12:00 PM

—

Event described as*

Half-Marathon, 10K, 5K, and 1-Mile Fun Run

That APPLICANT warrants that any participating agencies selected or employed by APPLICANT for the special event carry public liability and property damage insurance.

That in consideration of CITY granting APPLICANT approval for the special event above described, APPLICANT agrees to hold CITY, its officers, agents and employees harmless and indemnify the same from any claims which could be asserted by APPLICANT, its invitees, agents or employees, for damages, personal injury or death which occurred as a result of said special event which was not caused by the deliberate or grossly negligent acts or acts of CITY's officers, agents or employees.

Date*

12/17/2019

Name of Sponsoring Organization*

Oklahoma Aquarium

Electronic Signature Agreement

By checking the "I agree" box below, you agree and acknowledge that 1) your application will not be signed in the sense of a traditional paper document, 2) by signing in this alternate manner, you authorize your electronic signature to be valid and binding upon you to the same force and effect as a handwritten signature, and 3) you may still be required to provide a traditional signature at a later date.

☒ I agree.**Electronic Signature**

Andrea N. Leitch

Print Name*

Andrea Leitch

Phone Number*

9182616285

Witness Signature

Danielle Beck

For Office Use



USATF Certification

Aquarium Half Marathon #3 Jenks, OK – 21.0975 KM

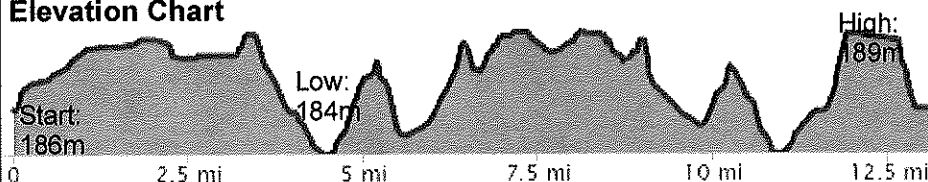
Effective Dates



Measured by: Martin Updike, I:40 Race Service
Measured on 3/14/2018 918-577-1956, martin@i40raceservice.com

Race Contact:
Kara Lovell – OK Aquarium
klovell@okaquarium.org

Elevation Chart



- 1m:** On B st, 50 m E of Birch St (GPS: 36.0246 -95.9703)
- 2m:** On 3rd St, 25 m N of F St (GPS: 36.0284 -95.9667)
- 3m:** On 96th St Bridge, 15 m E of the center light pole on the bridge (GPS: 36.0247 -95.9544)
- 4m:** On Riverside Dr, 108 m S of the turn onto the RP trail. (GPS: 36.0357 -95.9544)
- 5m:** On RP Trail, At the center of the pre-fab buildings in Casino north parking lot (GPS: 36.04783-95.9774)
- 6m:** Well S of 71st St, no good landmark (GPS: 36.0562-95.9763)
- 7m:** On RP trail, 65 m S of seating area north of 66th Place (GPS: 36.0696 -95.9816)
- 8m:** On RP trail, 126 m S of the the American Flag Pole at the 61st and Riverside Drive plaza (GPS: 36.0744 -95.9229)
- 9m:** On RP Trail, 4 m N of the north edge of the 71st Bridge. (GPS: 36.0609 -95.9756)
- 10m:** At the middle of the curve in the trail N of the spillway, just N of the casino (GPS: 36.0496 -95.9729)
- 11m:** On RP Trail, 15 m S of the S edge of the Creek Casino. (GPS: 36.0390 -95.9626)

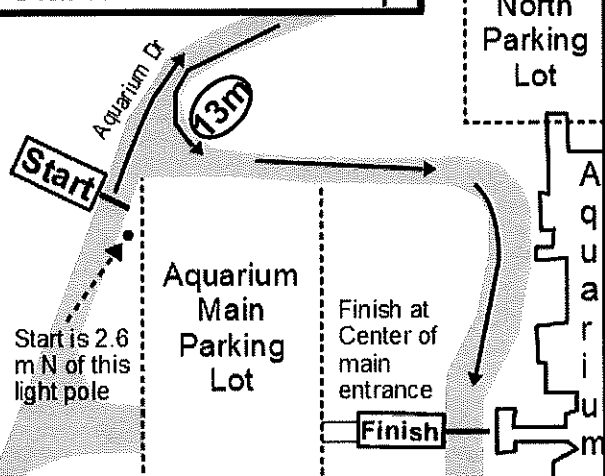
Turn Detail Map

Turn is 35 m N of the N edge of the observation deck
(GPS: 36.0789 -95.9845)

Fred Johnson Park

- 12m:** On RP Trail, no good landmark (GPS: 36.0279 -95.9523)
- 13m:** In Oklahoma Aquarium parking lot, at the turn into the north entrance off of Aquarium Place. (GPS: 36.0208 -95.9585)

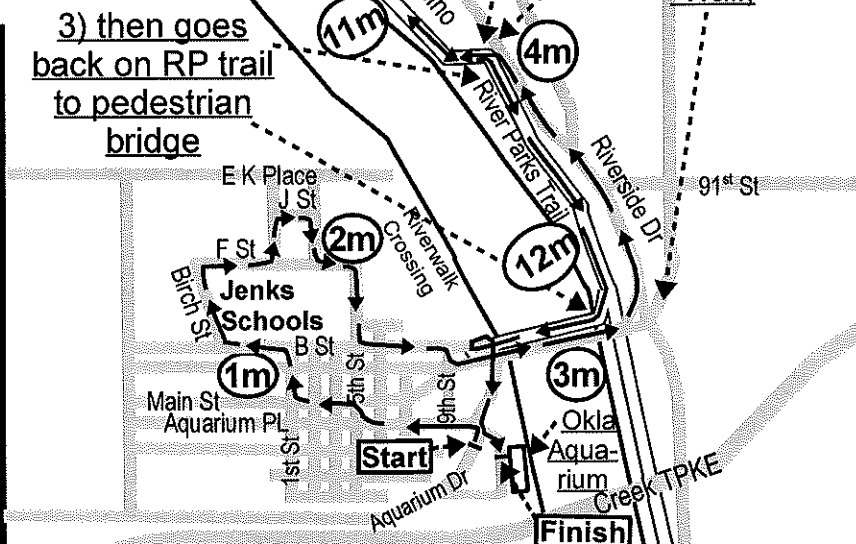
Start/Finish Detail Map



3) then goes back on RP trail to pedestrian bridge

2) then does an out & back on the River Parks.

1) Route goes out on Riverside Dr to casino. Trail.





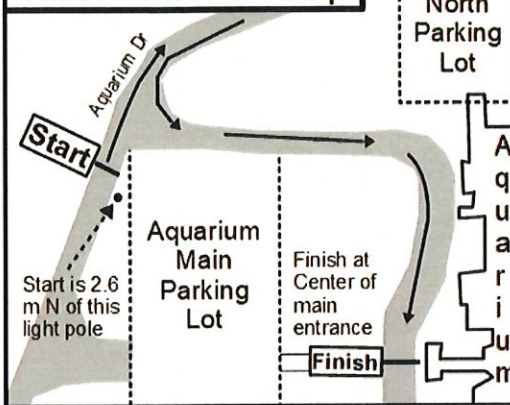
USATF Certification
OK18018DG

Aquarium 10k #3 Jenks, OK – 10,000 meters

Effective Dates
3/18/18-12/31/28

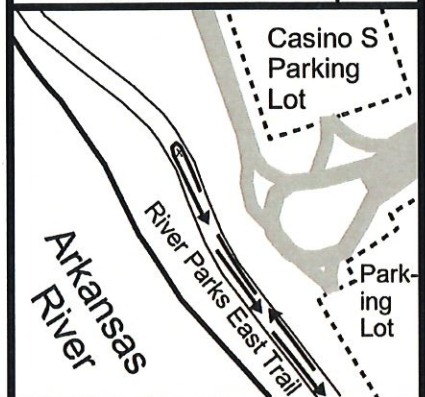


Start/Finish Detail Map



Start: On Aquarium Dr, 2.6 m N of the light pole in the NW corner of the parking lot.
(GPS: 36.0204 -95.9585)
Finish: On road in front of OK Aquarium, directly in line with the center of the main entrance.
(GPS 36.0199 -95.9575)
Turnaround: On River Parks trail, 85 meters N of the Large Power line poles. Also at north edge of planters around traffic circle in Casino South parking lot
(GPS 36.0379 -95.9610)

Turn Detail Map

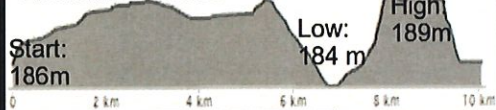


Measured by: Martin Updike, I:40 Race Service Measured on 3/13/2018 918-577-1956, martin@i40raceservice.com

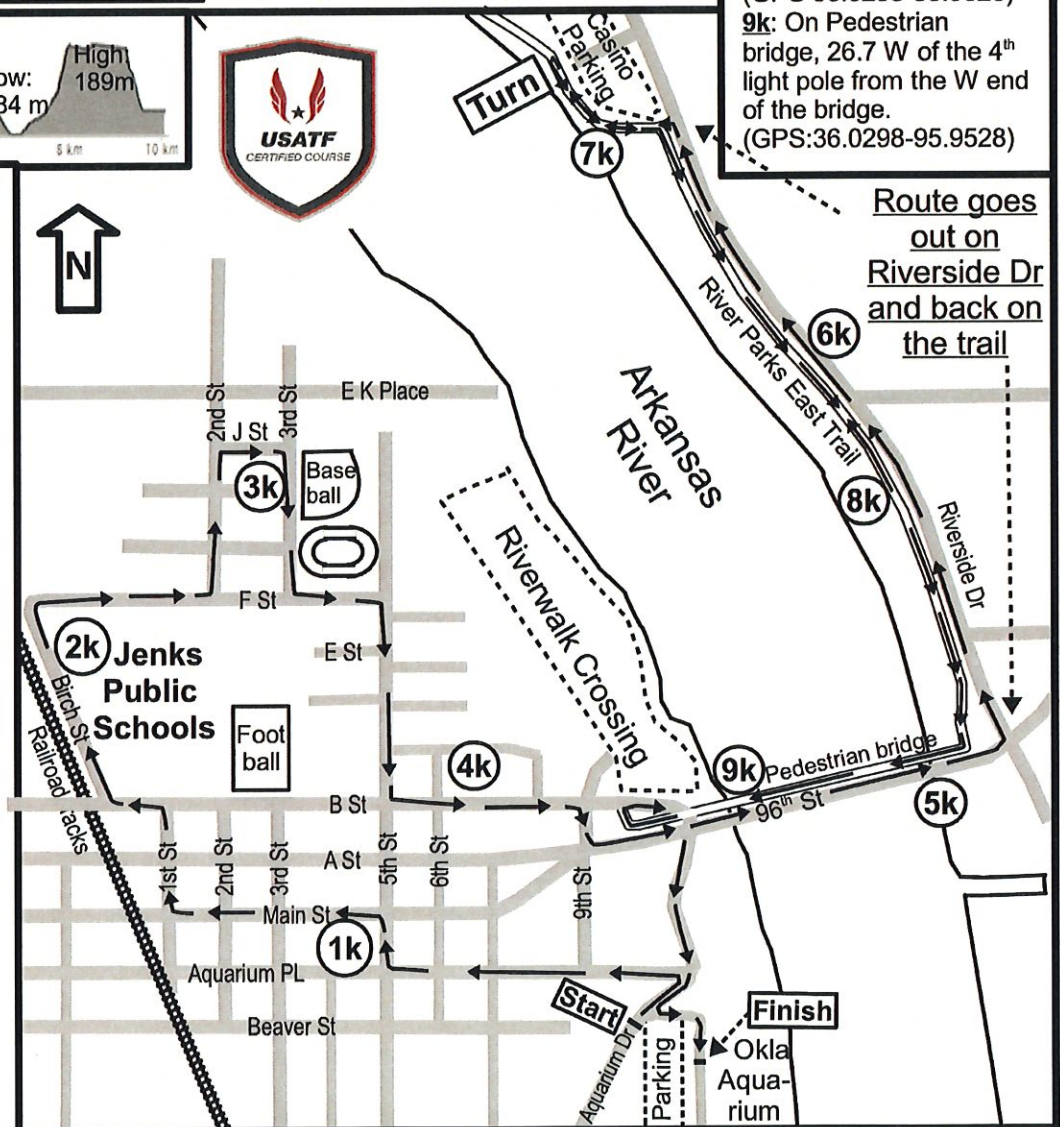
Race Contact: Kara Lovell – OK Aquarium
klovell@okaquarium.org

8k: ON RP trail, directly across from the Crown Woods Apt Sign.
(GPS 36.0298-95.9528)
9k: On Pedestrian bridge, 26.7 W of the 4th light pole from the W end of the bridge.
(GPS:36.0298-95.9528)

Elevation Chart



1k: On Main St, 4 m E of the stop sign at 4th & Main St.
(GPS 36.0225-95.9657)
2k: On Birch St, 3 m N of the fire hydrant at the north entrance to the parking lot by the music building (GPS: 36.0275 -95.9725)
3k: On 3rd St, 9 m N of the right field foul pole of the Jenks HS Baseball Field (GPS: 36.0261 -95.9717)
4k: On B St, at the center of duplex at 725/731 East B St.
(GPS:36.0246-95.9618)
5k: On the 96th St Bridge, 1 m W of where the white curb paint starts on W end of bridge (GPS 36.0254 -95.9516)
6k: On Riverside Dr. 5.5 m S of powerbox "1108" on W side of rd.
(GPS:36.0331-95.9557)
7k: On RP trail coming back, 7 m E of end of Black Fence
(GPS:36.0368-95.9592)





USATF Certification

Aquarium 5k #4 Jenks, OK – 5,000 meters

Effective Dates



Start: On Aquarium Dr, 2.6 m N of the light pole in the NW corner of the parking lot.
(GPS: 36.0204 -95.9585)

Finish: On road in front of OK Aquarium, directly in line with the center of the main entrance.
(GPS 36.0199 -95.9575)

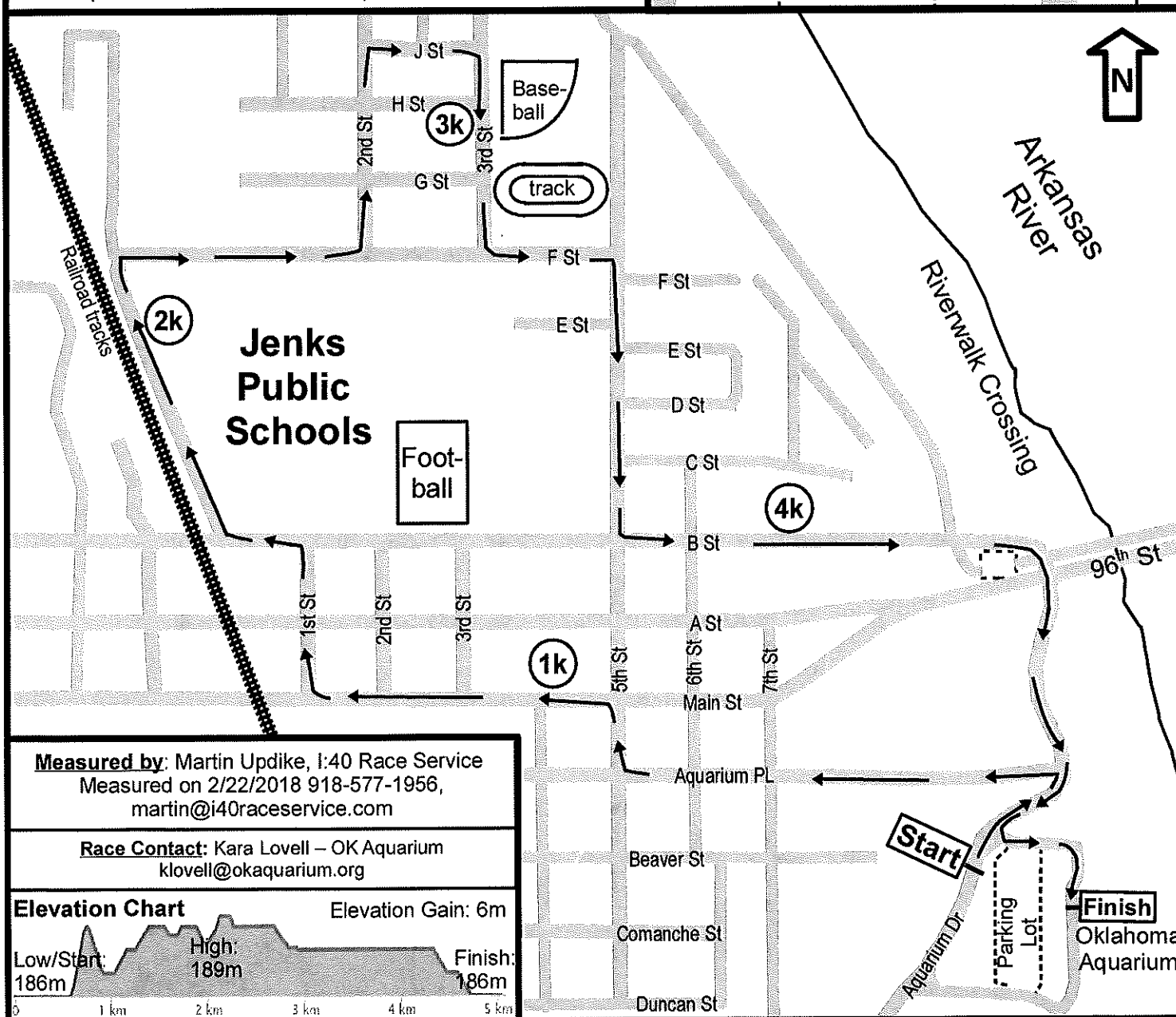
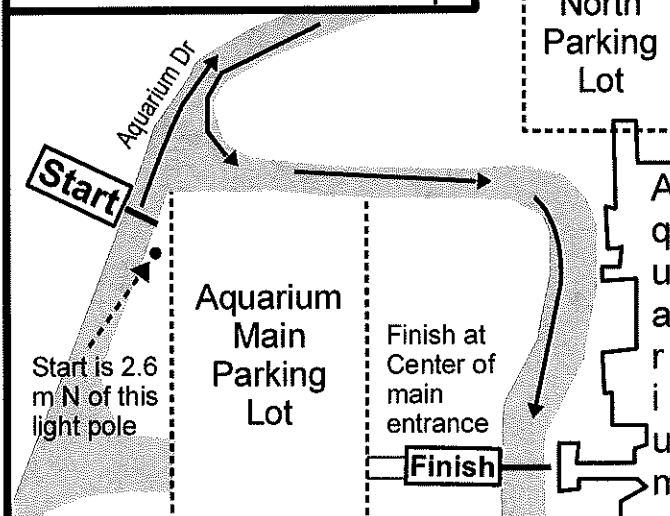
1k: On Main St, 4 m E of the stop sign at 4th & Main
(GPS 36.0225 -95.9657)

2k: On Birch St, 3 m N of the fire hydrant at the north entrance to the parking lot by the music building
(GPS: 36.0275 -95.9725)

3k: On 3rd St, 9 m N of the right field foul pole of the Jenks HS Baseball Field (GPS: 36.0261 -95.9717)

4k: On B St, at the center of duplex at 725/731 East B St. (GPS: 36.0246 -95.9618)

Start/Finish Detail Map





CITY OF JENKS

211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
PHONE (918) 299-5883 • FAX (918) 299-4489

Memorandum

To: Mayor Lee & Members of Council

From: Robert Saucedo, Finance Director

Date: January 13, 2020

Re: *Administration of Community Expansion Nutrition Assistance Grant for Jenks Senior Citizens Inc.*

The Jenks Senior Citizens organization has received a Community Expansion of Nutrition Assistance Grant from the Department of Commerce/Office of Community Development and INCOG/Area Agency on Aging in the amount of \$14,646.41. The grant allows the Jenks Senior Citizens to fix the sound system in the community room, purchase storage cabinets, purchase appliances (commercial grade refrigerator, freezer, and stove) for the kitchen. The grant funds must be expended by March 31, 2020.

Staff is requesting to administer the Community Expansion of Nutrition Assistance Grant for the Jenks Senior Citizens and to appropriate \$14,646.41 from the Risk Management Fund fund balance to be budgeted to Account No. 61-801-5250. Once purchases are made, the fund will be reimbursed from the grant proceeds.

Resolution No. 690

**A RESOLUTION OF THE CITY COUNCIL OF THE CITY OF JENKS, OKLAHOMA
ADOPTING AMENDMENTS TO THE ANNUAL REVENUES AND APPROPRIATIONS
FOR THE BUDGET OF THE CITY OF JENKS, OKLAHOMA, FOR FISCAL YEAR
ENDING JUNE 30, 2020.**

WHEREAS, the City of Jenks had unexpected expenditures which have not been appropriated in the budget for fiscal year 2019-2020; and

WHEREAS, the City of Jenks had unexpended unencumbered cash balances on hand at the end of fiscal year 2019-2020; and

WHEREAS, the City of Jenks is required to make supplemental appropriations for revenue sources and expenditures not appropriated in the budget;

NOW THEREFORE BE IT RESOLVED by the City Council for the City of Jenks that the following supplemental appropriations be made:

City – Insurance Reimbursement/Risk Management Fund

Revenue: Fund Balance	\$ 14,647.00
Expenditure: 61-801-5250 Contractual Services	\$ 14,647.00

PASSED BY THE CITY COUNCIL of the City of Jenks, Oklahoma, and signed by the Mayor this 21st day of January 2020.

Robert Lee, Mayor

Attest:

Brittany Long, City Clerk



CITY OF JENKS

211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
PHONE (918) 299-5883 • FAX (918) 299-4489

MEMORANDUM

To: **Chris Shrout, City Manager**
F. Robert Carr, Jr., P.E., Assistant City Manager

From: **Christopher C. Robinson, P. E. City Engineer**

Date: **January 21, 2020**

Subject: **Street Improvement Project - Award of Contract**

In 2019, City Engineering tabulated pavement areas that are in need of repair. These pavement areas were evaluated and several areas that are in need of large patch repairs or thin mill and overlay repairs have been included in a Street Improvement Project. This project (see attached plans) includes milling and overlay of three (3) locations in Melody Lane. Asphalt patching in three (3) neighborhoods: Melody Lane, South Creek, and Sunnybrook Estates. Additionally, South Union Avenue (96th Street Bridge to 91st Street) will have three (3) sections repaired.

Each specific location is detailed as follows:

- Location #1: Melody Lane at the intersection of Fir Street and "E" Street - 160 square yards (SY) of mill and overlay on the west side of the intersection.
- Location #2: Melody Lane at the intersection of Fir Street and "C" Street - 290 SY of mill and overlay on "C" Street, just west of Fir Street.
- Location #3: Melody Lane at the intersection of Gum Street and "G" Street - 90 SY of mill and overlay on Gum Street, just south of "G" Street.
- Location #4: Melody Lane at the intersection of Gum Street and "D" Street - 150 SY asphalt patch. This patch consists of removal of existing asphalt and sub-grade and the placement of twelve (12) inches of aggregate base, separator fabric and approximately 80 tons of asphalt.
- Location #5: South Creek at the intersection of Gum Avenue and 120th Street S - 250 SY asphalt patch. This patch consists of removal of existing asphalt and sub-grade and the placement of twelve (12) inches of aggregate base, separator fabric and approximately 140 tons of asphalt.
- Location #6: Sunnybrook Estates at the intersection of Forest Place and 120th Street S - 350 SY asphalt patch. This patch consists of removal of existing asphalt and sub-grade and the placement of twelve (12) inches of aggregate base, separator fabric and approximately 200 tons of asphalt.
- Location #7: Union Avenue (96th Street Bridge to 91st Street) - three (3) asphalt patches at a total of 800 SY. These patches consists of removal of existing asphalt and sub-grade and the placement of twelve (12) inches of aggregate base, separator fabric and approximately 470 tons of asphalt.

The Engineering Estimate for the entire project is \$255,125.

In conformance with Oklahoma bidding requirements, the project was advertised on November 15th and 22nd. Bids were received on December 6th. A total of three (3) bids were received as shown in the attached Bid Tabulation and summarized below:

BIDDER	A&A ASPHALT	APAC CENTRAL, INC.	H&G PAVING CONTRACTORS
Total	\$290,345.00	\$274,195.00	\$227,785.00
Calendar Days to Complete	60	90	Not Listed

Based on evaluation of the submitted bids, the apparent low bidder in the total amount of \$227,785.00 is H&G Paving Contractors (Muskogee, Oklahoma). H&G Paving did not list calendar days to complete the project, however, the bid documents did limit the length of the project to no more than 120 days. References were checked for this bidder and previous work was performed as contracted. The company has worked for other municipalities such as Broken Arrow and Pryor.

Staff requests to award a bid for construction of a Street Improvement Project for milling and overlay in Melody Lane and asphalt patching in Melody Lane, South Creek, Sunnybrook Estates and on Union Avenue, to H&G Paving (Muskogee, Oklahoma) in the total amount of \$227,785.00; funding is included in the FY 19-20 Street Maintenance budget (Account No. 53-521-5393) as part of the existing Pavement Management Program.

Attachments:
 Bid Tabulation
 Site Plan

STREET IMPROVEMENT PROJECT - BID TABULATION

1/14/2020

STREET IMPROVEMENT PROJECT 2019				A & A ASPHALT		APAC CENTRAL, INC.		H&G PAVING CONTRACTORS		ENGINEERING ESTIMATE	
ITEM	DESCRIPTION	QTY	UNIT	UNIT PRICE	BID AMOUNT	UNIT PRICE	BID AMOUNT	UNIT PRICE	BID AMOUNT	UNIT PRICE	BID AMOUNT
#1 - Melody Lane (West "G" Avenue and North Gum Street)											
1	Mobilization	1	LS	\$ 2,000.00	\$ 2,000.00	\$ 6,500.00	\$ 6,500.00	\$ 5,500.00	\$ 5,500.00	\$ 10,000.00	\$ 10,000.00
2	Superpave, Type S4(PG 64-22 OK)	30	TON	\$ 260.00	\$ 7,800.00	\$ 150.00	\$ 4,500.00	\$ 80.00	\$ 2,400.00	\$ 110.00	\$ 3,300.00
3	Cold Milling Pavement (3")	160	SY	\$ 32.00	\$ 5,120.00	\$ 20.00	\$ 3,200.00	\$ 1.05	\$ 168.00	\$ 5.00	\$ 800.00
4	Construction Traffic Control	1	LS	\$ 500.00	\$ 500.00	\$ 1,500.00	\$ 1,500.00	\$ 4,285.00	\$ 4,285.00	\$ 5,000.00	\$ 5,000.00
	SUBTOTAL				\$ 15,420.00		\$ 15,700.00		\$ 12,353.00		\$ 19,100.00
#2 - Melody Lane (West "E" Street and North Fir Street)											
1	Mobilization	1	LS	\$ 2,000.00	\$ 2,000.00	\$ 6,500.00	\$ 6,500.00	\$ 5,500.00	\$ 5,500.00	\$ 10,000.00	\$ 10,000.00
2	Superpave, Type S4(PG 64-22 OK)	60	TON	\$ 160.00	\$ 9,600.00	\$ 110.00	\$ 6,600.00	\$ 80.00	\$ 4,800.00	\$ 110.00	\$ 6,600.00
3	Cold Milling Pavement (3")	290	SY	\$ 20.00	\$ 5,800.00	\$ 14.00	\$ 4,060.00	\$ 1.05	\$ 304.50	\$ 5.00	\$ 1,450.00
4	Construction Traffic Control	1	LS	\$ 500.00	\$ 500.00	\$ 1,500.00	\$ 1,500.00	\$ 4,285.00	\$ 4,285.00	\$ 5,000.00	\$ 5,000.00
	SUBTOTAL				\$ 17,900.00		\$ 18,660.00		\$ 14,889.50		\$ 23,050.00
#3 - Melody Lane (West "C" Street and North Fir Street)											
1	Mobilization	1	LS	\$ 2,000.00	\$ 2,000.00	\$ 6,500.00	\$ 6,500.00	\$ 5,500.00	\$ 5,500.00	\$ 10,000.00	\$ 10,000.00
2	Superpave, Type S4(PG 64-22 OK)	20	TON	\$ 375.00	\$ 7,500.00	\$ 160.00	\$ 3,200.00	\$ 80.00	\$ 1,600.00	\$ 110.00	\$ 2,200.00
3	Cold Milling Pavement (3")	90	SY	\$ 56.00	\$ 5,040.00	\$ 25.00	\$ 2,250.00	\$ 1.05	\$ 94.50	\$ 5.00	\$ 450.00
4	Construction Traffic Control	1	LS	\$ 500.00	\$ 500.00	\$ 1,500.00	\$ 1,500.00	\$ 4,285.00	\$ 4,285.00	\$ 5,000.00	\$ 5,000.00
	SUBTOTAL				\$ 15,040.00		\$ 13,450.00		\$ 11,479.50		\$ 17,650.00
#4 - Melody Lane (West "D" Street and North Gum Street)											
1	Mobilization	1	LS	\$ 3,000.00	\$ 3,000.00	\$ 6,800.00	\$ 6,800.00	\$ 5,500.00	\$ 5,500.00	\$ 10,000.00	\$ 10,000.00
2	Unclassified Excavation	40	CY	\$ 130.00	\$ 5,200.00	\$ 50.00	\$ 2,000.00	\$ 30.00	\$ 1,200.00	\$ 15.00	\$ 600.00
3	Aggregate Base Type A	40	CY	\$ 120.00	\$ 4,800.00	\$ 40.00	\$ 1,600.00	\$ 20.00	\$ 800.00	\$ 40.00	\$ 1,600.00
4	Separator Fabric	150	SY	\$ 3.00	\$ 450.00	\$ 1.00	\$ 150.00	\$ 0.65	\$ 97.50	\$ 1.50	\$ 225.00
5	Superpave, Type S3(PG 64-22 OK)	60	TON	\$ 140.00	\$ 8,400.00	\$ 90.00	\$ 5,400.00	\$ 75.00	\$ 4,500.00	\$ 80.00	\$ 4,800.00
6	Superpave, Type S4(PG 64-22 OK)	20	TON	\$ 315.00	\$ 6,300.00	\$ 105.00	\$ 2,100.00	\$ 80.00	\$ 1,600.00	\$ 110.00	\$ 2,200.00
7	Removal of Asfalt Pavement	150	SY	\$ 15.00	\$ 2,250.00	\$ 8.50	\$ 1,275.00	\$ 16.00	\$ 2,400.00	\$ 5.00	\$ 750.00
8	Sawcut Pavement	380	LF	\$ 2.00	\$ 760.00	\$ 4.00	\$ 1,520.00	\$ 0.85	\$ 323.00	\$ 5.00	\$ 1,900.00
9	Construction Traffic Control	1	LS	\$ 500.00	\$ 500.00	\$ 1,500.00	\$ 1,500.00	\$ 4,285.00	\$ 4,285.00	\$ 5,000.00	\$ 5,000.00
10	Concrete Swell	70	sy	\$ 80.00	\$ 5,600.00	\$ 72.00	\$ 5,040.00	\$ 288.00	\$ 20,160.00	\$ 65.00	\$ 4,550.00
	SUBTOTAL				\$ 37,260.00		\$ 27,385.00		\$ 40,865.50		\$ 31,625.00

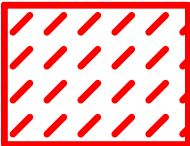
STREET IMPROVEMENT PROJECT - BID TABULATION

1/14/2020

#5 - South Creek (West 120th Street S. and South Gum Avenue)											
1	Mobilization	1	LS	\$ 3,000.00	\$ 3,000.00	\$ 7,500.00	\$ 7,500.00	\$ 5,500.00	\$ 5,500.00	\$ 10,000.00	\$ 10,000.00
2	Unclassified Excavation	60	CY	\$ 90.00	\$ 5,400.00	\$ 50.00	\$ 3,000.00	\$ 30.00	\$ 1,800.00	\$ 15.00	\$ 900.00
3	Aggregate Base Type A	100	CY	\$ 83.00	\$ 8,300.00	\$ 40.00	\$ 4,000.00	\$ 20.00	\$ 2,000.00	\$ 40.00	\$ 4,000.00
4	Separator Fabric	250	SY	\$ 3.00	\$ 750.00	\$ 1.00	\$ 250.00	\$ 0.65	\$ 162.50	\$ 1.50	\$ 375.00
5	Superpave, Type S3(PG 64-22 OK)	100	TON	\$ 105.00	\$ 10,500.00	\$ 90.00	\$ 9,000.00	\$ 75.00	\$ 7,500.00	\$ 80.00	\$ 8,000.00
6	Superpave, Type S4(PG 64-22 OK)	40	TON	\$ 190.00	\$ 7,600.00	\$ 105.00	\$ 4,200.00	\$ 80.00	\$ 3,200.00	\$ 110.00	\$ 4,400.00
7	Removal of Asphalt Pavement	250	SY	\$ 10.00	\$ 2,500.00	\$ 8.50	\$ 2,125.00	\$ 16.00	\$ 4,000.00	\$ 5.00	\$ 1,250.00
8	Sawcut Pavement	200	LF	\$ 2.00	\$ 400.00	\$ 4.00	\$ 800.00	\$ 0.85	\$ 170.00	\$ 5.00	\$ 1,000.00
9	Construction Traffic Control	1	LS	\$ 4,500.00	\$ 4,500.00	\$ 1,500.00	\$ 1,500.00	\$ 4,285.00	\$ 4,285.00	\$ 5,000.00	\$ 5,000.00
	SUBTOTAL				\$ 42,950.00		\$ 32,375.00		\$ 28,617.50		\$ 34,925.00
#6 - Sunnybrook (West 120th Street S. and South Forest Place)											
1	Mobilization	1	LS	\$ 5,000.00	\$ 5,000.00	\$ 10,100.00	\$ 10,100.00	\$ 5,500.00	\$ 5,500.00	\$ 10,000.00	\$ 10,000.00
2	Unclassified Excavation	190	CY	\$ 40.00	\$ 7,600.00	\$ 50.00	\$ 9,500.00	\$ 30.00	\$ 5,700.00	\$ 15.00	\$ 2,850.00
3	Aggregate Base Type A	100	CY	\$ 60.00	\$ 6,000.00	\$ 40.00	\$ 4,000.00	\$ 20.00	\$ 2,000.00	\$ 40.00	\$ 4,000.00
4	Separator Fabric	350	SY	\$ 2.50	\$ 875.00	\$ 1.00	\$ 350.00	\$ 0.65	\$ 227.50	\$ 1.50	\$ 525.00
5	Superpave, Type S3(PG 64-22 OK)	150	TON	\$ 90.00	\$ 13,500.00	\$ 90.00	\$ 13,500.00	\$ 75.00	\$ 11,250.00	\$ 80.00	\$ 12,000.00
6	Superpave, Type S4(PG 64-22 OK)	50	TON	\$ 165.00	\$ 8,250.00	\$ 105.00	\$ 5,250.00	\$ 80.00	\$ 4,000.00	\$ 110.00	\$ 5,500.00
7	Removal of Asphalt Pavement	350	SY	\$ 8.00	\$ 2,800.00	\$ 8.50	\$ 2,975.00	\$ 16.00	\$ 5,600.00	\$ 5.00	\$ 1,750.00
8	Sawcut Pavement	450	LF	\$ 2.00	\$ 900.00	\$ 4.00	\$ 1,800.00	\$ 0.85	\$ 382.50	\$ 5.00	\$ 2,250.00
9	Construction Traffic Control	1	LS	\$ 4,500.00	\$ 4,500.00	\$ 1,500.00	\$ 1,500.00	\$ 4,285.00	\$ 4,285.00	\$ 5,000.00	\$ 5,000.00
	SUBTOTAL				\$ 49,425.00		\$ 48,975.00		\$ 38,945.00		\$ 43,875.00
#7 - South Union Ave											
1	Mobilization	1	LS	\$ 12,300.00	\$ 12,300.00	\$ 15,500.00	\$ 15,500.00	\$ 5,500.00	\$ 5,500.00	\$ 10,000.00	\$ 10,000.00
2	Unclassified Excavation	500	CY	\$ 39.00	\$ 19,500.00	\$ 50.00	\$ 25,000.00	\$ 30.00	\$ 15,000.00	\$ 15.00	\$ 7,500.00
3	Aggregate Base Type A	300	CY	\$ 48.00	\$ 14,400.00	\$ 50.00	\$ 15,000.00	\$ 20.00	\$ 6,000.00	\$ 40.00	\$ 12,000.00
4	Separator Fabric	800	SY	\$ 2.00	\$ 1,600.00	\$ 1.00	\$ 800.00	\$ 0.65	\$ 520.00	\$ 1.50	\$ 1,200.00
5	Superpave, Type S3(PG 64-22 OK)	350	TON	\$ 85.00	\$ 29,750.00	\$ 95.00	\$ 33,250.00	\$ 75.00	\$ 26,250.00	\$ 80.00	\$ 28,000.00
6	Superpave, Type S4(PG 64-22 OK)	120	TON	\$ 150.00	\$ 18,000.00	\$ 105.00	\$ 12,600.00	\$ 80.00	\$ 9,600.00	\$ 110.00	\$ 13,200.00
7	Removal of Asphalt Pavement	800	SY	\$ 8.00	\$ 6,400.00	\$ 8.50	\$ 6,800.00	\$ 16.00	\$ 12,800.00	\$ 5.00	\$ 4,000.00
8	Sawcut Pavement	800	LF	\$ 2.00	\$ 1,600.00	\$ 4.00	\$ 3,200.00	\$ 0.85	\$ 680.00	\$ 5.00	\$ 4,000.00
9	Construction Traffic Control	1	LS	\$ 8,800.00	\$ 8,800.00	\$ 5,500.00	\$ 5,500.00	\$ 4,285.00	\$ 4,285.00	\$ 5,000.00	\$ 5,000.00
	SUBTOTAL				\$ 112,350.00		\$ 117,650.00		\$ 80,635.00		\$ 84,900.00
	TOTAL				\$ 290,345.00		\$ 274,195.00		\$ 227,785.00		\$ 255,125.00



LEGEND



MILL AND OVERLAY AREA

PAY ITEMS					
ITEM NO.	SPEC. NO.	DESCRIPTION	PAY NOTES	UNIT	QUANT.
1	641	MOBILIZATION		LS	1
2	411(C)	SUPERPAVE, TYPE S4(PG 64-22 OK)	1,2	TON	30
3	412	COLD MILLING PAVEMENT (3")	3	SY	160
4	880(J)	CONSTRUCTION TRAFFIC CONTROL	4,5	LS	1

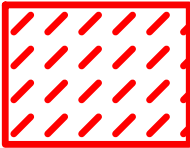
PAY ITEM NOTES

1. PRICE BID TO INCLUDE COST OF PRIME COAT, ESTIMATED AT 0.15 GAL/SY, MEETING THE REQUIREMENTS OF SECTION 408 OF THE 2009 ODOT STANDARD SPECIFICATIONS.
2. ESTIMATED AT 112LB/SY/1" THICK.
3. MILLINGS TO BECOME THE PROPERTY OF, AND DISPOSED OF, BY THE CONTRACTOR IN A MANNER APPROVED BY THE ENGINEER.
4. CONTRACTOR SHALL GIVE 48 HOUR NOTICE TO CITY ENGINEERING AND ALL AFFECTED RESIDENTS PRIOR TO CONSTRUCTION OR ROAD CLOSURES .
5. TRAFFIC CONTROL INCLUDES ELECTRONIC SIGNAGE (2), CONES, BARRICADES, AND APPROPRIATE SIGNAGE.

MILL AND OVERLAY PLAN	
MELODY LANE INTERSECTION OF FIR AND "E" STREET LOCATION #1 JE#2019-003	
CITY OF JENKS, OKLAHOMA	
ENGINEERING DEPARTMENT	
DATE: 11-08-19	SHEET 1 OF 10 SHEETS



LEGEND



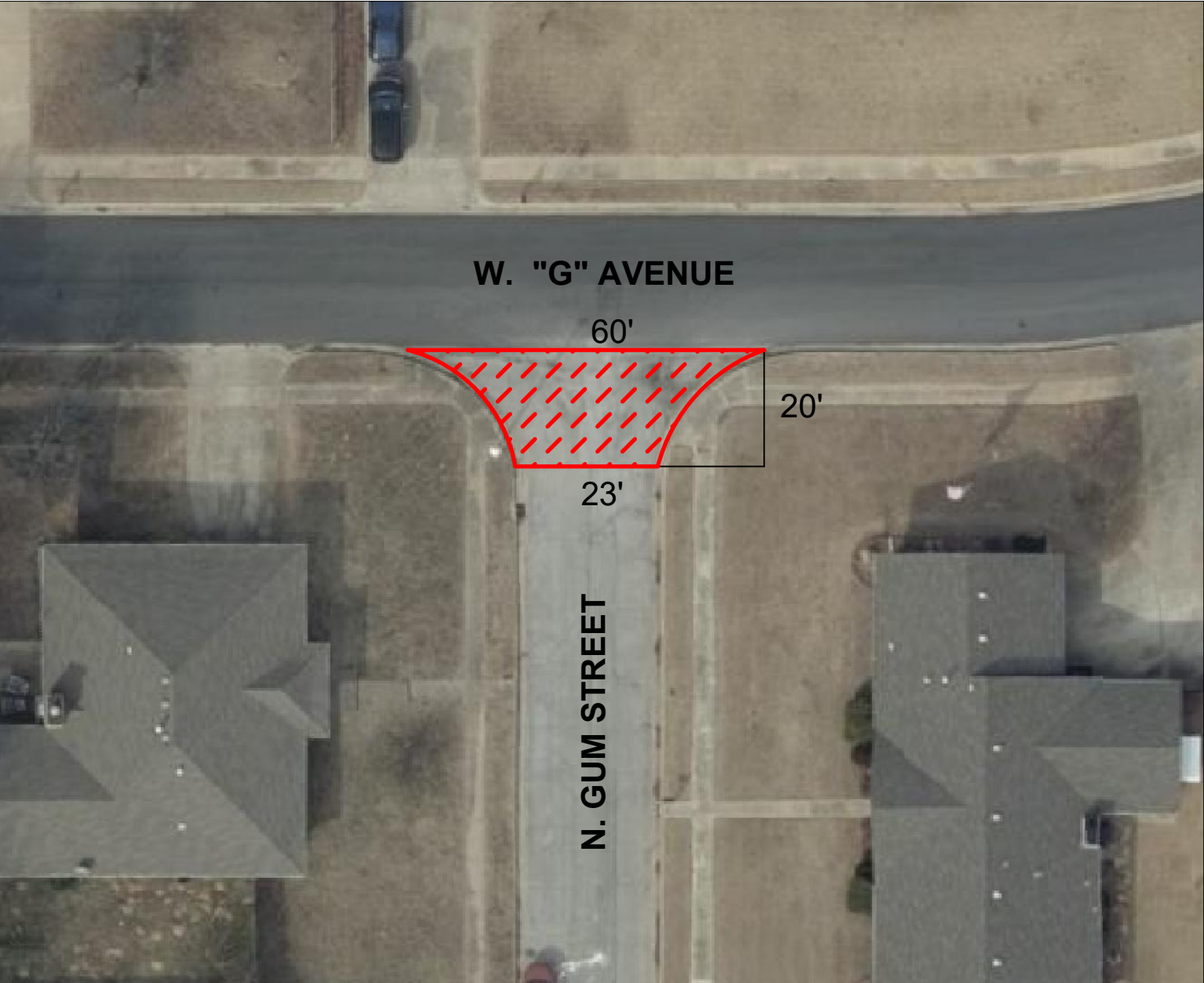
MILL AND OVERLAY AREA

PAY ITEMS					
ITEM NO.	SPEC. NO.	DESCRIPTION	PAY NOTES	UNIT	QUANT.
1	641	MOBILIZATION		LS	1
2	411(C)	SUPERPAVE, TYPE S4(PG 64-22 OK)	1,2	TON	60
3	412	COLD MILLING PAVEMENT (3")	3	SY	290
4	880(J)	CONSTRUCTION TRAFFIC CONTROL	4,5	LS	1

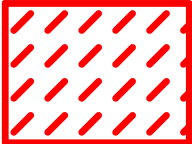
PAY ITEM NOTES

1.
- PRICE BID TO INCLUDE COST OF PRIME COAT, ESTIMATED AT 0.15 GAL/SY, MEETING THE REQUIREMENTS OF SECTION 408 OF THE 2009 ODOT STANDARD SPECIFICATIONS.
2.
- ESTIMATED AT 112LB/SY/1" THICK.
3.
- MILLINGS TO BECOME THE PROPERTY OF, AND DISPOSED OF, BY THE CONTRACTOR IN A MANNER APPROVED BY THE ENGINEER.
4.
- CONTRACTOR SHALL GIVE 48 HOUR NOTICE TO CITY ENGINEERING AND ALL AFFECTED RESIDENTS PRIOR TO CONSTRUCTION OR ROAD CLOSURES .
5.
- TRAFFIC CONTROL INCLUDES ELECTRONIC SIGNAGE (2), CONES, BARRICADES, AND APPROPRIATE SIGNAGE.

MILL AND OVERLAY PLAN	
MELODY LANE	
INTERSECTION OF FIR AND "C" STREET	
LOCATION #2	
JE#2019-003	
CITY OF JENKS, OKLAHOMA	
ENGINEERING DEPARTMENT	
DATE: 11-08-19	SHEET 2 OF 10 SHEETS



LEGEND



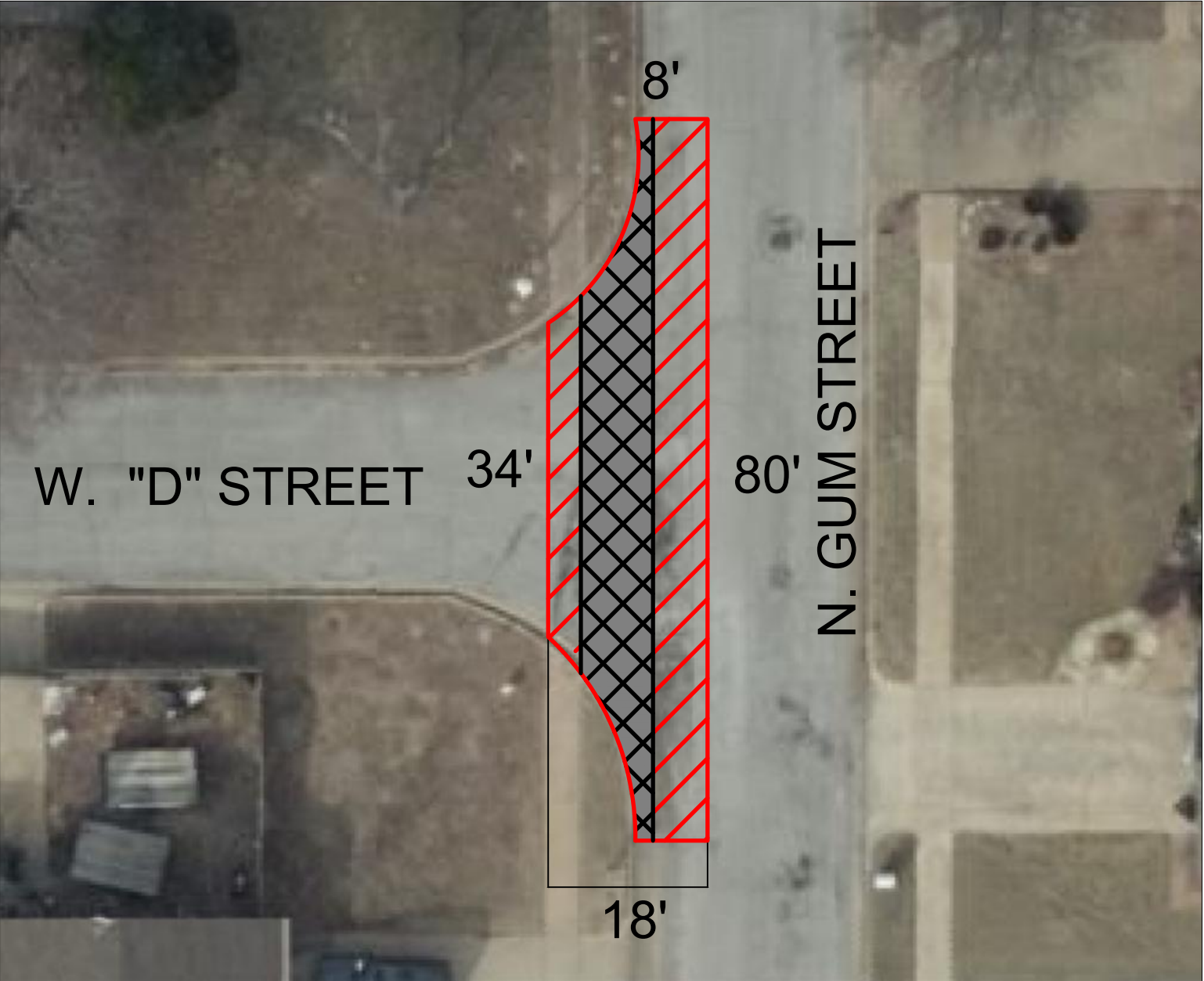
MILL AND OVERLAY AREA

PAY ITEMS					
ITEM NO.	SPEC. NO.	DESCRIPTION	PAY NOTES	UNIT	QUANT.
1	641	MOBILIZATION		LS	1
2	411(C)	SUPERPAVE, TYPE S4(PG 64-22 OK)	1,2	TON	20
3	412	COLD MILLING PAVEMENT (3")	3	SY	90
4	880(J)	CONSTRUCTION TRAFFIC CONTROL	4,5	LS	1

PAY ITEM NOTES

1.
- PRICE BID TO INCLUDE COST OF PRIME COAT, ESTIMATED AT 0.15 GAL/SY, MEETING THE REQUIREMENTS OF SECTION 408 OF THE 2009 ODOT STANDARD SPECIFICATIONS.
2.
- ESTIMATED AT 112LB/SY/1" THICK.
3.
- MILLINGS TO BECOME THE PROPERTY OF, AND DISPOSED OF, BY THE CONTRACTOR IN A MANNER APPROVED BY THE ENGINEER.
4.
- CONTRACTOR SHALL GIVE 48 HOUR NOTICE TO CITY ENGINEERING AND ALL AFFECTED RESIDENTS PRIOR TO CONSTRUCTION OR ROAD CLOSURES .
5.
- TRAFFIC CONTROL INCLUDES ELECTRONIC SIGNAGE (2), CONES, BARRICADES, AND APPROPRIATE SIGNAGE.

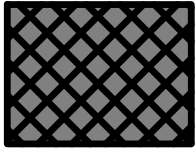
MILL AND OVERLAY PLAN	
MELODY LANE INTERSECTION OF GUM AND "G" STREET LOCATION #3 JE#2019-003	
CITY OF JENKS, OKLAHOMA	
ENGINEERING DEPARTMENT	
DATE: 11-08-19	SHEET 3 OF 10 SHEETS



LEGEND



ASPHALT PATCH



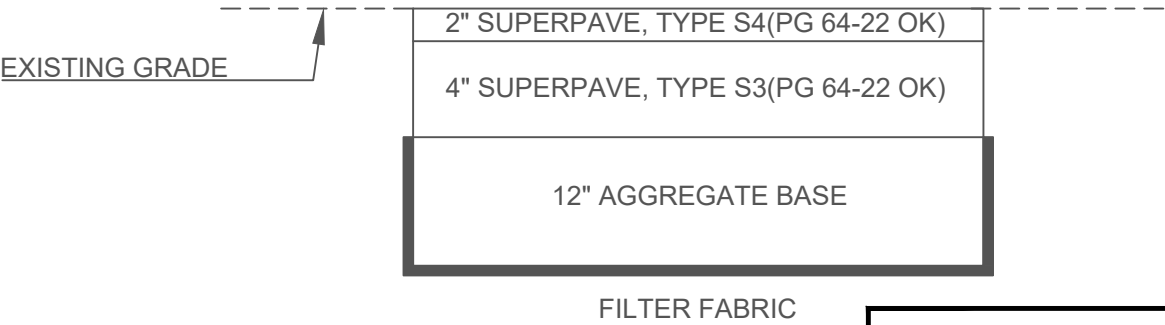
CONCRETE SWALE

PAY ITEMS					
ITEM NO.	SPEC. NO.	DESCRIPTION	PAY NOTES	UNIT	QUANT.
1	641	MOBILIZATION		LS	1
2	202(A)	UNCLASSIFIED EXCAVATION		CY	40
3	303(A)	AGGREGATE BASE TYPE "A"		CY	40
4	325	SEPARATOR FABRIC	1,2	SY	150
5	411(B)	SUPERPAVE, TYPE S3(PG 64-22 OK)	1,2	TON	60
6	411(C)	SUPERPAVE, TYPE S4(PG 64-22 OK)	3	TON	20
7	619(B)	REMOVAL ASPHALT/CONCRETE PAVEMENT		SY	150
8	619(C)	SAWCUT PAVEMENT	4,5	LF	380
9	880(J)	CONSTRUCTION TRAFFIC CONTROL		LS	1
10	SPECIAL	CONCRETE SWALE	6	SY	70

PAY ITEM NOTES

- PRICE BID TO INCLUDE COST OF PRIME COAT, ESTIMATED AT 0.15 GAL/SY, MEETING THE REQUIREMENTS OF SECTION 408 OF THE 2009 ODOT STANDARD SPECIFICATIONS.
- ESTIMATED AT 112LB/SY/1" THICK.
- CONSTRUCTION DEBRIS TO BECOME THE PROPERTY OF, AND DISPOSED OF, BY THE CONTRACTOR IN A MANNER APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL GIVE 48 HOUR NOTICE TO CITY ENGINEERING AND ALL AFFECTED RESIDENTS PRIOR TO CONSTRUCTION OR ROAD CLOSURES.
- TRAFFIC CONTROL INCLUDES ELECTRONIC SIGNAGE (2), CONES, BARRICADES, AND APPROPRIATE SIGNAGE.
- CONCRETE SWALE TO BE 8 FEET FROM END OF GUTTER TO ALLOW APPROPRIATE SLOPE. SLOPE TO BE DETERMINED IN FIELD BY CITY OF JENKS ENGINEER.

ASPHALT PATCH DETAIL



PATCH PLAN

MELODY LANE
INTERSECTION OF GUM AND "D" STREET
LOCATION #4
JE#2019-003

CITY OF JENKS, OKLAHOMA

ENGINEERING DEPARTMENT

DATE: 11-08-19

SHEET 4 OF 10 SHEETS



LEGEND



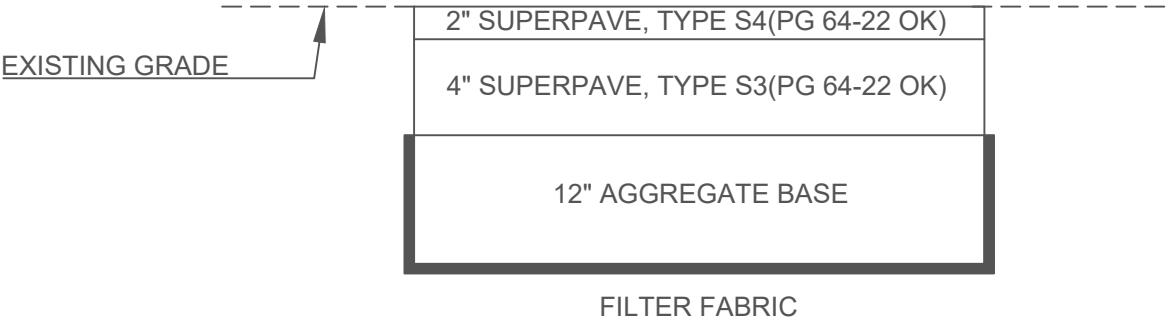
ASPHALT PATCH

PAY ITEMS					
ITEM NO.	SPEC. NO.	DESCRIPTION	PAY NOTES	UNIT	QUANT.
1	641	MOBILIZATION		LS	1
2	202(A)	UNCLASSIFIED EXCAVATION		CY	60
3	303(A)	AGGREGATE BASE TYPE "A"		CY	100
4	325	SEPARATOR FABRIC		SY	250
5	411(B)	SUPERPAVE, TYPE S3(PG 64-22 OK)	1,2	TON	100
6	411(C)	SUPERPAVE, TYPE S4(PG 64-22 OK)	1,2	TON	40
7	619(B)	REMOVAL ASPHALT/CONCRETE PAVEMENT	3	SY	250
8	619(C)	SAWCUT PAVEMENT		LF	200
9	880(J)	CONSTRUCTION TRAFFIC CONTROL	4,5	LS	1

PAY ITEM NOTES

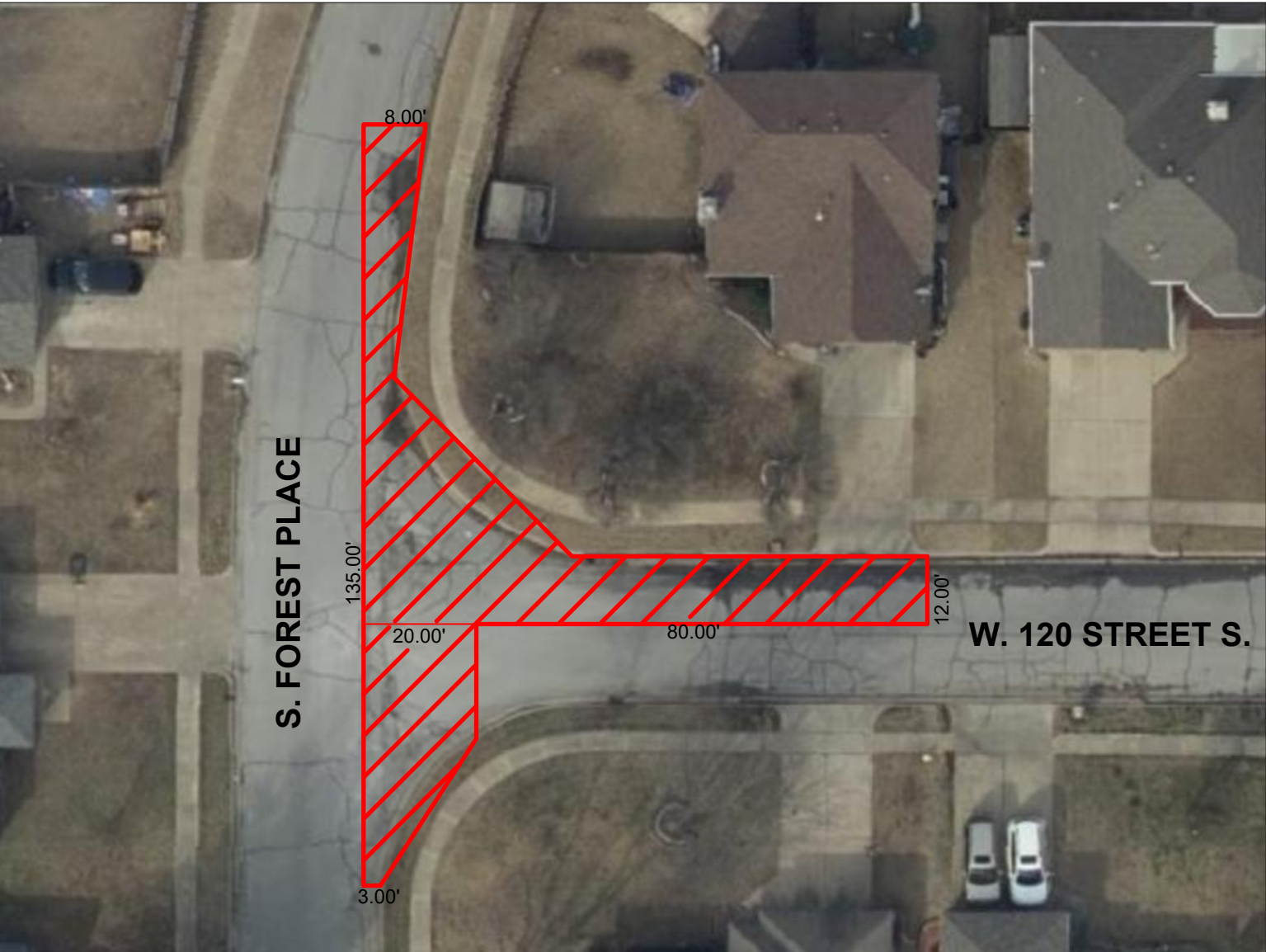
1.
- PRICE BID TO INCLUDE COST OF PRIME COAT, ESTIMATED AT 0.15 GAL/SY, MEETING THE REQUIREMENTS OF SECTION 408 OF THE 2009 ODOT STANDARD SPECIFICATIONS.
2.
- ESTIMATED AT 112LB/SY/1" THICK.
3.
- CONSTRUCTION DEBRIS TO BECOME THE PROPERTY OF, AND DISPOSED OF, BY THE CONTRACTOR IN A MANNER APPROVED BY THE ENGINEER.
4.
- CONTRACTOR SHALL GIVE 48 HOUR NOTICE TO CITY ENGINEERING AND ALL AFFECTED RESIDENTS PRIOR TO CONSTRUCTION OR ROAD CLOSURES.
5.
- TRAFFIC CONTROL INCLUDES ELECTRONIC SIGNAGE (2), CONES, BARRICADES, AND APPROPRIATE SIGNAGE.

ASPHALT PATCH DETAIL



PATCH PLAN

SOUTH CREEK S. GUM AVE AND W. 120TH STREET S. LOCATION #5 JE#2019-003	
CITY OF JENKS, OKLAHOMA	
ENGINEERING DEPARTMENT	
DATE: 11-08-19	SHEET 5 OF 10 SHEETS



LEGEND



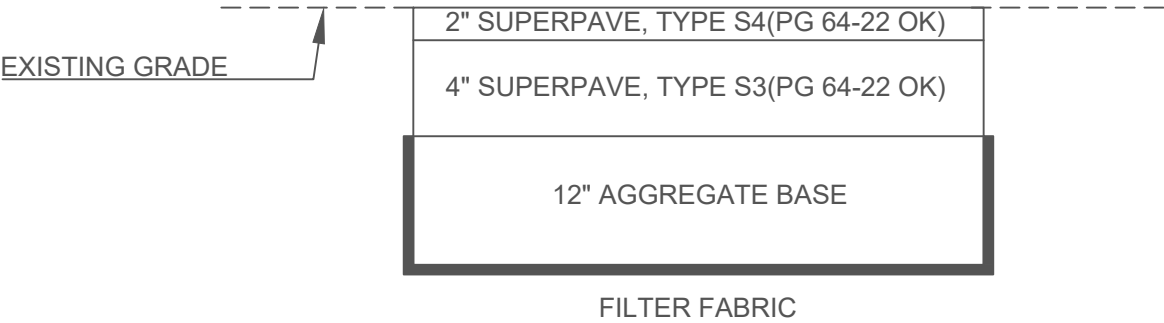
ASPHALT PATCH

PAY ITEMS					
ITEM NO.	SPEC. NO.	DESCRIPTION	PAY NOTES	UNIT	QUANT.
1	641	MOBILIZATION		LS	1
2	202(A)	UNCLASSIFIED EXCAVATION		CY	190
3	303(A)	AGGREGATE BASE TYPE "A"		CY	100
4	325	SEPARATOR FABRIC		SY	350
5	411(B)	SUPERPAVE, TYPE S3(PG 64-22 OK)	1,2	TON	150
6	411(C)	SUPERPAVE, TYPE S4(PG 64-22 OK)	1,2	TON	50
7	619(B)	REMOVAL ASPHALT/CONCRETE PAVEMENT	3	SY	350
8	619(C)	SAWCUT PAVEMENT		LF	450
9	880(J)	CONSTRUCTION TRAFFIC CONTROL	4,5	LS	1

PAY ITEM NOTES

1.
- PRICE BID TO INCLUDE COST OF PRIME COAT, ESTIMATED AT 0.15 GAL/SY, MEETING THE REQUIREMENTS OF SECTION 408 OF THE 2009 ODOT STANDARD SPECIFICATIONS.
2.
- ESTIMATED AT 112LB/SY/1" THICK.
3.
- CONSTRUCTION DEBRIS TO BECOME THE PROPERTY OF, AND DISPOSED OF, BY THE CONTRACTOR IN A MANNER APPROVED BY THE ENGINEER.
4.
- CONTRACTOR SHALL GIVE 48 HOUR NOTICE TO CITY ENGINEERING AND ALL AFFECTED RESIDENTS PRIOR TO CONSTRUCTION OR ROAD CLOSURES.
5.
- TRAFFIC CONTROL INCLUDES ELECTRONIC SIGNAGE (2), CONES, BARRICADES, AND APPROPRIATE SIGNAGE.

ASPHALT PATCH DETAIL



PATCH PLAN

SUNNYBROOK ESTATES	
S. FOREST PLACE AND W. 120TH STREET S.	
LOCATION #6	
JE#2019-003	
CITY OF JENKS, OKLAHOMA	
ENGINEERING DEPARTMENT	
DATE: 11-08-19	SHEET 6 OF 10 SHEETS

CONTACT LIST		
COMPANY	CONTACT	PHONE
JENKS ENGINEERING	CHRIS ROBINSON	918-299-5883
JENKS PUBLIC WORKS	TIM DOYLE	918-688-9833
O.N.G.	L.D. WEBB	918-831-8375
AT&T	KEVIN BENDER	539-444-1073
AEP/PSO	LONNY HICKS	918-344-9856
COX	GARY HAMILTON	918-286-4770

CITY OF JENKS

UNION AVENUE PATCHING

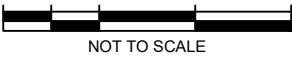
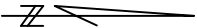


CITY OF JENKS
P.O. BOX 2007
JENKS, OKLAHOMA 74307

PAY ITEMS					
ITEM NO.	SPEC. NO.	DESCRIPTION	PAY NOTES	UNIT	QUANT.
1	641	MOBILIZATION		LS	1
2	202(A)	UNCLASSIFIED EXCAVATION		CY	300
3	303(A)	AGGREGATE BASE TYPE "A"		CY	300
4	325	SEPARATOR FABRIC		SY	700
5	411(B)	SUPERPAVE, TYPE S3(PG 64-22 OK)	1,2	TON	250
6	411(C)	SUPERPAVE, TYPE S4(PG 64-22 OK)	1,2	TON	90
7	619(B)	REMOVAL ASPHALT/CONCRETE PAVEMENT	3	SY	700
8	619(C)	SAWCUT PAVEMENT		LF	250
9	880(J)	CONSTRUCTION TRAFFIC CONTROL	4,5	LS	1

PAY ITEM NOTES

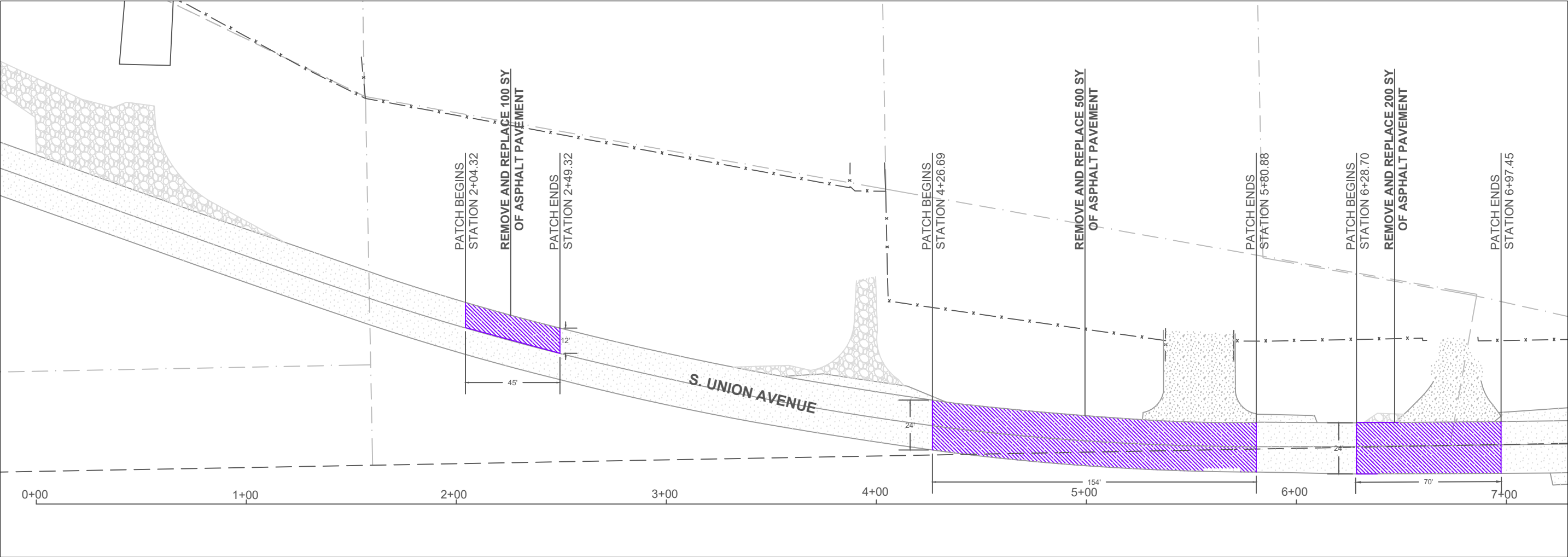
- PRICE BID TO INCLUDE COST OF PRIME COAT, ESTIMATED AT 0.15 GAL/SY, MEETING THE REQUIREMENTS OF SECTION 408 OF THE 2009 ODOT STANDARD SPECIFICATIONS.
- ESTIMATED AT 112LB/SY/1" THICK.
- CONSTRUCTION DEBRIS TO BECOME THE PROPERTY OF, AND DISPOSED OF, BY THE CONTRACTOR IN A MANNER APPROVED BY THE ENGINEER.
- CONTRACTOR SHALL GIVE 48 HOUR NOTICE TO CITY ENGINEERING AND ALL AFFECTED RESIDENTS PRIOR TO CONSTRUCTION OR ROAD CLOSURES.
- TRAFFIC CONTROL INCLUDES ELECTRONIC SIGNAGE (2), CONES, BARRICADES, AND APPROPRIATE SIGNAGE.



STANDARDS

CITY OF JENKS
ODOT SPECIFICATIONS MANUAL, 2009 EDITION
DEPARTMENT OF JUSTICE 28 CFR PART 36 ADA
STANDARDS, 1994 EDITION
DEPARTMENT OF JUSTICE 2010 ADA
STANDARDS FOR ACCESSIBLE DESIGN

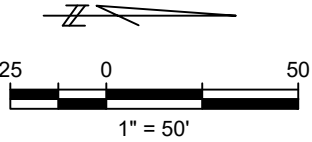
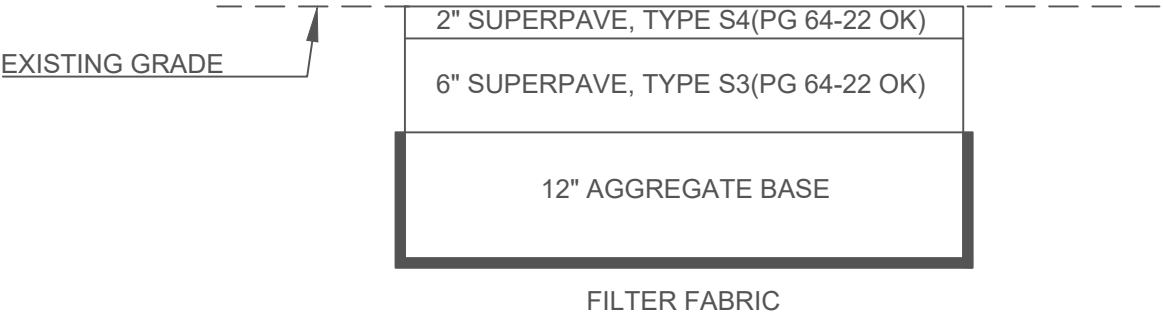
LOCATION MAP	
SOUTH UNION AVENUE PATCHING LOCATION #7 JE#2019-003	
CITY OF JENKS, OKLAHOMA	
ENGINEERING DEPARTMENT	
DATE: 11-08-19	SHEET 7 OF 10 SHEETS



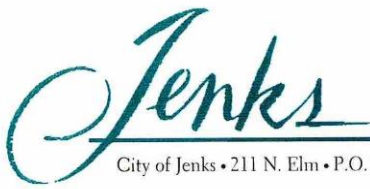
LEGEND

- PROPERTY LINES
- FENCE LINES
- SECTION LINES
- GRAVEL DRIVE
- CONCRETE DRIVE
- ASPHALT ROAD
- ASPHALT PATCH

ASPHALT PATCH DETAIL



ASPHALT PATCHING PLAN	
UNION AVENUE PATCHING LOCATION #7	
JE#2019-003	
CITY OF JENKS, OKLAHOMA	
ENGINEERING DEPARTMENT	
DATE: 11-08-19	SHEET 8 OF 10 SHEETS



Memorandum

To: Mayor Lee and Members of City Council

From: Jim Beach, City Planner

Hearing Date: January 21, 2020

Subject: JZ 19-648

Location: 122 North 6th Street (Ward 1)

Exhibits:

1. Location Map with Existing Zoning

Applicant:	Theresa Dewhurst
Action Requested:	Rezone from RS-3 – Residential Single-Family High Density to CS – Commercial Shopping Center
Current Zoning:	RS-3 – Residential Single-Family High Density
Lot Size:	Approximately 0.44 acres, 19,000 square feet
Surrounding Zoning and Land Uses:	Surrounded by commercial and office zoning with transitioning land uses
Comprehensive Plan:	High Intensity Area, no specific land uses reserved

BACKGROUND

The property is in an area of older residences transitioning to commercial and office uses, consistent with the expectations of the Comprehensive Plan. The applicant states they are seeking to rezone the property and sell it for office, medical, retail, food service, etc. development.

STAFF EVALUATION

The Comprehensive Plan designates the strip along Main Street to A Street, “High Intensity” from Elm to the Riverfront Entertainment District. CS Zoning is in accordance with the Plan and would be compatible with much of the surrounding zoning. The other uses permitted in CS would be compatible with the area. The Comprehensive Plan includes CS with all its permitted uses as a zoning category that carries out the goals of the Plan. This area is expected to continue transitioning to more intense commercial and office uses in time.

The CS District allows a broad variety of uses by right including retail, restaurant, trades and services, automotive services, and offices. A full list is at the end of this report. Multi-family uses are allowed with a PUD. Approval of a zoning change includes all the uses allowed by ordinance in the new zoning category. Approval may not be conditioned to exclude any allowed uses.

Any rezoning request that is consistent with the Comprehensive Plan and the zoning and land uses in the surrounding area should be approved. Any denial should be accompanied by clear findings that the Comprehensive Plan and Zoning ordinances are inappropriate or in error. If such a finding is made, prompt action should be taken to correct the error or inappropriateness.

Rezoning triggers the “Platting Requirement” of Section 260 of the Zoning Code. In this case, the property is already platted, has utilities to serve new development or adequate easements or right-of-way to bring

necessary utilities, and has full right-of-way on both A and 6th Streets. A new plat would not accomplish the purposes of platting and the plat should be waived.

PLANNING COMMISSION

In its meeting of January 9, 2020, the Planning Commission voted 5-1-1 (Fulkerson, Minden, West, Bowman, Davis – Yes; Randolph – No; Brown – Abstain) to recommend approval of the rezoning to CS. Discussion among Commissioners was around regulating possible uses that would be allowed with the rezoning. Commissioner Brown expressed concerns with the types of uses that may continue to come along with continued rezoning in this High Intensity designated area.

RECOMMENDATION

Staff recommends approval of the zoning change from RS-3 to CS, and a waiver of the platting requirement.

CRITERIA and CONSIDERATIONS FOR ACTION

The only question for consideration is whether CS zoning with all its permitted uses would be appropriate on this parcel.

Comprehensive Plan: The plan designates this property *High Intensity, not reserved for any specific land uses*. The requested CS zoning is in accordance with the Comprehensive Plan.

Zoning Code: Section 600.2. Purposes of the CS Commercial Shopping District.

The CS District is designed to accommodate convenience, neighborhood, sub-community, community, and regional shopping, providing a wide range of retail and personal service uses.

Chapter 10 Use Units, Section 1000.1. General.

The use unit is a grouping of individual uses having similarities in characteristics of function and/or performance which enable systematic consideration of location and other regulation.

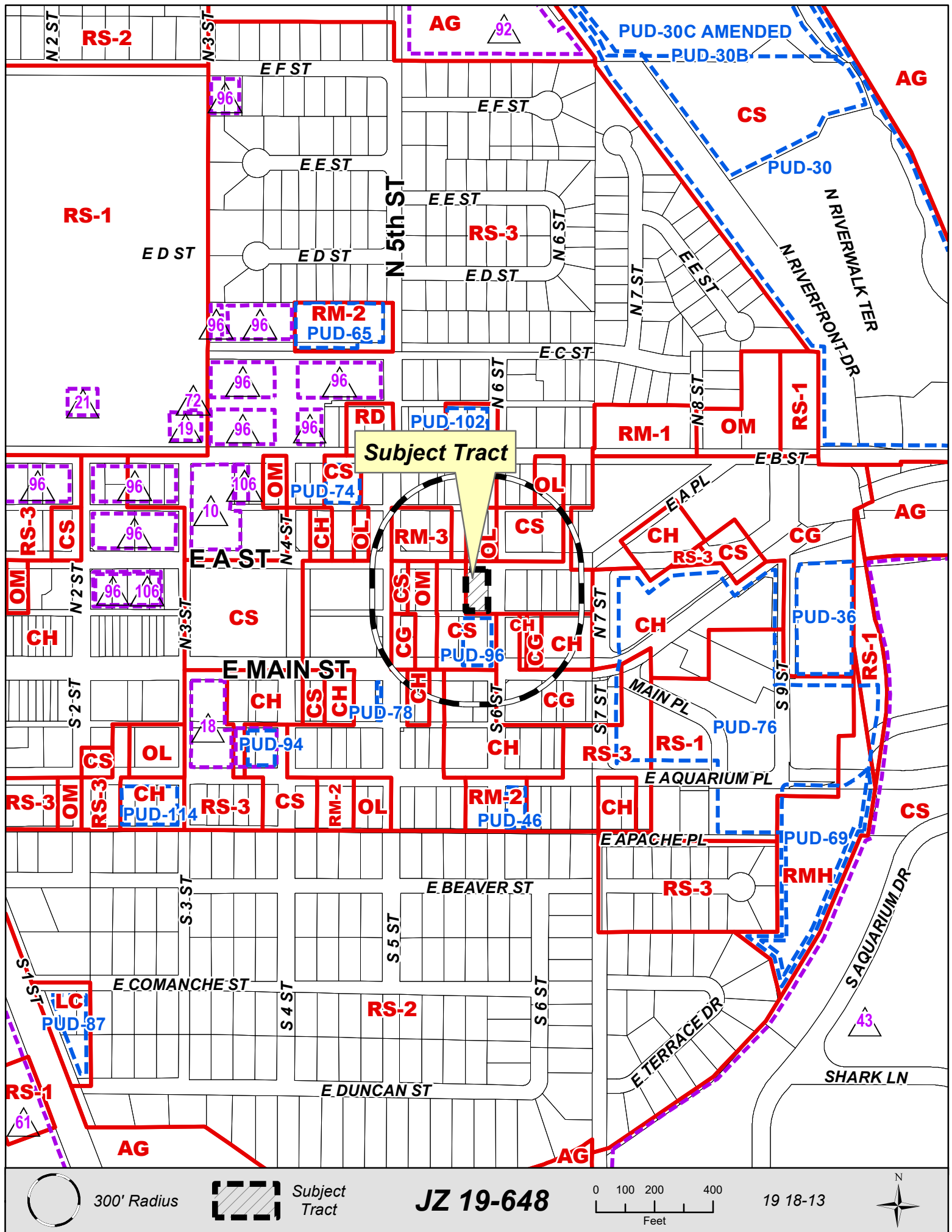
The uses permitted in any zoning district are listed in the Zoning Code by the Use Unit in which they are categorized. Individual uses within each Use Unit are too numerous to list. They are provided in the Zoning Code in Chapter 10. The Use Units allowed in CS zoning are:

- Use Unit 1. Area-wide uses by right*
- Use Unit 2. Specific use permit uses*
- Use Unit 4. Public protection and utility and open-air facilities (temporary)*
- Use Unit 5. Community services and cultural facilities*
- Use Unit 8. Multifamily dwelling and similar uses*
- Use Unit 10. Off-street parking areas*
- Use Unit 11. Offices and studios*
- Use Unit 12. Eating places other than drive-ins*
- Use Unit 13. Convenience goods and services*
- Use Unit 14. Shopping goods and services*
- Use Unit 15. Other trades and services*
- Use Unit 17. Automotive allied activities*
- Use Unit 19. Hotel, motel, and recreation facilities*
- Use Unit 21. Business signs, outdoor advertising, and billboards*

Section 260. Platting requirement.

For the purposes of providing a proper arrangement of streets and assuring the adequacy of open spaces for traffic, utilities, and access of emergency vehicles, commensurate with the intensification of land use customarily incident to a change of zoning, a platting requirement is established as follows:

For any land which has been rezoned upon application, no building permit shall be issued until that portion of the tract on which the permit is sought has been included within a subdivision plat or replat, as the case may be, submitted to the Planning Commission for their review and recommendation, approved by the City Council, and filed on record in the office of the county clerk where the property is situated. Provided that City Council, pursuant to their exclusive jurisdiction of subdivision plats, may remove the platting requirement upon a determination that the above-stated purposes have been achieved by previous platting or could not be achieved by a plat or a replat.



**ORDINANCE NO. 1504
(JZ 19-648)**

AN ORDINANCE AMENDING ORDINANCE NUMBER 1287; AMENDING THE ZONING MAP OF THE CITY OF JENKS, OKLAHOMA AND REZONING A TRACT OF LAND FROM RS-3 (RESIDENTIAL SINGLE-FAMILY HIGH DENSITY) DISTRICT TO CS (COMMERCIAL SHOPPING CENTER) DISTRICT; REPEALING ALL ORDINANCES OR PARTS THEREOF IN CONFLICT HERewith; PROVIDING FOR SEVERABILITY; AND DECLARING AN EMERGENCY

.....

BE IT ORDAINED BY THE COUNCIL OF THE CITY OF JENKS, OKLAHOMA:

SECTION I. That the following described property in the City of Jenks, Tulsa County, Oklahoma:

Lots 1, 2, 3, Block 13, Jenks Original Town

General Location: 122 N 6th St

Is hereby approved for rezoning from RS-3 (Residential Single-Family High Density) District to CS (Commercial Shopping Center) District as defined under City of Jenks Zoning Code.

SECTION II. That approval of this rezoning shall be subject the Jenks City Council approving this ordinance.

SECTION III. That all ordinances or parts of ordinances in conflict herewith be and the same are hereby expressly repealed.

SECTION IV. If any section, sentence, clause or phrase of this ordinance or any part thereof is for any reason found to be invalid by a court of competent jurisdiction, such decision shall not affect the validity of the remainder of this ordinance or any part thereof.

Approved this 21st day of January 2020.

CITY OF JENKS, OKLAHOMA

MAYOR

SECTION V. Since the immediate operation of the provisions of the Ordinance is necessary for the preservation of public health, welfare and safety, an emergency is hereby declared to exist and this ordinance shall be in full force and effect from and after its passage by the City Council.

Emergency Clause approved separately this 21st day of January 2020.

CITY OF JENKS, OKLAHOMA

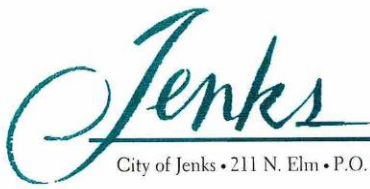
MAYOR

Attest:

CITY CLERK

Approved as to form:

CITY ATTORNEY



Memorandum

To: Mayor Lee and City Council Members

From: Jim Beach, City Planner

Hearing Date: January 21, 2020

Subject: UEC 19-70

Location: 10709 S Nandina Court (Ward 6)

Attachments:

1. Location Map
2. Easement Closure Exhibit "A"
3. Site Plan

Applicant: Josh Nave for Jerry Dawkins

Action Requested: Close a 7-foot wide portion of a utility easement to allow a pool and retaining wall

Current Zoning: RS-1

Lot Size: Approximately ½ acre

Surrounding Zoning

and Land Uses: Single-family residences in RS-1 and PUD's

CRITERIA and CONSIDERATIONS FOR ACTION

The City may find that an easement or a portion of an easement is no longer needed when there are no existing or planned utilities occupying it and may close it by approving an ordinance. The sole criteria are whether or not there is a current or possible future public need to keep the easement open.

Closing an easement by ordinance leaves an option for the City to reopen the easement if it ever finds it necessary. To permanently vacate the easement requires an action by the District Court. The applicant is responsible to file the vacation case in District Court, usually through their attorney. If the judge does not grant the vacation after the City closes it, the closure ordinance stands, and the City retains the right to reopen.

BACKGROUND

Because the property has considerable slopes, a retaining wall is needed to create a level area for a pool. The only practical location for the pool is on the east side of the house where there is a 20-foot building line and a 17.5-foot utility easement. The request is to close the westerly seven feet of the easement, closest to the house to accommodate the encroachments.

PLANNING COMMISSION

In its meeting of January 9, 2020, the Planning Commission voted unanimously, 7-0-0, to recommend approval of closing a maximum 6.5 feet, subject to the applicant obtaining a Judicial Vacation of the easement.

The applicant came forward and explained that the pool will not be in the easement, only the retaining wall and described the retaining wall.

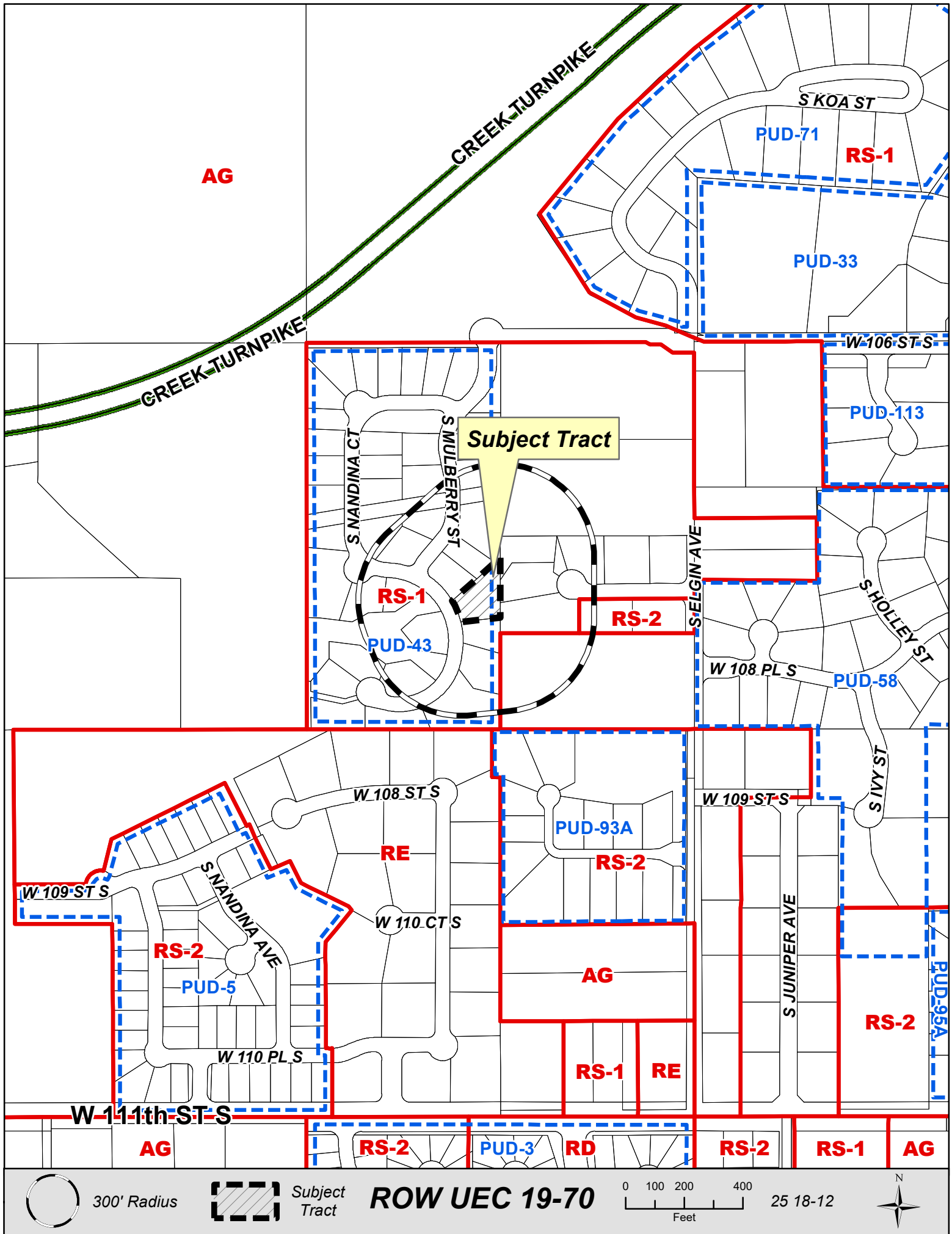
PSO's representative on the Technical Advisory Committee stated in an email that their surveyor determined the approximate location of their line. They want the applicant to pot hole the line to determine exact location. Based on the approximate location, they recommend closing only the westerly 6.5 feet instead of the seven requested.

STAFF EVALUATION

Engineering staff and the Technical Advisory Committee members reviewed the application and find no utilities now or anticipated that would be in the way. None have concerns with closing this portion of the easement.

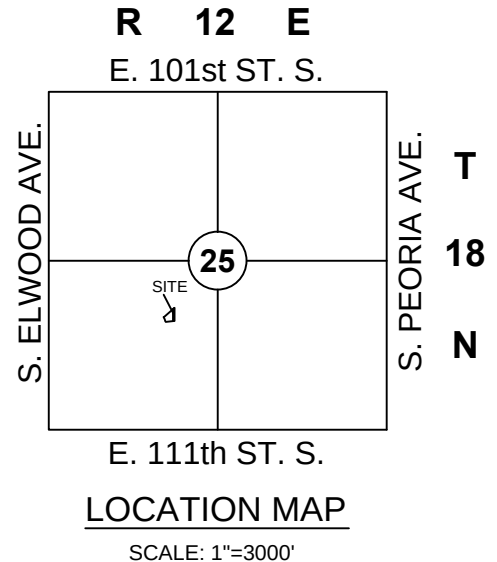
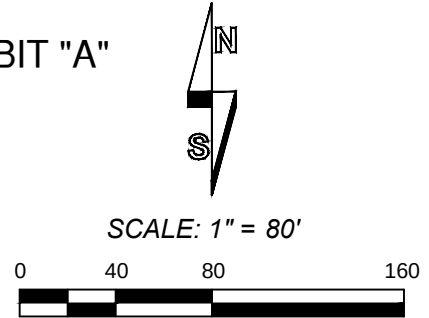
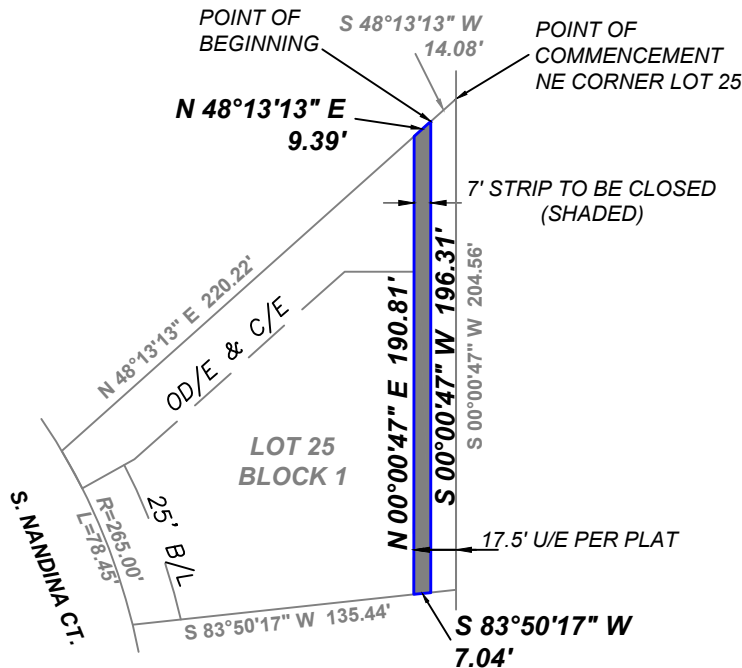
RECOMMENDATION

Staff recommends approval, per Planning Commission recommendation, of closing a maximum 6.5 feet of the easement, subject to the applicant obtaining a Judicial Vacation of the easement.



PLAT OF SURVEY
EASEMENT CLOSURE EXHIBIT "A"

PAGE 1 of 1



LEGAL DESCRIPTION - 7' WIDE EASEMENT STRIP TO BE CLOSED

A TRACT OF LAND 7.00 FEET IN WIDTH LOCATED ACROSS LOT TWENTY-FIVE (25), BLOCK ONE (1), HIDDEN OAKS ESTATES, AN ADDITION TO THE CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT NO. 5950, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF LOT 25, BLOCK 1;

THENCE SOUTH 48°13'13" WEST ALONG THE NORTH LINE THEREOF A DISTANCE OF 14.08 FEET TO THE POINT OF BEGINNING;

THENCE SOUTH 00°00'47" WEST AND PARALLEL WITH THE EAST LINE OF SAID LOT 25 FOR 196.31 FEET TO A POINT ON THE SOUTH LINE THEREOF;

THENCE SOUTH 83°50'17" WEST ALONG SAID SOUTH LINE 7.04 FEET;

THENCE NORTH 00°00'47" EAST 190.81 FEET TO A POINT ON THE NORTH LINE OF SAID LOT 25;

THENCE NORTH 48°13'13" EAST A DISTANCE OF 9.39 FEET TO THE POINT OF BEGINNING.

SAID TRACT CONTAINS AN AREA OF 1,354.9 SQ. FT. OR 0.03 ACRES.

BEARINGS ARE BASED UPON THE RECORDED PLAT USING THE EAST LINE OF LOT 25 AS SOUTH 00°00'47" WEST.

SURVEYOR'S CERTIFICATION

FRITZ LAND SURVEYING, LLC AND THE UNDERSIGNED PROFESSIONAL LAND SURVEYOR, UNDER CERTIFICATE OF AUTHORIZATION CA #5848, DO HEREBY STATE THAT THIS PLAT OF SURVEY IS A TRUE AND ACCURATE REPRESENTATION OF THE RECORD CONDITIONS AT THE TIME OF THE SURVEY. THIS SURVEY IS INTENDED TO ILLUSTRATE THE PROPOSED 7' EASEMENT CLOSURE AND FEATURES OF THE PROPERTY HAVE BEEN OMITTED FOR CLARITY. THIS PLAT MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

WITNESS MY HAND AND SEAL THIS 7th DAY OF NOVEMBER, 2019.

PREPARED BY:

FRITZ LAND SURVEYING, LLC
2019 W. 91ST STREET, TULSA, OK 74132
PH: 918.231.0575
FRITZLANDSURVEYING@GMAIL.COM
C.A. # 5848 EXPIRES: 6-30-2020

ANDY FRITZ, PLS
OK LIC. 1694
CA #5848 EXP. 06.30.2020



**ORDINANCE NO. 1506
(ROW-UEC 19-70)**

AN ORDINANCE PARTIALLY CLOSING TO PUBLIC USE A CERTAIN UTILITY EASEMENT IN THE CITY OF JENKS PRESENTLY LOCATED NEAR LOT TWENTY-FIVE (25), BLOCK ONE (1), HIDDEN OAKS ESTATES, AN ADDITION TO THE CITY OF JENKS, COUNTY OF TULSA, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT NO 5950; REPEALING ALL ORDINANCES OR PARTS THEREOF IN CONFLICT HERewith; PROVIDING FOR SEVERABILITY; AND DECLARING AN EMERGENCY.

.....

WHEREAS, on May 7, 1984, the City Council of the City of Jenks, with the approval of Resolution 104, established procedures for the closing of a public right-of-way or easement within the City of Jenks; and

WHEREAS, the owner of certain real property has petitioned for the closure of certain easements and has an immediate need for use of the same; and

WHEREAS, the City of Jenks, Oklahoma, grantees of said certain easements, has consented to the closing and has been provided alternate rights-of-way or easements, if necessary; and

WHEREAS, a public hearing on said easement closure was held by the Jenks Planning Commission on January 09, 2020, and a public hearing on said easement's closure was held by the Jenks City Council on January 21, 2020, and due consideration has been given to any public comments; and

WHEREAS, the City Council of the City of Jenks, Oklahoma finds that the closing of the described easements will not adversely affect the health, safety, or general welfare of the public and that the same is necessary and expedient.

NOW THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF JENKS, OKLAHOMA:

SECTION I. Pursuant to the authority granted by 11 O.S. Section 42-110, that the following described utility easement in the City of Jenks, Tulsa County, Oklahoma:

The Westerly 6.5 feet of the utility easement lying along the east boundary of Lot Twenty-five (25), Block One (1), Hidden Oaks, an Addition to the City of Jenks, County of Tulsa, State of Oklahoma, according to the recorded Plat No 5950

General Location: 10709 S Nandina Ct

Is hereby closed.

SECTION II. That all ordinances or parts of ordinances in conflict herewith be, and the same are

hereby expressly repealed.

SECTION III. If any section, sentence, clause or phrase of this ordinance or any part thereof is for any reason found to be invalid by a court of competent jurisdiction, such decision shall not affect the validity of the remainder of this ordinance or any part thereof.

Approved this 21st day of January 2020.

CITY OF JENKS, OKLAHOMA

MAYOR

SECTION IV. That, since the immediate operation of the provisions of the Ordinance is necessary for the preservation of public health, welfare and safety, an emergency is hereby declared to exist and this ordinance shall be in full force and effect from and after its passage by the City Council.

Emergency Clause approved separately this 21st day of January 2020.

CITY OF JENKS, OKLAHOMA

MAYOR

Attest:

CITY CLERK

Approved as to form:

CITY ATTORNEY



Memorandum

To: Mayor Lee and City Council Members
From: Jim Beach, City Planner
Hearing Date: January 21, 2020
Subject: JZ 19-649 PUD 97A
Location: SE Corner South James Avenue and West 114th Place (Ward 2)

Exhibits:

1. Suggested Tree List
2. Location Map with Existing Zoning
3. Site Plan
4. Access Charges Notification Letter
5. Quit Claim Deed for Subject 2.15-acre tract

Applicant:	Bell Land Use LLC for Dash Land Co LLC
Action Requested:	Request by Bell Land Use to amend Development Area B of PUD 97 to include Reserve B of Jenks Landing Subdivision in the land area, making the total area of Development Area B approximately 13.2 acres to allow more dwelling units in the previously approved multi-family portion of the PUD.
Current Zoning:	CS/PUD-97 – Commercial Shopping/mixed use development
Lot Size:	Approximately 13.2 acres as proposed
Surrounding Zoning and Land Uses:	Surrounded by commercial and agriculture zoning with developing commercial, office, and residential. To the north is an industrial park
Comprehensive Plan:	Medium Intensity Commercial

BACKGROUND

Shortly before approval of the plat of Kirk Crossing in 2013 the 2.15-acre tract that is the subject of this application was dedicated by separate instrument as a detention area and utility easement. It was not included in the Kirk Crossing plat, but it was identified in the Deed of Dedication as “Detention Easement Area.” It was to be maintained by Kirk Crossing until it would be included in a future subdivision plat, with pro rata shares of maintenance and other responsibilities assigned to all properties using the detention area.

In 2016, PUD 97 was approved with standards for Development Areas A and B. Development Area A is for Commercial and Service uses; Development Area B is for multi-family uses. The 2.15-acre tract for detention and utilities was *not included* in the PUD but *was included* in the plat of Jenks Landing.

The 2.15-acre Detention Easement Area is shown on the plat as “Reserve B” with the purpose of providing open space, recreation, drainage, detention, landscaping, signage, fences, and walls. At the time of including it in the Jenks Landing plat, the responsibilities for Reserve B were to have been split up and assigned as described in 2013 with Kirk Crossing.

The applicant states that the intent at the time of platting of *Jenks Landing*, was for *Kirk Crossing* to convey the 2.15-acre tract to Dash Ranch and include it in the plat. But the conveyance was made by “Kirk Crossing Inc” rather than the actual owner, “Kirk of the Hills Corporation.” This title issue created confusion at the Tulsa County Assessor’s office, causing them to identify the owner as City of Jenks. Kirk of the Hills Corporation has now recorded a Quit Claim Deed to Dash Land Co LLC to correct the ownership. A copy is on file with the City and attached to this report.

A new plat called “Jenks Landing II” has been submitted for approval, containing Development Area B and the 2.15-acre Reserve B, both with the standards proposed by this PUD amendment. The applicant states that, according to the County Assessor, the Quit Claim Deed and the new plat will satisfy their concerns with the title.

The Medium Intensity designation of the Comprehensive Plan allows 16 units per acre. In PUD 97, the developer originally requested 200 dwelling units in Development Area B, which would exceed the 16 units per acre. The final approved PUD allowed 175 dwelling units, which is a yield of 15.8 units per acre.

The primary purpose of this PUD amendment is to bring the 2.15-acre Reserve B tract into the PUD as part of Development Area B to increase the total land area allocated for multi-family uses. At 16 units per acre, the result would allow up to 211 dwelling units.

The Jenks Commerce Park Sanitary Sewer and Water Line Access Charge for connecting to the public sewer and water system was approved by the Jenks City Council on April 1, 1999. The current charge is \$3,339.42 per acre.

The Jenks Landing Commercial Development is 16.49 acres. Total access charge amount of \$54,766.57 was to be remitted to the City of Jenks before any issuance of building permits. No records have been found that payment was ever made. At 13.2 acres, the amount due for Jenks Landing II is \$44,080.41. The total due for Jenks Landing and Jenks Landing II is \$98,846.98, required to be paid before issuance of any building permits.

STAFF EVALUATION

The following two standards in this proposed amendment are proposed to be changed from the original PUD approval:

Proposed Maximum Number of Dwelling Units: **211 units** instead of 175

Proposed Minimum Landscaped Area: **20%** instead of 30%

Staff has no concerns with increasing the maximum number of dwelling units to 211 corresponding to the increase in land of the Development Area.

Considering the increased amount of open space of 2.15 acres and the amount of open space already in Reserve “A,” 30% minimum landscaped area appears achievable without negatively impacting the proposed building and parking layout. 30% should remain the minimum landscaped area.

Aside from the two changes above, the following character descriptions and development standards submitted with this proposed amendment are the same as those approved in the original PUD 97:

The multiple family elevations, site drawing and amenities are an integral part of the Planned Unit Development. The proposed multi-family use is for an upscale apartment development. The PUD specifies that the goal is to have amenities and qualities of a single-family home with the addition of a number of on-site amenities, along with the safety of a gated community. The following is a list of the amenities, both internal and external that would be considered a part of the PUD requirements.

External Site Amenities

- *Gated and secured community*
- *Stocked Pond with fishing docks*
- *Park with playground area*
- *Jogging trail around the pond and the park area*
- *Open site plan with an open, less dense feel than most developments of this type*
- *Pond view for many units*
- *Clubhouse with exercise room, game room, kitchen and rec room*
- *Outdoor activity area*
- *Chapel*

Building Amenities

- *Minimum 40 % masonry*
- *Enclosed garages for various units*
- *Flat contemporary urban roofs*
- *Granite counter tops in kitchen and bath Jacuzzi tub and separate showers in select units*
- *Fireplaces in select units*
- *Ceramic tile, laminate wood and carpet flooring materials (no linoleum)*
- *Unit sizes ranging from 600 to 1300 square foot*
- *One, two, or three-bedroom units.*

The architectural style for the entire project is proposed to be “contemporary urban” the goal is to have a planned community that has a style and visual aesthetic that will allow for a cohesive look and feel throughout the entire development. The elevations show that the exterior walls of the structures will be of a mix of concrete and brick. Variance from the submitted elevation plan will require Appearance Review Approval.

The Planned Unit Development specifies that it will be gated and secured. No fence elevation was provided. Fences along South James Avenue and internal to the development shall be constructed of or a combination of rock, brick, or wrought iron. The fence along the south property line will be allowed to conform to the 6-foot-high wood privacy fence standards. All gates and fences along with building elevation shall be submitted for Appearance Review Process. Minimum building setbacks shall be established at 30 feet from South James Avenue, 5 feet from internal lot lines, and 25 feet from south property line. Building height shall be a maximum of 45 feet. Minimum landscape area for Development Area “B” shall be 30%. All other bulk and Area requirements shall follow as established for the RM-2 Zoning District.*

Landscape Plans, Lighting Plans and Signage shall conform to the City of Jenks standards for the specified requirement. These plans shall be submitted with the building elevations for which they are associated for review and approval through the City of Jenks Appearance Review Process.

**Modified to 20% in current proposed amendment.*

The above descriptions, along with the color renderings submitted, should be adequate guidelines for the Appearance Review process.

Landscaping and detail site plan approval standards described in the paragraph above were adopted with the original PUD 97 but have not yet been met. They are also proposed in this application except for the two modifications. Those standards should be enforced in all development areas of the PUD as a condition of approval of this PUD amendment.

The process for submittal, review, inspections, and acceptance to assure timely compliance with all proposed and recommended development standards, shall be as follows:

Prior to issuance of any construction permits, detailed site, landscape, lighting, and signage plans, fencing, and building elevations must be approved through the Jenks Appearance Review Process as being in conformance with the PUD concept drawings and standards presented with the PUD application. The final construction documents covering the elements of these approved plans and building elevations shall be submitted to the Building Inspector as part of the permit document set. Whether construction of the project is to be completed in phases or all at once, construction of the elements of the approved site, landscape, lighting, signage, and building elevations shall be completed concurrently with construction and shall be subject to field inspection and approval by the Building Inspector prior to release of any Certificate of Occupancy.

Landscape Standards

The City of Jenks has no objective landscape standards against which a landscape plan can be compared to determine conformance. Following are standards staff gathered that would be appropriate:

Tree List

References to tree size in the following landscape standards refer to the attached tree list which identifies and classifies trees by size. Unless otherwise expressly approved by the City Planner, trees used to satisfy the tree planting requirements of this chapter must be selected from the tree list.

Street Trees

At least one large tree is required per 30 feet of street frontage. If large trees are not appropriate due to the presence of overhead lines, other obstructions or site visibility considerations, at least one small tree is required per 25 feet of street frontage.

Required street trees must be located on the subject property within 20 feet of the planned street right-of-way. If the presence of buildings or obstructions or other factors prevent viable tree planting within this area, required street trees must be installed in the first 7 feet of the planned street right-of-way, as measured from the outer edge of the right-of-way.

Street trees are not required to be evenly spaced, but the distance between street trees may not exceed 75 feet.

Parking Lot Trees

Interior parking lot landscape areas must include at least one large tree per 10 parking spaces. Small trees may be substituted for large trees if the presence of overhead lines or other obstructions make the installation of large trees unsafe or impractical or would result in poor growing conditions.

Interior parking lot landscaping must be reasonably distributed throughout the parking lot and provided in landscape islands or medians that comply with all the following requirements:

- (1) They must be bordered by a paved surface on at least 2 sides;
- (2) They must be at least 7 feet wide, as measured from the back of the curb;
- (3) They must include at least one tree per island and be mulched;
- (4) They must be protected by curbs or other barriers, which may include breaks or inlets to allow stormwater runoff to enter the landscape island;

(5) They must be located so that every parking space is within 100 feet of a tree.

(6) All planting areas must have amended soil to help ensure the health of newly installed plant material.

New or transplanted trees provided to satisfy the requirements of this zoning code must comply with the following minimum size requirements:

(1) Large trees must be deciduous, with a minimum caliper size of 2 inches and a minimum height of 12 feet at the time of installation.

(2) Medium trees must have a minimum caliper size of 2 inches and a minimum height of 8 feet at the time of installation.

(3) Small trees must have a minimum caliper size of 1.5 inches and a minimum height of 6 feet at the time of installation.

(4) Evergreen trees must have a minimum height of 6 feet at the time of installation.

Trees to be installed below overhead lines must be selected from the list of small trees specified on the recommended and prohibited tree list.

If more than 10 trees are required, no more than 40% may be of a single species. If more than 25 trees are required, no more than 25% may be of a single species.

Installation

1. Required landscaping must be installed in accordance with an approved landscape plan.

2. All trees and plant material must be installed in accordance with sound nursery practices, in a manner designed to encourage vigorous growth.

3. All newly installed trees must be staked.

4. Trees and plant material suitable for planting must be balled and burlapped or container grown. Planting areas should be at least twice the diameter of the root system or the container.

5. All landscaped areas that are adjacent to pavement must be protected with curbs or equivalent barriers. Flush curbs, curb cuts, or other methods must be used to direct stormwater to landscape areas that abut paved areas.

6. Landscaping may not obstruct traffic visibility at street intersections or driveways.

7. The city is not liable for any damage to above-ground or below-ground improvements or landscaping within the public right of way, even when such damage or destruction is the direct result of government action. When landscaping is placed or installed within the public right-of-way, the city has no obligation to replace or repair such landscaping if removed or damaged by city field operations or other governmental functions. The city also has no obligation to maintain above ground or below ground improvements or landscaping within the public right-of-way.

Protection

All landscape areas provided must be protected from potential damage by adjacent uses and development, including parking and storage areas.

Irrigation

1. All required landscaped areas must be provided with irrigation in accordance with one of the following two options:

- a. A permanent irrigation system with a controller to tailor watering schedules to weather and site conditions; or
- b. A temporary irrigation system that provides enough water to ensure that all trees and plants will become established.

2. Irrigation systems must comply with all applicable building and plumbing codes.

Timing of Installation

All required landscaping areas and appurtenances must be installed prior to the issuance of a final certificate of occupancy. A temporary certificate of occupancy may be considered if weather, season, or other necessity requires delayed installation of landscaping.

Maintenance

1. Required landscaping and screening must be continuously maintained, including necessary watering; weeding; pruning; pest control; litter and debris clean-up; and replacement of dead, diseased or damaged plant material.
2. The property owner is responsible for maintenance of trees and landscaping in accordance with the approved landscape plan. Any dead, diseased or damaged trees or landscaping must be removed and replaced by the property owner. Property owners are also responsible for replacing or restoring required landscaping that is damaged or destroyed as a direct result of government action or lawful action of a franchise utility provider.

The “BACKGROUND” section at the top of this report describes a title issue created by the misstatement of ownership during the conveyance of the 2.15-acre tract. The approach of a Quit Claim Deed and including the tract in this subdivision plat will satisfy the Tulsa County Assessor and is satisfactory to staff.

The proposed conditional final “Jenks Landing II” plat accompanying this PUD amendment does not adequately address the 2013 requirement regarding assignment of maintenance of Reserve B once it has been included in a subdivision plat. Language should be added to the final plat to accomplish this requirement. This will be a condition of approval of the plat.

The Comprehensive Plan, Medium Intensity designation allows up to 16 units per acre. Development Area B is 11.05 acres. The original 175 units allowed on Development Area B is 15.8 units per acre. The proposal to add 2.15 acres of land area to the PUD would increase Development Area B to 13.2 acres, which would yield 211.2 dwelling units at 16 units per acre. With the combined area of 13.2 acres, the Comprehensive Plan would support 211 dwelling units. The existing infrastructure has capacity to support 211 dwelling units.

PLANNING COMMISSION

In its meeting of January 9, 2020, the Planning Commission voted unanimously, 7-0-0, to recommend approval of the PUD amendment subject to the conditions recommended by staff and adding an increase in the proposed masonry to 70%.

Discussion was about the intensity anticipated by the Comprehensive Plan and the maximum density permitted in Development Area B based on 16 units per acre. The point was made that, although there would be 2.15 acres more in the development area, it is separated from the apartment area by a road

intersection and contains a detention pond. It is not available for more apartments so, to increase to 211 units would result in more units on the same amount of space as originally approved.

The Planning Commissioners were finally satisfied that, although not developable, the 2.15-acre pond would be the same as a similar expected amenity in a single-family development.

More discussion was about the contribution the pond would make as an amenity and whether a trail should be added. The applicant and owner were concerned with liability of having a trail along the water's edge with no protective barrier.

RECOMMENDATION

Staff recommends approval of the PUD amendment per Planning Commission recommendation.

Per Planning Commission recommendation, staff recommends approval of the PUD amendment to add the area of Reserve B to the area of Development Area B to allow up to 211 dwelling units in the multi-family development, subject to the following conditions:

1. Development standards and character descriptions presented in PUD 97 and this PUD 97A amendment shall remain applicable to both Development Area A and Development Area B. In addition, the Landscape Standards listed above shall be applied to both Development Areas
2. The minimum masonry coverage of all buildings shall be 70%
3. The Minimum Landscaped Area shall be 30%
4. Maintenance of the ponds, as well as all other landscape areas shall be consistent throughout all development areas in Jenks Landing

Recommended Large Tree Species

Large trees will attain a mature height of 60 feet or more, and a spread of 35 feet or more.
Large trees shall not be used under or within 20 feet of an overhead utility.
These trees should be planted at least 35 feet apart.

Large | ≥60 ft

Medium | 30-59 ft

Small | <30 ft

Scientific Name	Common Name	Prohibited Applications	
		Parking Areas	Street Buffer
Acer saccharum	Sugar Maple		
Carya cordiformis	Bitternut Hickory		
Carya illinoensis	Pecan		
Carya ovata	Shagbark Hickory		
Celtis laevigata	Sugar Hackberry		
Corylus columna	Turkish Filbert		
Fagus grandifolia	American Beech		
Ginkgo Biloba	Ginkgo		
Gleditsia triacanthos	Thornless Honeylocust		
Gymnocladus dioica	Kentucky Coffee Tree		
Juglans nigra	Black Walnut		
Liquidambar styraciflua	Sweetgum		
Liriodendron tulipifera	Tuliptree		
Magnolia grandiflora	Southern Magnolia		
Pinus strobus	Eastern White Pine		
Pinus taeda	Loblolly Pine		
Platanus occidentalis	American Sycamore		
Platanus x acerifolia	London Planetree		
Quercus alba	White Oak		
Quercus coccinea	Scarlet Oak		
Quercus falcata	Southern Red Oak		
Quercus macrocarpa	Bur Oak		
Quercus nigra	Water Oak		
Quercus palustris	Pin Oak		
Quercus rubra	Northern Red Oak		
Sophora japonica 'Regent'	Chinese Scholar Tree / Japanese Pagoda Tree		
Taxodium distichum	Bald Cypress		
Tilia americana	American Linden		
Tilia cordata	Little-leaf Linden		
Tilia tomentosa	Silver Linden		
Zelkova serrata	Japanese Zelkova		

Recommended Medium Tree Species

Medium trees will attain a mature height of 30-59 feet, and a spread of 25 feet or more. Medium trees shall not be used under or within 15 feet of an overhead utility. These trees should be planted at least 25 feet apart.

Large | ≥60 ft

Medium | 30-59 ft

Small | <30 ft

Scientific Name	Common Name	Prohibited Applications	
		Parking Areas	Street Buffer
Acer platanoides	Norway Maple		
Acer rubrum	Red Maple		
Betula nigra	River Birch		
Carpinus betulus	European Hornbeam		
Catalpa bignonioides	Southern Catalpa		
Celtis occidentalis	Hackberry		
Cladrastis kentukea	Yellowwood		
Diospyros virginiana	Persimmon		
Juniperus virginiana	Eastern Red Cedar		
Koelreuteria paniculata	Goldenrain Tree		
Maclura pomifera	Osage Orange	X	X
Nyssa sylvatica	Black Gum		
Ostrya virginiana	Eastern Hop Hornbeam		
Picea abies	Norway Spruce	X	
Pinus echinata	Shortleaf Pine		
Pinus nigra	Austrian Pine		X
Pinus sylvestris	Scotch Pine		
Pinus thunbergii	Japanese Black Pine		
Pistacia chinensis	Chinese Pistache		
Quercus bicolor	Swamp White Oak		
Quercus imbricaria	Shingle Oak		
Quercus muehlenbergii	Chinkapin Oak		
Quercus phellos	Willow Oak		
Quercus robur	English Oak		
Quercus shumardii	Shumard Oak		
Quercus stellata	Post Oak		
Quercus velutina	Black Oak		
Quercus virginiana	Live Oak		
Sapindus drummondii	Western Soapberry		X
Sassafras albidum	Sassafras		
Sideroxylon lanuginosum	Chittamwood / Bumelia		
Thuja occidentalis	American Arborvitae		
Ulmus americana 'Jefferson'	Jefferson Elm		
Ulmus carpinifolia x parvifolia	Frontier Elm		
Ulmus parvifolia	Lacebark Elm		
Ulmus wilsoniana	Prospector Elm		

Recommended Small Tree Species

Small trees will attain a mature height of less than 30 feet, and a spread of up to 15 feet. Small trees may be planted under or within 10 feet of an overhead utility. These trees should be planted at least 15 feet apart.

Large | ≥60 ft

Medium | 30-59 ft

Small | <30 ft

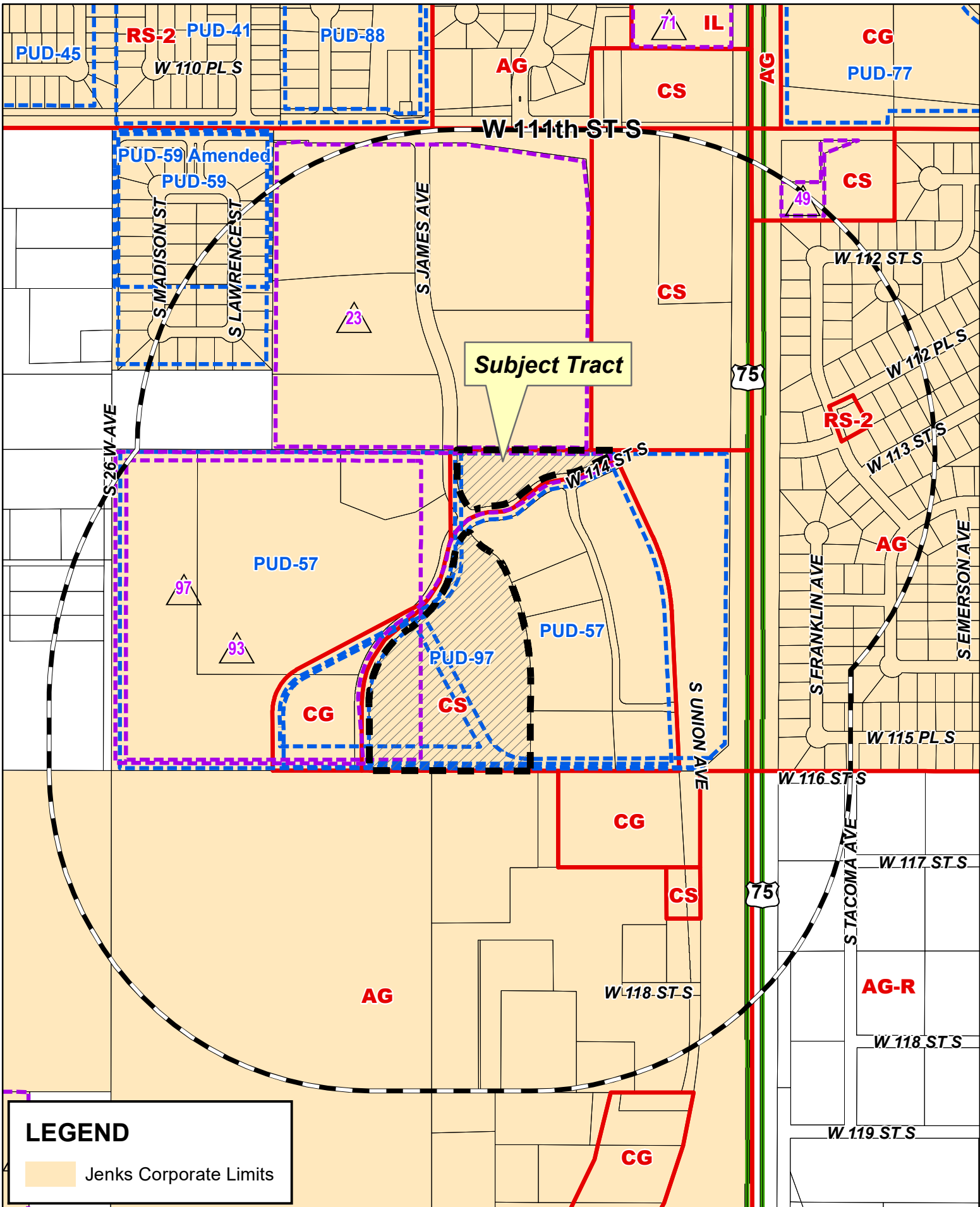
Scientific Name	Common Name	Prohibited Applications	
		Parking Areas	Street Buffer
Acer buergerianum	Trident Maple		
Acer tataricum subsp. ginnala	Amur Maple		
Amelanchier arborea	Serviceberry / Downy Serviceberry		
Carpinus caroliniana	American Hornbeam		
Cercis canadensis	Eastern Redbud	X	X
Cercis reniformis	Oklahoma Redbud	X	X
Chionanthus virginicus	Fringe Tree		
Cornus florida	Flowering Dogwood	X	X
Cotinus coggygia	Smoketree		
Cotinus obovatus	American Smoketree		
Crataegus	Hawthorn		
Ilex decidua	Possumhaw		
Ilex opaca	American Holly		
Ilex vomitoria	Yaupon Holly		
Ilex x attenuata 'Fosteri'	Foster Holly		
Juniperus scopulorum 'Wichita Blue'	Rocky Mountain Juniper		
Lagerstroemia indica	Crape Myrtle		X
Magnolia grandiflora 'Little Gem'	Little Gem Magnolia		
Magnolia stellata	Star Magnolia		
Magnolia virginiana	Sweet Bay Magnolia		
Magnolia x soulangeana	Saucer Magnolia		
Malus 'Prairifire'	Flowering Crabapple		
Philadelphus coronarius 'Romantizam'	Sweet Mock-orange		
Platycladus orientalis	Oriental Arborvitae		X
Prunus cerasifera	Purpleleaf Plum		
Prunus serrulata	Japanese Flowering Cherry		
Prunus virginiana	Chokecherry		
Syringa reticulata	Japanese Tree Lilac		
Syringa vulgaris	Common Lilac		
Taxus cuspidata	Japanese Yew		

Prohibited Species

The following species are prohibited for use in required landscaping within the City of Jenks.



Scientific Name	Common Name
Ailanthus altissima	Tree-of-Heaven
Albizia julibrissin	Silktree, Mimosa
Elaeagnus angustifolia	Russian Olive
Fraxinus Americana	White Ash
Fraxinus Pennsylvanica	Green Ash
Morus alba	White Mulberry
Pyrus calleryana 'Bradford'	Bradford Pear
Quercus acutissima	Sawtooth Oak
Sambucus nigra	Elderberry (Black Elder)



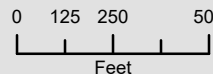
LEGEND

Jenks Corporate Limits



Subject Tract

**JZ 19-649/
PUD-97A**

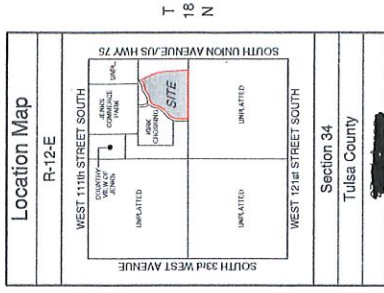


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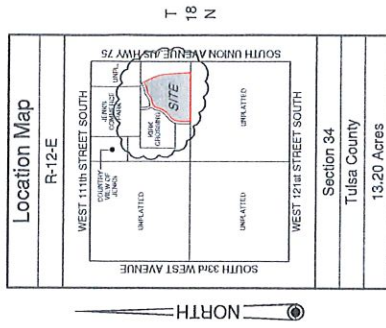


Not To Scale

Exhibit A

Jenks Crossing II

PUD 97 Amendment of Area B



Not To Scale

Data Summary:	
PUD Amendment Area	13.20 Acres
Multi-Family - Tract 'B'	11.05 Acres
Stormwater Detention Area	2.15 Acres
- Tract 'C'	
Maximum Number of Allowable Multi-Family Dwelling Units	208*
* Current Site Plan shows 202 DUs and associated parking.	

Exhibit B

Jenks Crossing II

Conceptual Site Plan
PUD 97 Amendment Area 'B'

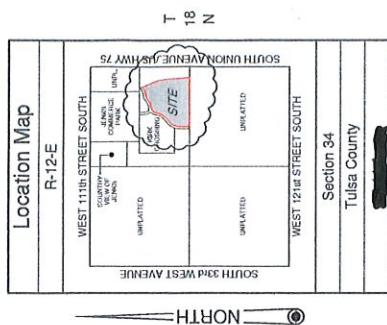
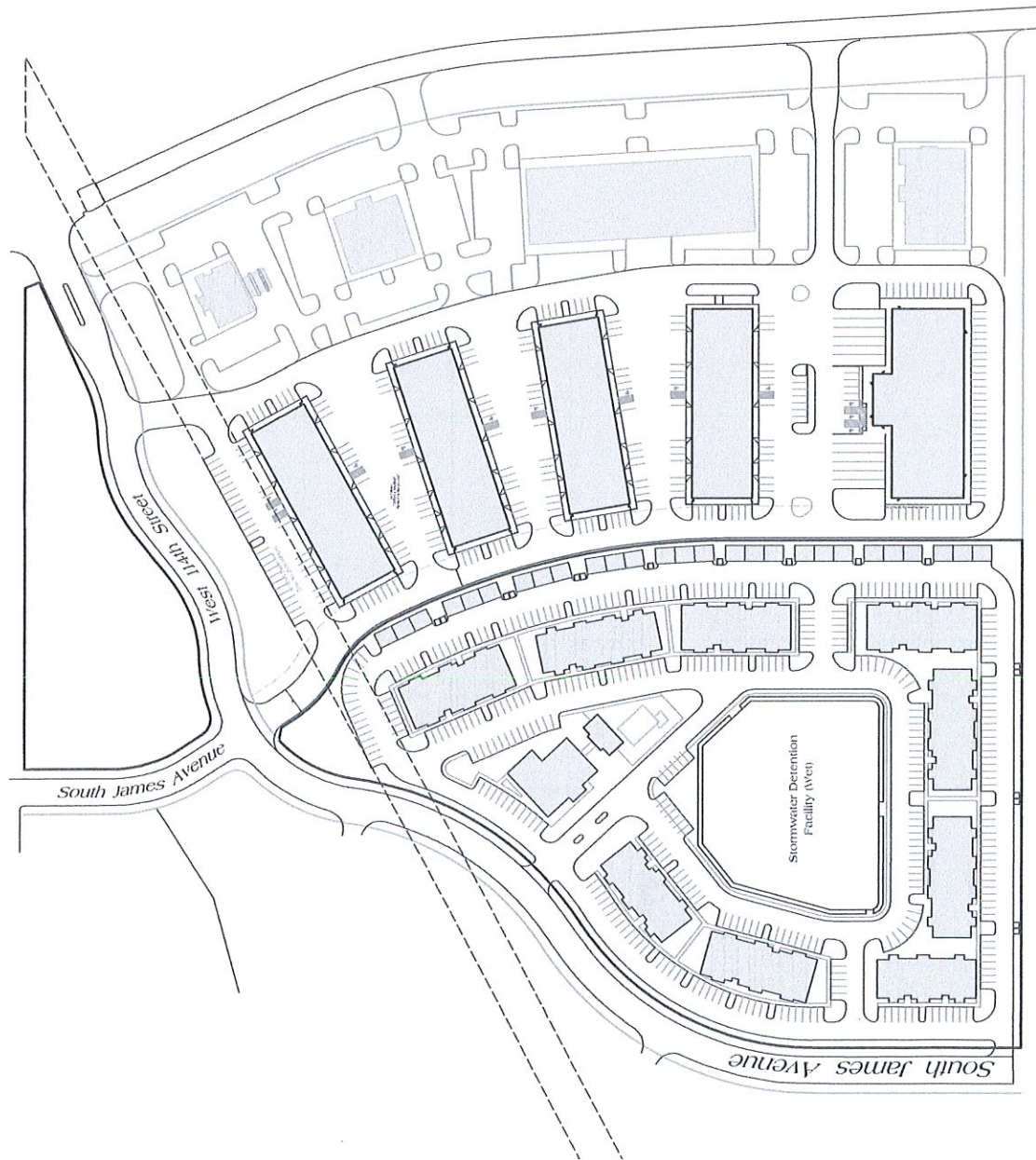


Exhibit C

Jenks Crossing II

Overall PUD Site Plan



CITY OF JENKS

211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
PHONE (918) 299-5883 • FAX (918) 299-4489

January 06, 2020

Dash Land Co, LLC.
Attention: Robert Bell
1011 West "G" Street
Jenks, Oklahoma 74037
918-902-0462

Subject: **Access Charge Assessment for Sewer Connections – Jenks Landing II**

This letter is to inform you of an access charge in relations to your Jenks Landing II development. The Jenks Commerce Park Sanitary Sewer and Water Line Access Charge was approved by the Jenks City Council on April 1, 1999. This access charge is for connecting to the public sewer and water system. The current access charge is \$3,339.42 per acre. Jenks Landing II has a total acreage of 13.2. An amount of \$44,080.41 is required to be remitted to the City of Jenks before the Jenks Landing II plat may be released for recording.

The Jenks Landing Commercial Development has a total acreage of 16.49. An amount of \$54,766.57 was to be remitted to the City of Jenks before any issuance of building permits. No records have been found that payment was ever made to the City of Jenks. As such, this fee along with the access charge for Jenks Landing II is required before issuance of any building permits.

If you have any questions concerning this matter, please feel free to contact me at 918-299-5883.

Sincerely,

Christopher Robinson, PE

City Engineer



Tulsa County Clerk - Michael Willis

Doc # 2019117158 Page(s): 1

12/19/2019 11:44:26 AM

Receipt # 19-70579

Fee: \$ 18.00

QUIT CLAIM DEED
(Oklahoma Statutory Form)

KNOW ALL MEN BY THESE PRESENTS:

That Kirk of the Hill Corporation, parties of the first part, in consideration of the sum of TEN & NO/100 (\$10.00) dollars, and other valuable considerations, in hand paid, the receipt of which is hereby acknowledged, do quitclaim, grant, bargain, sell and convey unto Dash Land Co LLC aka Dash Ranch LLC, party of the second part, the following described real property and premises situate in situated in, the City of Jenks, Tulsa County, State of Oklahoma, to-wit:

Reserve B, Jenks Landing, an Addition to the City of Jenks, Tulsa County, State of Oklahoma, According to the recorded Plat Number 6730.

together with all and singular the hereditaments and appurtenances thereunto belonging.

TO HAVE AND TO HOLD said described premises unto the said party of the second party, heirs and assigns, forever.

Signed and delivered this 2nd day of DECEMBER, 2019.

GR Polly
Kirk of the Hills Corporation

GORDON R. POLLY, VICE-PRESIDENT
Printed Name and Title

INDIVIDUAL ACKNOWLEDGMENT-OKLAHOMA FORM

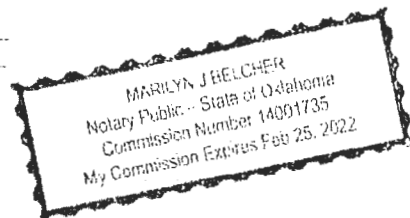
STATE OF OKLAHOMA, County of TULSA.

Before me, Marilyn J Belcher, Notary Public in and for said County and State, on this 19th day of December, 2019, Gordon R. Polly, personally appeared to me known to be the identical person(s) who executed the within and foregoing instrument, and acknowledged to me that executed the same as free and voluntary act and deed for the uses and purposes therein set forth.

Given under my hand and seal the day and year last above written.

Marilyn J Belcher
Notary Public

My Commission Expires: 2/25/2022
My Notary Number is: 14001735



**NOT AN ORIGINAL DOCUMENT
COPY FILED AT REQUEST OF
CUSTOMER**

DATE 12/19/19 BY Morgan Doll

**ORDINANCE NO. 1505
(JZ-649/PUD 97A)**

AN ORDINANCE AMENDING ORDINANCE NO. 1287 AND ORDINANCE NO. 1393 REZONING A TRACT OF LAND FROM CS (COMMERCIAL SHOPPING CENTER) DISTRICT/PLANNED UNIT DEVELOPMENT NUMBER 97 TO CS (COMMERCIAL SHOPPING CENTER) DISTRICT/PLANNED UNIT DEVELOPMENT NUMBER 97A; REPEALING ALL ORDINANCES OR PARTS THEREOF IN CONFLICT HERewith; PROVIDING FOR SEVERABILITY; AND DECLARING AN EMERGENCY

.....

WHEREAS, on February 15, 2016, the City Council of the City of Jenks passed Ordinance No. 1393 establishing Planned Unit Development 97.

WHEREAS, the amended Planned Unit Development will add Reserve Area B, Jenks Landing Subdivision to Development Area B of PUD 97.

NOW THEREFORE, BE IT ORDAINED BY THE COUNCIL OF THE CITY OF JENKS, OKLAHOMA:

SECTION I. That the following described property in the City of Jenks, Tulsa County, Oklahoma:

A tract of land located in the S/2 of the NE/4 of Section 34, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma, according to the Official U.S. Government Survey thereof, being more particularly described as follows:

Commencing at the east quarter corner of Section 34, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma;

Thence N 89°58'05" W a distance of 906.91 feet along the south line of the NE/4 of said Section 34 and the south line of "Jenks Landing", a subdivision in the City of Jenks, Tulsa County, State of Oklahoma, according to the official recorded plat thereof, Plat No. 6730, as filed in the records of the Tulsa County Clerk, to the southwest corner of said "Jenks Landing", and the "Point of Beginning";

Thence continuing N 89°58'05" W a distance of 674.19 feet along the south line of the NE/4 of said Section 34 to the most southerly southeast corner of "Kirk Crossing", a subdivision in the City of Jenks, Tulsa County, State of Oklahoma, according to the official recorded plat thereof, Plat No. 6467, as filed in the records of the Tulsa County Clerk;

Thence N 00°01'55" E a distance of 275.90 feet along the easterly line of said "Kirk Crossing", to a tangent curve to the right;

Thence continuing along the easterly line of said "Kirk Crossing" and along a tangent curve to the right with a central angle of 56°46'11", a radius of 370.00 feet, an arc length of 366.60

feet, a chord bearing of N 28°25'00" E and a chord length of 351.79 feet to a tangent reverse curve to the left;

Thence continuing along the easterly line of said "Kirk Crossing" and along a tangent reverse curve to the left with a central angle of 48°52'55", a radius of 430.00 feet, an arc length of 366.86 feet, a chord bearing of N 32°21'38" E and a chord length of 355.83 feet to a tangent reverse curve to the right;

Thence continuing along the easterly line of said "Kirk Crossing" and along a tangent reverse curve to the right with a central angle of 38°34'51", a radius of 170.00 feet, an arc length of 114.47 feet, a chord bearing of N 27°12'35" E and a chord length of 112.32 feet to the northwest corner of said "Jenks Landing";

Thence along the west line of said "Jenks Landing" for the next seven calls: Thence S 78°39'25" E a distance of 16.24 feet;

Thence S 33°39'25" E a distance of 27.37 feet to a tangent curve to the left;

Thence along a tangent curve to the left with a central angle of 27°16'11", a radius of 150.00 feet, an arc length of 71.39 feet, a chord bearing of S 47°17'30" E and a chord length of 70.72 feet;

Thence S 60°55'35" E and tangent to the previous curve a distance of 17.56 feet to a tangent curve to the right;

Thence along a tangent curve to the right with a central angle of 33°54'12", a radius of 140.00 feet, an arc length of 82.84 feet, a chord bearing of S 43°58'29" E and a chord length of 81.64 feet to a tangent compound curve to the right;

Thence along a tangent compound curve to the right with a central angle of 27°01'23", a radius of 1005.00 feet, an arc length of 474.00 feet, a chord bearing of S 13°30'42" E and a chord length of 469.62 feet;

Thence S 00°00'00" E and tangent to the previous curve a distance of 388.29 feet to the "Point of Beginning".

Said tract contains 481,432 square feet or 11.0522 acres.

The non-astronomic bearings for said tract are based on an assumed bearing of N 89°58'05" W along the south line of the NE/4 of Section 34, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma, according to the Official U.S. Government Survey thereof.

AND

All of Reserve B, Jenks Landing, a subdivision in the City of Jenks, Tulsa County, State of Oklahoma.

General Location: SE Corner of S James Ave & W 114th St

Is hereby rezoned from Commercial Shopping Center District/Planned Unit Development Number 97 to Commercial Shopping Center District/Planned Unit Development Number 97A.

SECTION II. That approval of this rezoning and PUD-97A shall be subject to the conditions as set forth in the official minutes of the Jenks City Council meeting approving this ordinance as well as the corresponding Planned Unit Development.

SECTION III. That all ordinances or parts of ordinances in conflict herewith be and the same are hereby expressly repealed.

SECTION IV. If any section, sentence, clause or phrase of this ordinance or any part thereof is for any reason found to be invalid by a court of competent jurisdiction, such decision shall not affect the validity of the remainder of this ordinance or any part thereof.

Approved this 21st day of January 2020.

CITY OF JENKS, OKLAHOMA

MAYOR

SECTION V. Since the immediate operation of the provisions of the Ordinance is necessary for the preservation of public health, welfare and safety, an emergency is hereby declared to exist and this ordinance shall be in full force and effect from and after its passage by the City Council.

Emergency Clause approved separately this 21st day of January 2020.

CITY OF JENKS, OKLAHOMA

MAYOR

Attest:

CITY CLERK

Approved as to form:

CITY ATTORNEY



Memorandum

To: Mayor Lee and City Council Members
From: Jim Beach, City Planner
Hearing Date: January 21, 2020
Subject: **Jenks Landing II Preliminary/Conditional Final Plat (JZ 19-649 PUD 97A)**
Location: SE Corner South James Avenue and West 114th Place (Ward 2)
Exhibits:
1. Subdivision Plat
2. Deed of Dedication and Restrictive Covenants

Applicant:	Bell Land Use LLC for Dash Land Co LLC
Action Requested:	Approval of Preliminary/Conditional Final Plat for “Jenks Landing II”
Current Zoning:	CS/PUD-97 – Commercial Shopping/mixed use development
Lot Size:	Approximately 13.2 acres under application
Surrounding Zoning and Land Uses:	Surrounded by commercial and agriculture zoning with developing commercial, office, and residential. To the north is an industrial park
Comprehensive Plan:	Medium Intensity Commercial

BACKGROUND

In 2016, PUD 97 was approved, establishing Development Areas A and B for the Jenks Landing development. *Development Area A* is for Commercial and Service uses; *Development Area B* is for multi-family uses.

During the platting of the adjacent Kirk Crossing in 2013, a 2.15-acre tract was set aside for drainage and detention to serve Kirk Crossing and the future development of Jenks Landing. It was *not included* in PUD 97.

Responsibility for maintenance of the 2.15-acres and stormwater detention fell to Kirk Crossing until such time as it was included in a subdivision plat. At that time, maintenance responsibilities for the detention area were to be proportionally divided among the properties that used it for their drainage.

The plat of Jenks Landing was recorded in 2016. It included *Development Area A* from PUD 97 and the 2.15-acre tract, which became “Reserve B.” The division of maintenance responsibilities was not addressed. The plat did not include *Development Area B*.

The applicant states that the intent at the time of platting of Jenks Landing, was for Kirk Crossing to convey the 2.15-acre tract to Dash Ranch and include it in the plat. But the conveyance was made by “Kirk Crossing Inc” rather than the actual owner, “Kirk of the Hills Corporation.” This created a title issue and confusion at the Tulsa County Assessor’s office, causing them to identify the owner as City of Jenks. Kirk of the Hills Corporation has now recorded a Quit Claim Deed to “Dash Land Co LLC” to correct the ownership. A copy is on file with the City.

The proposed “Jenks Landing II” plat covers *Development Area B* and the 2.15-acre “Reserve B,” both with the proposed standards of the accompanying PUD amendment, PUD 97A. The applicant states that the Quit Claim Deed and the new plat will satisfy the County Assessor’s concerns with the title.

STAFF EVALUATION

The Technical Advisory Committee and staff have reviewed the plat and, subject to the recommended conditions below, find it meets the purposes of platting and is in accordance with the Subdivision Regulations of the City of Jenks. “Jenks Landing II,” memorializes the addition of “Reserve B” as part of *Development Area B* in PUD 97 and includes the proposed development standards of PUD 97A.

However, the Deed of Dedication does not adequately address the proportional assignment of maintenance responsibilities of “Reserve B.” Language should be added to the final plat to accomplish this requirement as described in the records of the Kirk Crossing plat.

The Jenks Commerce Park Sanitary Sewer and Water Line Access Charge for connecting to the public sewer and water system was approved by the Jenks City Council on April 1, 1999. The current charge is \$3,339.42 per acre.

The Jenks Landing Commercial Development is 16.49 acres. Total access charge amount of \$54,766.57 was to be remitted to the City of Jenks before any issuance of building permits. No records have been found that payment was ever made. At 13.2 acres, the amount due for Jenks Landing II is \$44,080.41. The total due for Jenks Landing and Jenks Landing II is \$98,846.98, required to be paid before issuance of any building permits.

The development is presented as being fenced and gated with controlled access. As such, the infrastructure within the project area is private and is not eligible for reimbursement under TIF 4.

The conditional final plat shall address the recommended conditions below and any subsequent items coming from the Planning Commission and City Council reviews before it will be submitted for final approval to the City Council or submitted to the Mayor and City Manager for signatures.

PLANNING COMMISSION

In its meeting of January 9, 2020, the Planning Commission voted unanimously, 7-0-0, to recommend approval of the preliminary/conditional final plat subject to the five conditions stated below.

The applicant stated that Dash Ranch believes they already paid the access charges for the commercial project in Development Area A. He requested clarification that the access charges of \$54,766.57 for Development Area A would either be paid, or proof presented that it was already paid before a Certificate of Occupancy would be released on the commercial building currently under construction, and that the charge of \$44,080.41 would be paid before any building permits may be released in Development Area B.

RECOMMENDATION

Staff recommends approval of the preliminary/conditional final plat per Planning Commission recommendation, subject to the following:

1. Include language in the Deed of Dedication to accomplish the proportional assignment of maintenance responsibilities for Reserve B.
2. Identify location of Access Limits on the face of the plat per Paragraph 1.8 of the Deed of Dedication
3. Numbering of the two paragraphs under 2.2 Reserve Area “B” should be corrected to 2.2.1 and 2.2.2.

4. Reserve Areas "A" and "C" are described as being for various uses, including ingress and egress. No ingress/egress is shown on any of the accompanying site plans. Make modifications necessary to clarify Paragraphs 2.2.1 and 2.2.2 pertaining to Reserve Area "B."
5. The plat and Deed of Dedication and Restrictive Covenants shall be updated with landscape requirements, masonry percentage, and other changes made in approval of the PUD

Deed of Dedication
and
Restrictive Covenants

P.U.D. 97
JENKS LANDING II

KNOW ALL MEN BY THESE PRESENTS:

DASH RANCH, L.L.C., an Oklahoma corporation, hereinafter referred to as the "Owner/Developer", is the owner of the following described land in the City of Jenks, Tulsa County, State of Oklahoma, to wit:

A tract of land located in the S/2 of the NE/4 of Section 34, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma, according to the Official U.S. Government Survey thereof, being more particularly described as follows:

TRACT "A"

A tract of land located in the S/2 of the NE/4 of Section 34, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma, according to the Official U.S. Government Survey thereof, being more particularly described as follows:

Commencing at the east quarter corner of Section 34, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma;

Thence N 89°58'05" W a distance of 906.91 feet along the south line of the NE/4 of said Section 34 and the south line of "Jenks Landing", a subdivision in the City of Jenks, Tulsa County, State of Oklahoma, according to the official recorded plat thereof, Plat No. 6730, as filed in the records of the Tulsa County Clerk, to the southwest corner of said "Jenks Landing", and the "Point of Beginning";

Thence continuing N 89°58'05" W a distance of 674.19 feet along the south line of the NE/4 of said Section 34 to the most southerly southeast corner of "Kirk Crossing", a subdivision in the City of Jenks, Tulsa County, State of Oklahoma, according to the official recorded plat thereof, Plat No. 6467, as filed in the records of the Tulsa County Clerk;

Thence N 00°01'55" E a distance of 275.90 feet along the easterly line of said "Kirk Crossing", to a tangent curve to the right;

Thence continuing along the easterly line of said "Kirk Crossing" and along a tangent curve to the right with a central angle of 56°46'11", a radius of 370.00 feet, an arc length of 366.60 feet, a chord bearing of N 28°25'00" E and a chord length of 351.79 feet to a tangent reverse curve to the left;

Thence continuing along the easterly line of said "Kirk Crossing" and along a tangent reverse curve to the left with a central angle of 48°52'55", a radius of 430.00 feet, an arc length of 366.86 feet, a chord bearing of N 32°21'38" E and a chord length of 355.83 feet to a tangent reverse curve to the right;

Thence continuing along the easterly line of said "Kirk Crossing" and along a tangent reverse curve to the right with a central angle of 38°34'51", a radius of 170.00 feet, an arc length of 114.47 feet, a chord bearing of N 27°12'35" E and a chord length of 112.32 feet to the northwest corner of said "Jenks Landing";

Thence along the west line of said "Jenks Landing" for the next seven calls;

Thence S 78°39'25" E a distance of 16.24 feet;

Thence S 33°39'25" E a distance of 27.37 feet to a tangent curve to the left;

Thence along a tangent curve to the left with a central angle of 27°16'11", a radius of 150.00 feet, an arc length of 71.39 feet, a chord bearing of S 47°17'30" E and a chord length of 70.72 feet;

Thence S 60°55'35" E and tangent to the previous curve a distance of 17.56 feet to a tangent curve to the right;

Thence along a tangent curve to the right with a central angle of 33°54'12", a radius of 140.00 feet, an arc length of 82.84 feet, a chord bearing of S 43°58'29" E and a chord length of 81.64 feet to a tangent compound curve to the right;

Thence along a tangent compound curve to the right with a central angle of 27°01'23", a radius of 1005.00 feet, an arc length of 474.00 feet, a chord bearing of S 13°30'42" E and a chord length of 469.62 feet;

Thence S 00°00'00" W and tangent to the previous curve a distance of 388.29 feet to the "Point of Beginning".

Together with:

TRACT "B"

Beginning where the easterly right of way for South James Avenue per the Final Plat of "Kirk Crossing" intersects the north line of the S/2 of the NE/4 of Section 34;

Thence N 89°56'32" E along the north line of the S/2 of the NE/4 of Section 34 a distance of 637.50 feet to the westerly right of way for US Highway 75 per Case No. CJ-2008-4866 as filed with the District Court of Tulsa County;

Thence along the westerly right of way for US Highway 75 and along a non-tangent curve to the left with a central angle of 01°06'19", a radius of 1029.69 feet, an arc length of 19.86 feet, a chord bearing of S 22°42'20" E and a chord length of 19.86 feet to the northerly right of way for West 114th Street per the Final Plat of "Kirk Crossing";

Thence along the northerly right of way for West 114th Street and not tangent to the previous curve S 65°11'15" W a distance of 150.38 feet;

Thence along the northerly right of way for West 114th Street and along a tangent curve to the right with a central angle of 22°36'03", a radius of 170.00 feet, an arc length of 67.06 feet, a chord bearing of S 76°29'17" W and a chord length of 66.62 feet to a tangent reverse curve to the left;

Thence along the northerly right of way for West 114th Street and along a tangent reverse curve to the left with a central angle of 36°11'38", a radius of 230.00 feet, an arc length of 145.29 feet, a chord bearing of S 69°41'30" W and a chord length of 142.89 feet;

Thence along the northerly right of way for West 114th Street and tangent to the previous curve S 51°35'41" W a distance of 78.37 feet to a tangent curve to the right;

Thence along the northerly right of way for West 114th Street and along a tangent curve to the right with a central angle of 36°33'15", a radius of 170.00 feet, an arc length of 108.46 feet, a chord bearing of S 69°52'18" W and a chord length of 106.63 feet to a tangent reverse curve to the left;

Thence along the northerly right of way for West 114th Street and along a tangent reverse curve to the left with a central angle of 18°37'50", a radius of 230.00 feet, an arc length of 74.79 feet, a chord bearing of S 78°50'01" W and a chord length of 74.46 feet to a tangent reverse curve to the right;

Thence along a tangent reverse curve to the right with a central angle of 77°32'39", a radius of 25.00 feet, an arc length of 33.84 feet, a chord bearing of N 71°42'35" W and a chord length of 31.31 feet to the easterly right of way for South James Avenue;

Thence along the easterly right of way for South James Avenue and tangent to the previous curve N 32°56'15" W a distance of 33.40 feet to a tangent curve to the right;

Thence along the easterly right of way for South James Avenue and along a tangent curve to the right with a central angle of 32°53'37", a radius of 170.00 feet, an arc length of 97.60 feet, a chord bearing of N 16°29'27" W and a chord length of 96.26 feet;

Thence along the easterly right of way for South James Avenue and tangent to the previous curve N 00°02'38" W a distance of 115.58 feet to the "Point of Beginning".

Said Tracts "A & B" contain 575,169 square feet or 13.2041 acres.

The non-astronomic bearings for said tracts are based on a platted bearing of N 89°58'05" W along the south line of the NE/4 of Section 34, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma, according to the Official U.S. Government Survey thereof per "Kirk Crossing" a subdivision in the City of Jenks, Tulsa County, State of Oklahoma, according to the official recorded plat thereof, Plat No. 6467, as filed in the records of the Tulsa County Clerk's office.

As Owner/Developer, I hereby certify that I have caused the above described land to be surveyed, divided, mapped, dedicated and access rights reserved as presented on the plat and have designated the subdivision as "JENKS LANDING II", a subdivision in the City of Jenks, Tulsa County, Oklahoma.

SECTION I. EASEMENTS AND UTILITIES

1.1. General Utility Easements

The Owner/Developer does hereby dedicate, for public use, the utility easements as depicted on the accompanying plat as "U/E" or "Utility Easement", for the several purposes of constructing, maintaining, operating, repairing, replacing, and/or removing any and all public utilities, including storm sewers, sanitary sewers, telephone and communication lines, electric power lines and transformers, gas lines, water lines and cable television lines, together with all fittings, including the poles, wires, conduits, pipes, valves, meters and equipment for each of such facilities and any other appurtenances thereto, with the rights of ingress and egress to and upon the utility easements for the uses and purposes aforesaid, provided however, the Owner/Developer hereby reserves to itself, and to it's assigns, the right to use or delegate to others the right to use the designated easements and rights of way to provide any of the services set forth herein, including, but not limited to the right to construct, maintain, operate, lay and re-lay water lines and sewer lines, together with the right of ingress and egress for such construction, maintenance, operation, laying and re-laying over, across and along the streets and all of the utility easements depicted on the plat for the purpose of furnishing water and/or sewer services to the area included in the plat. The Owner/Developer herein imposes a restrictive covenant, which covenants shall be binding on each lot owner and shall be enforceable by the City of Jenks, Oklahoma, and by the supplier of any affected utility service, that within the streets and utility easements depicted on the accompanying plat no building, structure or other above or below ground obstruction that interferes with the above set forth uses and purposes of a street or easement shall be placed, erected, installed or maintained, provided however, nothing herein shall be deemed to prohibit drives, parking areas, curbing, landscaping and customary screening fences and walls.

1.2. Underground Service

1.2.1 Overhead lines for the supply of electric, telephone and cable television services may be located along the southerly perimeter easement of the subdivision. Street light poles or standards may be served by overhead line or underground cable and elsewhere throughout the subdivision. All supply lines including electric, telephone, cable television and gas lines shall be located underground in the easement ways dedicated for general utility services and in the rights-of-way of the public streets as depicted on the accompanying plat. Service pedestals and transformers, as sources of supply at secondary voltages, may also be located in the easement ways.

1.2.2 Underground service cables and gas service lines to all structures which may be located within the subdivision may be run from the nearest gas main, service pedestal or transformer to the point of usage determined by the location and construction of such structure as may be located upon the lot. Provided that upon the installation of a service cable or gas service line to a particular structure, the supplier of service shall thereafter be deemed to have a definitive, permanent, effective and non-exclusive right-of-way easement on the lot, covering a 5 foot strip extending 2.5 feet on each side of the service cable or line extending from the gas main, service pedestal or transformer to the service entrance on the structure.

1.2.3 The suppliers of electric, telephone, cable television, and gas services, through its agents and employees, shall at all times have the right of access to all easement ways shown on the plat or otherwise provided for in this Deed of Dedication for the purpose of installing, maintaining, removing or replacing any portion of the underground electric, telephone, cable television, or gas facilities installed by the supplier of the utility service.

1.2.4 The owner of the lot shall be responsible for the protection of the underground service facilities located on the lot and shall prevent the alteration of grade or any construction activity which would interfere with the electric, telephone, cable television, or gas facilities. Each supplier of service shall be responsible for ordinary maintenance of underground facilities, but the owner of the lot shall pay for damage or relocation of such facilities caused or necessitated by acts of the owner or the owner's agents or contractors.

1.2.5 The foregoing covenants set forth in this "Section 1.2 Underground Service" shall be enforceable by each supplier of the electric, telephone, cable television, or gas service and the owner of the lot agrees to be bound hereby.

1.3. Water and Sewer Service

1.3.1 The owner of each lot shall be responsible for the protection of the public water mains and of the public sanitary sewer facilities located on their lot and shall prevent the alteration of grade or any construction activity which may interfere with said public water main or public sanitary sewer main. Within the utility easement areas depicted on the accompanying plat, the alteration of grade from the contours existing upon the completion of the installation of a public water main or sewer main, or any construction activity which would interfere with public water and sewer mains, shall be prohibited.

1.3.2 The City of Jenks, or its successors, will be responsible for ordinary maintenance of the public water main, or the public sanitary sewer main, but the owner of each lot will pay for damage or relocation of such facilities caused or necessitated by acts of the owner or his agents or contractors.

1.3.3 The City of Jenks or its successors through its proper agents and employees shall at all times have right of access with their equipment to all such easement-ways shown on said plat, or provided for in this Deed of Dedication for the purpose of installing, maintaining, removing, or replacing any portion of said underground water and sewer facilities.

1.3.4 The foregoing covenants concerning water and sewer facilities shall be enforceable by the City of Jenks or its successors, and the owner of each lot agrees to be bound hereby.

1.4 Gas Service

1.4.1 The supplier of gas service, through its agents and employees, shall at all times have the right of access to all such easements shown on the plat or as provided for in this Deed of Dedication for the purpose of installing, removing, repairing, or replacing any portion of the facilities installed by the supplier of gas service.

1.4.2 The owner of the lot shall be responsible for the protection of the underground gas facilities located in their lot and shall prevent the alteration, grade, or any other construction activity which would interfere with the gas service. The supplier of the gas service shall be responsible for the ordinary maintenance of said facilities, but the owner shall pay for damage or relocation of facilities caused or necessitated by acts of the owner or the its agents or contractors.

1.4.3 The foregoing covenants set forth in this paragraph shall be enforceable by the supplier of the gas service and the owner of the lot agrees to be bound hereby.

1.5 Surface Drainage

Each lot shall receive and drain, in an unobstructed manner, the storm and surface waters from lots and drainage areas of higher elevation and from public streets and easements. No lot owner shall construct or permit to be constructed any fencing or other obstructions which would impair the drainage of storm and surface waters over and across his lot. The foregoing covenants set forth in this "Section 1.5 Surface Drainage" shall be enforceable by any affected lot owner and by the City of Jenks, Oklahoma.

1.6 Paving and Landscaping Within Easements

The owner of the lot shall be responsible for repair of damage to the landscaping and paving occasioned by the necessary installation of or maintenance to the underground water, sewer, storm water, gas, communication, cable television, or electric facilities within the easements depicted on the accompanying plat, provided however, that the City of Jenks or the supplier of the utility service shall use reasonable care in the performance of such activities.

1.7 Storm Sewer

1.7.1 The City of Jenks, or its successors, through its proper agents and employees, shall at all times have right of access with their equipment to all storm sewer easements for the purpose of installing, maintaining, removing or replacing any portion of the underground storm sewer system.

1.7.2 No permanent fence, permanent wall, permanent building, or permanent structure which would cause an obstruction shall be placed or maintained in the storm sewer easement area, and any construction activity which would interfere with the storm sewer system shall be prohibited.

1.7.3 The City of Jenks, or its successors, shall be responsible for ordinary maintenance of the public storm sewer system, but the owner of each lot will pay for damage or relocation of such system caused or necessitated by acts of the owner of each lot or its agents or contractors.

1.7.4 The foregoing covenants concerning the public storm sewer system shall be enforceable by the City of Jenks, or its successor, and the owner of each lot agrees to be bound hereby.

1.7.5 The owner of each lot shall be responsible for the protection of the storm sewer located on their lot and shall prevent the alteration of grade or any construction activity which may interfere with said storm sewer. Within the utility easement areas depicted on the accompanying plat, the alteration of grade from the contours existing upon the completion of the installation of storm sewer, or any construction activity which would interfere with storm, shall be prohibited.

1.8 Limits of No Access

The undersigned owner hereby relinquishes rights of vehicular ingress or egress from any portion of the property adjacent to South James Avenue and West 114th Street within the boundaries designated "Limits of No Access" (L.N.A.) on the accompanying plat, which "Limits of No Access" may be amended or released by the City of Jenks, Oklahoma or its successors, or as otherwise provided by the statutes and laws of the State of Oklahoma. "Limits of No Access" shall be enforceable by the City of Jenks.

JENKS LANDING II

Date Prepared: December 18, 2019

Sheet 2 of 3

SECTION II. RESERVE AREAS

2.1 Reserve Area "A"

2.1.1 Reserve Area "A" shall be used for open space, signage, landscaping, walls, fencing, drainage, recreation, overland drainage, stormwater drainage, stormwater detention, utilities, and ingress and egress.

2.2 Reserve Area "B"

2.2.1 Reserve Area "B" shall be used for open space, signage, landscaping, walls, fencing, drainage, recreation, overland drainage, stormwater drainage, stormwater detention, utilities, and ingress and egress.

2.1.2 Kirk Crossing (Plat No. 6467) will be allowed one sign to be located in Reserve Area "B" in the area designated on the face of the plat as "30' Sign Easement". Signage shall be installed in accordance with the City of Jenks Zoning Code.

2.3 All Reserves

2.3.1 All costs and expenses associated with all reserves, including maintenance of various improvements will be the responsibility of the Owner/Developer.

2.3.2 In the event the Owner/Developer should fail to properly maintain the reserve areas and facilities thereon located as above provided, the City of Jenks, Oklahoma, or its designated contractor may enter the reserve areas and perform such maintenance, and the cost thereof shall be paid by the Owner/Developer.

2.3.3 In the event the Owner/Developer fails to pay the cost of said maintenance after completion of the maintenance and receipt of a statement of costs, the City of Jenks, Oklahoma may file of record a copy of the statement of costs, and thereafter the costs shall be a lien against each of the lots within the development, provided however, the lien against each lot shall be limited to it's pro rata share of the costs. This lien may be foreclosed by the City of Jenks, Oklahoma.

SECTION III. CORRIDOR APPEARANCE DISTRICT

3.1 Appearance Design

3.1.1 Building design and site plan details should be so designed to provide building exterior walls and structural facades of a complementary style in order to minimize the impact of proposed new buildings and uses on adjacent and nearby properties. Exterior walls of buildings visible from the fronting street(s) must provide a complementary appearance utilizing design features, landscaping, color schemes and other architectural treatments to eliminate monotone or monolithic exterior walls or structural facades in order to be compatible and complementary to adjacent and nearby properties within the Corridor Appearance District.

3.1.2 In addition to complementary exterior wall design and building materials, the use of building setbacks, screening fences, landscaping, signage, lighting, and other site-specific amenities should be used to increase compatibility of the building with adjacent and nearby properties.

3.1.3 All roof-mounted heating and air conditioning equipment (HVAC) shall be screened.

3.2 Building Materials

3.2.1 The design of new structures and of additions to existing structures, including new site improvements, should take into account the architectural style, general design, arrangement, texture, material and color of other structures and premises in the adjacent neighborhood. Contemporary designs for new structures, additions to existing structures or remodels may be allowed so long as such construction is compatible with the essential form and integrity of other structures in the adjacent neighborhood.

3.2.2 All new structures and all reconstruction or remodeling of existing structures within the Corridor Appearance District should utilize exterior materials such as masonry, face brick, stone, or wood.

3.2.3 Traditional color schemes and combinations of those colors that are complementary to the adjacent neighborhood should be used for all exterior wall coverings. Fluorescent or luminescent colors shall be prohibited.

3.3 Parking and Landscaping

3.3.1 Parking

- a. Off-street parking areas/off-street loading areas should conform to the design, lighting, and improvements as required by the Jenks zoning code.
- b. Lighting used to illuminate off-street parking areas shall be by constant light and shall be so arranged as to direct the light away from abutting properties within a residential zoning district.
- c. Unenclosed off-street parking areas shall be surfaced with a dust-free all-weather material
- d. Parking and internal traffic circulation should be established within each separate development in a way that will result in a substantial reduction in the number of existing and new public street and private drive access points to major arterial street frontages.

3.3.2 Landscaping

- a. Street frontages within the Corridor Appearance District should provide a sense of open space and should be buffered from the streets by landscaped drives, lawns, or parking.
- b. Trees and shrubbery utilized for landscaping purposes should conform to the species recommended and approved by the City of Jenks.
- c. Locations along or near to the proposed routes of the Jenks Trail System should be encouraged to provide for pedestrian and bicycle access to the system.

3.4 Fencing

3.4.1 Development and re-development within the Corridor Appearance District should include adequate screening and buffering to avoid negative impacts on adjacent residential areas.

3.4.2 Screening fencing, where required by the Jenks Zoning Code and else where on a lot within a Corridor Appearance District, should be wooden fencing, faux fencing, masonry, or brick walls or combinations thereof, providing visual barriers.

3.4.3 Screening walls or fences shall be maintained by the owner or occupant of the lot containing the use required to construct the screening.

3.5 Signage

3.5.1 All signs as defined in the Jenks City Code should be designed to be compatible with and complementary to the adjacent neighborhood. All signs should be designed and erected in compliance with the Jenks City Code, Zoning Code, and Sign Code without the necessity of variances. Variances of height, size, setback, and other code requirements should not be supported within the Corridor Appearance District.

3.6 Lighting

3.6.1 All lighting, including exterior and parking lot lighting should be so designed to complement the building structures constructed and those located in adjacent areas.

- a. Lighting used to illuminate off-street parking areas shall be by constant light and shall be so arranged as to direct the light away from abutting properties or road right-of-way.

- b. Lighting incorporating period lighting fixtures similar to special theme district and conforming to approved City street lighting studies are encouraged.

SECTION IV. PLANNED UNIT DEVELOPMENT RESTRICTIONS

WHEREAS, "JENKS LANDING II" was submitted as part of a planned unit development (designated as PUD No. 97) pursuant to Chapter 9 of the City of Jenks Zoning Ordinance.

WHEREAS, the planned unit development provisions of the Jenks Zoning Code require the establishment of covenants of record, inuring to and enforceable by the City of Jenks, Oklahoma, sufficient to assure the implementation and continued compliance with the approved planned unit development; and

WHEREAS, the Owner/Developer desires to establish restrictions for the purpose of providing for an orderly development and to insure adequate restrictions for the mutual benefit of the Owner/Developer, its successors and assigns, and the City of Jenks, Oklahoma.

THEREFORE, the Owner/Developer does hereby impose the following restrictions and covenants which shall be covenants running with the land and shall be binding upon the Owner/Developer, its successors and assigns, and shall be enforceable as hereinafter set forth.

4.1 Permitted Uses:

Multi-Family dwellings and customary accessory uses (Use Unit 8).

4.2 Maximum Number of Dwelling Units: 211 DUs

4.3 Maximum Building Height: 45 feet

4.4 Maximum Number of Stories: 3

4.5 Minimum Building Setbacks:

from South James Avenue ROW 30 feet
from East Line (internal): 5 feet
from South Line: 25 feet

4.6 Minimum Livability Space: *400SF

* Livability Space as defined by the City of Jenks Zoning Code is open space not allocated to off street parking or paved access to off-street parking areas. Livability Space per Dwelling Unit may take into account and utilize common open space to satisfy this requirement, if necessary.

4.7 Minimum Off-Street Parking:

As required by the City of Jenks Zoning Code for the applicable Use Unit.

4.8 Other Bulk and Area Requirements:

As established within an RM-2 District.

4.9 Minimum Landscaped Area: 20%

SECTION V. ENFORCEMENT, DURATION, AMENDMENT AND SEVERABILITY

5.1 Enforcement and Duration

The restrictions herein set forth are covenants to run with the land and shall be binding upon the undersigned Owner/Developer, its grantees, successors and assigns and all parties claiming under it for a period of twenty-five (25) years from the date of recording hereof, after which time said covenants shall be automatically extended for successive periods of ten (10) years unless amended or terminated as hereafter provided. If the undersigned Owner/Developer, or its successors or assigns shall violate any of the covenants hereon, it shall be lawful for the City of Jenks or any persons owning a lot situated within the subdivision to maintain an action at law or equity against the person or persons violating or attempting to violate any such covenant, and to

prevent him/her or them from so doing or to compel compliance with the covenants or to recover damages for such violations.

5.2 Amendment

The Covenants contained herein within "Section I. Easements and Utilities" and "Section IV. Planned Unit Development Restrictions" may be amended or terminated at any time by a written instrument signed and acknowledged by the Jenks Planning Commission or its successors with the approval of the City of Jenks, Oklahoma.

5.3 Severability

These restrictive covenants, together with the other documents incorporated by reference, shall be construed as an entity and the pertinent sections of all instruments as a whole. The invalidity of any phrase, clause or provisions herein contained shall not serve to render the balance of this instrument void, or unenforceable, and the same shall be thereafter construed as if such phrase, clause or provision were not herein contained, or to otherwise give maximum effect to the intent of the undersigned. The failure of the grantor, or any successor in title, to enforce any given restriction or covenant, or conditions at any time, or from time to time, shall not be deemed to be a waiver or relinquishment of any right or remedy nor a modification of these restrictions and protective covenants.

5.4 Definitions

In the event of ambiguity of any word or term set forth herein, the meaning thereof shall be deemed to be defined as set forth within the City of Jenks Zoning Code as the same existed on January 1, 2000 or as subsequently amended.

IN WITNESS WHEREOF: DASH RANCH, L.L.C., an Oklahoma limited liability company, executed this instrument this ____ day of _____, 2020.

DASH RANCH, L.L.C.
an Oklahoma limited liability company

Troy Atkin, Managing Member

State of Oklahoma)
) s.s.
County of Tulsa)

Before me, the undersigned, a notary public in and for said County and State on this ____ day of _____, 2020, personally appeared Troy Atkin, to me known to be the identical person and Managing Member who subscribed the name of the maker thereof and acknowledged to me that he executed the same as his free and voluntary act and deed of DASH RANCH, L.L.C., an Oklahoma limited liability company, for the uses and purposes therein set forth.

Given under my hand and seal the day and year last above written.

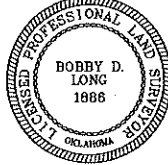
Jack Taber, Notary Public
My commission No. is 12005192
My commission expires May 31, 2020

CERTIFICATE OF SURVEY

I, Bobby D. Long, of Tulsa Engineering & Planning Associates, Inc., a professional land surveyor registered in the State of Oklahoma, hereby certify that I have carefully and accurately surveyed, subdivided, and platted the tract of land described above, and that the accompanying plat designated herein as "GreyOaks", a subdivision in the City of Jenks, Tulsa County, State of Oklahoma, is a representation of the survey made on the ground using generally accepted land surveying practices and meets or exceeds the Oklahoma Minimum Standards for the Practice of Land Surveying as adopted.

Executed this ____ day of _____, 2020.

Bobby D. Long
Registered Professional Land Surveyor
Oklahoma No. 1886



State of Oklahoma)
) s.s.
County of Tulsa)

The foregoing Certificate of Survey was acknowledged before me this 17th day of December, 2019, by Bobby D. Long.

Jack Taber, Notary Public
My commission No. is 12005192
My commission expires May 31, 2020

JENKS LANDING II

Date Prepared: December 18, 2019 Sheet 3 of 3

**Deed of Dedication
and
Restrictive Covenants**

**P.U.D. 97
JENKS LANDING II**

KNOW ALL MEN BY THESE PRESENTS:

DASH RANCH, L.L.C., an Oklahoma corporation, hereinafter referred to as the "Owner/Developer", is the owner of the following described land in the City of Jenks, Tulsa County, State of Oklahoma, to wit:

A tract of land located in the S/2 of the NE/4 of Section 34, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma, according to the Official U.S. Government Survey thereof, being more particularly described as follows:

TRACT "A"

A tract of land located in the S/2 of the NE/4 of Section 34, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma, according to the Official U.S. Government Survey thereof, being more particularly described as follows:

Commencing at the east quarter corner of Section 34, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma;

Thence N 89°58'05" W a distance of 906.91 feet along the south line of the NE/4 of said Section 34 and the south line of "Jenks Landing", a subdivision in the City of Jenks, Tulsa County, State of Oklahoma, according to the official recorded plat thereof, Plat No. 6730, as filed in the records of the Tulsa County Clerk, to the southwest corner of said "Jenks Landing", and the "Point of Beginning";

Thence continuing N 89°58'05" W a distance of 674.19 feet along the south line of the NE/4 of said Section 34 to the most southerly southeast corner of "Kirk Crossing", a subdivision in the City of Jenks, Tulsa County, State of Oklahoma, according to the official recorded plat thereof, Plat No. 6467, as filed in the records of the Tulsa County Clerk;

Thence N 00°01'55" E a distance of 275.90 feet along the easterly line of said "Kirk Crossing", to a tangent curve to the right;

Thence continuing along the easterly line of said "Kirk Crossing" and along a tangent curve to the right with a central angle of 56°46'11", a radius of 370.00 feet, an arc length of 366.60 feet, a chord bearing of N 28°25'00" E and a chord length of 351.79 feet to a tangent reverse curve to the left;

Thence continuing along the easterly line of said "Kirk Crossing" and along a tangent reverse curve to the left with a central angle of 48°52'55", a radius of 430.00 feet, an arc length of 366.86 feet, a chord bearing of N 32°21'38" E and a chord length of 355.83 feet to a tangent reverse curve to the right;

Thence continuing along the easterly line of said "Kirk Crossing" and along a tangent reverse curve to the right with a central angle of 38°34'51", a radius of 170.00 feet, an arc length of 114.47 feet, a chord bearing of N 27°12'35" E and a chord length of 112.32 feet to the northwest corner of said "Jenks Landing";

Thence along the west line of said "Jenks Landing" for the next seven calls:

Thence S 78°39'25" E a distance of 16.24 feet;

Thence S 33°39'25" E a distance of 27.37 feet to a tangent curve to the left;

Thence along a tangent curve to the left with a central angle of 27°16'11", a radius of 150.00 feet, an arc length of 71.39 feet, a chord bearing of S 47°17'30" E and a chord length of 70.72 feet;

Thence S 60°55'35" E and tangent to the previous curve a distance of 17.56 feet to a tangent curve to the right;

Thence along a tangent curve to the right with a central angle of 33°54'12", a radius of 140.00 feet, an arc length of 82.84 feet, a chord bearing of S 43°58'29" E and a chord length of 81.64 feet to a tangent compound curve to the right;

Thence along a tangent compound curve to the right with a central angle of 27°01'23", a radius of 1005.00 feet, an arc length of 474.00 feet, a chord bearing of S 13°30'42" E and a chord length of 469.62 feet;

Thence S 00°00'00" W and tangent to the previous curve a distance of 388.29 feet to the "Point of Beginning".

Together with:

TRACT "B"

Beginning where the easterly right of way for South James Avenue per the Final Plat of "Kirk Crossing" intersects the north line of the S/2 of the NE/4 of Section 34;

Thence N 89°56'32" E along the north line of the S/2 of the NE/4 of Section 34 a distance of 637.50 feet to the westerly right of way for US Highway 75 per Case No. CJ-2008-4866 as filed with the District Court of Tulsa County;

Thence along the westerly right of way for US Highway 75 and along a non-tangent curve to the left with a central angle of 01°06'19", a radius of 1029.69 feet, an arc length of 19.86 feet, a chord bearing of S 22°42'20" E and a chord length of 19.86 feet to the northerly right of way for West 114th Street per the Final Plat of "Kirk Crossing";

Thence along the northerly right of way for West 114th Street and not tangent to the previous curve S 65°11'15" W a distance of 150.38 feet;

Thence along the northerly right of way for West 114th Street and along a tangent curve to the right with a central angle of 22°36'03", a radius of 170.00 feet, an arc length of 67.06 feet, a chord bearing of S 76°29'17" W and a chord length of 66.62 feet to a tangent reverse curve to the left;

Thence along the northerly right of way for West 114th Street and along a tangent reverse curve to the left with a central angle of 36°11'38", a radius of 230.00 feet, an arc length of 145.29 feet, a chord bearing of S 69°41'30" W and a chord length of 142.89 feet;

Thence along the northerly right of way for West 114th Street and tangent to the previous curve S 51°35'41" W a distance of 78.37 feet to a tangent curve to the right;

Thence along the northerly right of way for West 114th Street and along a tangent curve to the right with a central angle of 36°33'15", a radius of 170.00 feet, an arc length of 108.46 feet, a chord bearing of S 68°52'18" W and a chord length of 106.63 feet to a tangent reverse curve to the left;

Thence along the northerly right of way for West 114th Street and along a tangent reverse curve to the left with a central angle of 18°37'50", a radius of 230.00 feet, an arc length of 74.79 feet, a chord bearing of S 78°50'01" W and a chord length of 74.46 feet to a tangent reverse curve to the right;

Thence along a tangent reverse curve to the right with a central angle of 77°32'39", a radius of 25.00 feet, an arc length of 33.84 feet, a chord bearing of N 71°42'35" W and a chord length of 31.31 feet to the easterly right of way for South James Avenue;

Thence along the easterly right of way for South James Avenue and tangent to the previous curve N 32°56'15" W a distance of 33.40 feet to a tangent curve to the right;

Thence along the easterly right of way for South James Avenue and along a tangent curve to the right with a central angle of 32°53'37", a radius of 170.00 feet, an arc length of 97.60 feet, a chord bearing of N 16°29'27" W and a chord length of 96.26 feet;

Thence along the easterly right of way for South James Avenue and tangent to the previous curve N 00°02'38" W a distance of 115.58 feet to the "Point of Beginning".

Said Tracts "A & B" contain 575,169 square feet or 13.2041 acres.

The non-astronomic bearings for said tracts are based on a platted bearing of N 89°58'05" W along the south line of the NE/4 of Section 34, T-18-N, R-12-E of the Indian Meridian, Tulsa County, State of Oklahoma, according to the Official U.S. Government Survey thereof per "Kirk Crossing" a subdivision in the City of Jenks, Tulsa County, State of Oklahoma, according to the official recorded plat thereof, Plat No. 6467, as filed in the records of the Tulsa County Clerk's office.

As Owner/Developer, I hereby certify that I have caused the above described land to be surveyed, divided, mapped, dedicated and access rights reserved as presented on the plat and have designated the subdivision as "JENKS LANDING II", a subdivision in the City of Jenks, Tulsa County, Oklahoma.

SECTION I. EASEMENTS AND UTILITIES

1.1. General Utility Easements

The Owner/Developer does hereby dedicate, for public use, the utility easements as depicted on the accompanying plat as "U/E" or "Utility Easement", for the several purposes of constructing, maintaining, operating, repairing, replacing, and/or removing any and all public utilities, including storm sewers, sanitary sewers, telephone and communication lines, electric power lines and transformers, gas lines, water lines and cable television lines, together with all fittings, including the poles, wires, conduits, pipes, valves, meters and equipment for each of such facilities and any other appurtenances thereto, with the rights of ingress and egress to and upon the utility easements for the uses and purposes aforesaid, provided however, the Owner/Developer hereby reserves to itself, and to its assigns, the right to use or delegate to others the right to use the designated easements and rights of way to provide any of the services set forth herein, including, but not limited to the right to construct, maintain, operate, lay and re-lay water lines and sewer lines, together with the right of ingress and egress for such construction, maintenance, operation, laying and re-laying over, across and along the streets and all of the utility easements depicted on the plat for the purpose of furnishing water and/or sewer services to the area included in the plat. The Owner/Developer herein imposes a restrictive covenant, which covenants shall be binding on each lot owner and shall be enforceable by the City of Jenks, Oklahoma, and by the supplier of any affected utility service, that within the streets and utility easements depicted on the accompanying plat no building, structure or other above or below ground obstruction that interferes with the above set forth uses and purposes of a street or easement shall be placed, erected, installed or maintained, provided however, nothing herein shall be deemed to prohibit drives, parking areas, curbing, landscaping and customary screening fences and walls.

1.2. Underground Service

1.2.1 Overhead lines for the supply of electric, telephone and cable television services may be located along the southerly perimeter easement of the subdivision. Street light poles or standards may be served by overhead line or underground cable and elsewhere throughout the subdivision. All supply lines including electric, telephone, cable television and gas lines shall be located underground in the easement ways dedicated for general utility services and in the rights-of-way of the public streets as depicted on the accompanying plat. Service pedestals and transformers, as sources of supply at secondary voltages, may also be located in the easement ways.

1.2.2 Underground service cables and gas service lines to all structures which may be located within the subdivision may be run from the nearest gas main, service pedestal or transformer to the point of usage determined by the location and construction of such structure as may be located upon the lot. Provided that upon the installation of a service cable or gas service line to a particular structure, the supplier of service shall thereafter be deemed to have a definitive, permanent, effective and non-exclusive right-of-way easement on the lot, covering a 5 foot strip extending 2.5 feet on each side of the service cable or line extending from the gas main, service pedestal or transformer to the service entrance on the structure.

1.2.3 The suppliers of electric, telephone, cable television, and gas services, through its agents and employees, shall at all times have the right of access to all easement ways shown on the plat or otherwise provided for in this Deed of Dedication for the purpose of installing, maintaining, removing or replacing any portion of the underground electric, telephone, cable television, or gas facilities installed by the supplier of the utility service.

1.2.4 The owner of the lot shall be responsible for the protection of the underground service facilities located on the lot and shall prevent the alteration of grade or any construction activity which would interfere with the electric, telephone, cable television, or gas facilities. Each supplier of service shall be responsible for ordinary maintenance of underground facilities, but the owner of the lot shall pay for damage or relocation of such facilities caused or necessitated by acts of the owner or the owner's agents or contractors.

1.2.5 The foregoing covenants set forth in this "Section 1.2 Underground Service" shall be enforceable by each supplier of the electric, telephone, cable television, or gas service and the owner of the lot agrees to be bound hereby.

1.3. Water and Sewer Service

1.3.1 The owner of each lot shall be responsible for the protection of the public water mains and of the public sanitary sewer facilities located on their lot and shall prevent the alteration of grade or any construction activity which may interfere with said public water main or public sanitary sewer main. Within the utility easement areas depicted on the accompanying plat, the alteration of grade from the contours existing upon the completion of the installation of a public water main or sewer main, or any construction activity which would interfere with public water and sewer mains, shall be prohibited.

1.3.2 The City of Jenks, or its successors, will be responsible for ordinary maintenance of the public water main, or the public sanitary sewer main, but the owner of each lot will pay for damage or relocation of such facilities caused or necessitated by acts of the owner or his agents or contractors.

1.3.3 The City of Jenks or its successors through its proper agents and employees shall at all times have right of access with their equipment to all such easement-ways shown on said plat, or provided for in this Deed of Dedication for the purpose of installing, maintaining, removing, or replacing any portion of said underground water and sewer facilities.

1.3.4 The foregoing covenants concerning water and sewer facilities shall be enforceable by the City of Jenks or its successors, and the owner of each lot agrees to be bound hereby.

1.4 Gas Service

1.4.1 The supplier of gas service, through its agents and employees, shall at all times have the right of access to all such easements shown on the plat or as provided for in this Deed of Dedication for the purpose of installing, removing, repairing, or replacing any portion of the facilities installed by the supplier of gas service.

1.4.2 The owner of the lot shall be responsible for the protection of the underground gas facilities located in their lot and shall prevent the alteration, grade, or any other construction activity which would interfere with the gas service. The supplier of the gas service shall be responsible for the ordinary maintenance of said facilities, but the owner shall pay for damage or relocation of facilities caused or necessitated by acts of the owner or the its agents or contractors.

1.4.3 The foregoing covenants set forth in this paragraph shall be enforceable by the supplier of the gas service and the owner of the lot agrees to be bound hereby.

1.5 Surface Drainage

Each lot shall receive and drain, in an unobstructed manner, the storm and surface waters from lots and drainage areas of higher elevation and from public streets and easements. No lot owner shall construct or permit to be constructed any fencing or other obstructions which would impair the drainage of storm and surface waters over and across his lot. The foregoing covenants set forth in this "Section 1.5 Surface Drainage" shall be enforceable by any affected lot owner and by the City of Jenks, Oklahoma.

1.6 Paving and Landscaping Within Easements

The owner of the lot shall be responsible for repair of damage to the landscaping and paving occasioned by the necessary installation of or maintenance to the underground water, sewer, storm water, gas, communication, cable television, or electric facilities within the easements depicted on the accompanying plat, provided however, that the City of Jenks or the supplier of the utility service shall use reasonable care in the performance of such activities.

1.7 Storm Sewer

1.7.1 The City of Jenks, or its successors, through its proper agents and employees, shall at all times have right of access with their equipment to all storm sewer easements for the purpose of installing, maintaining, removing or replacing any portion of the underground storm sewer system.

1.7.2 No permanent fence, permanent wall, permanent building, or permanent structure which would cause an obstruction shall be placed or maintained in the storm sewer easement area, and any construction activity which would interfere with the storm sewer system shall be prohibited.

1.7.3 The City of Jenks, or its successors, shall be responsible for ordinary maintenance of the public storm sewer system, but the owner of each lot will pay for damage or relocation of such system caused or necessitated by acts of the owner of each lot or its agents or contractors.

1.7.4 The foregoing covenants concerning the public storm sewer system shall be enforceable by the City of Jenks, or its successor, and the owner of each lot agrees to be bound hereby.

1.7.5 The owner of each lot shall be responsible for the protection of the storm sewer located on their lot and shall prevent the alteration of grade or any construction activity which may interfere with said storm sewer. Within the utility easement areas depicted on the accompanying plat, the alteration of grade from the contours existing upon the completion of the installation of storm sewer, or any construction activity which would interfere with storm, shall be prohibited.

1.8 Limits of No Access

The undersigned owner hereby relinquishes rights of vehicular ingress or egress from any portion of the property adjacent to South James Avenue and West 114th Street within the boundaries designated "Limits of No Access" (L.N.A.) on the accompanying plat, which "Limits of No Access" may be amended or released by the City of Jenks, Oklahoma or its successors, or as otherwise provided by the statutes and laws of the State of Oklahoma. "Limits of No Access" shall be enforceable by the City of Jenks.

JENKS LANDING II

Date Prepared: December 18, 2019

Sheet 2 of 3

SECTION II. RESERVE AREAS

2.1 Reserve Area "A"

- 2.1.1 Reserve Area "A" shall be used for open space, signage, landscaping, walls, fencing, drainage, recreation, overland drainage, stormwater drainage, stormwater detention, utilities, and ingress and egress.

2.2 Reserve Area "B"

- 2.2.1 Reserve Area "B" shall be used for open space, signage, landscaping, walls, fencing, drainage, recreation, overland drainage, stormwater drainage, stormwater detention, utilities, and ingress and egress.

- 2.1.2 Kirk Crossing (Plat No. 6467) will be allowed one sign to be located in Reserve Area "B" in the area designated on the face of the plat as "30' Sign Easement". Signage shall be installed in accordance with the City of Jenks Zoning Code.

2.3 All Reserves

- 2.3.1 All costs and expenses associated with all reserves, including maintenance of various improvements will be the responsibility of the Owner/Developer.

- 2.3.2 In the event the Owner/Developer should fail to properly maintain the reserve areas and facilities thereon located as above provided, the City of Jenks, Oklahoma, or its designated contractor may enter the reserve areas and perform such maintenance, and the cost thereof shall be paid by the Owner/Developer.

- 2.3.3 In the event the Owner/Developer fails to pay the cost of said maintenance after completion of the maintenance and receipt of a statement of costs, the City of Jenks, Oklahoma may file of record a copy of the statement of costs, and thereafter the costs shall be a lien against each of the lots within the development, provided however, the lien against each lot shall be limited to its pro rata share of the costs. This lien may be foreclosed by the City of Jenks, Oklahoma.

SECTION III. CORRIDOR APPEARANCE DISTRICT

3.1 Appearance Design

- 3.1.1 Building design and site plan details should be so designed to provide building exterior walls and structural facades of a complementary style in order to minimize the impact of proposed new buildings and uses on adjacent and nearby properties. Exterior walls of buildings visible from the fronting street(s) must provide a complementary appearance utilizing design features, landscaping, color schemes and other architectural treatments to eliminate monotone or monolithic exterior walls or structural facades in order to be compatible and complementary to adjacent and nearby properties within the Corridor Appearance District.

- 3.1.2 In addition to complementary exterior wall design and building materials, the use of building setbacks, screening fences, landscaping, signage, lighting, and other site-specific amenities should be used to increase compatibility of the building with adjacent and nearby properties.

- 3.1.3 All roof-mounted heating and air conditioning equipment (HVAC) shall be screened.

3.2 Building Materials

- 3.2.1 The design of new structures and of additions to existing structures, including new site improvements, should take into account the architectural style, general design, arrangement, texture, material and color of other structures and premises in the adjacent neighborhood. Contemporary designs for new structures, additions to existing structures or remodels may be allowed so long as such construction is compatible with the essential form and integrity of other structures in the adjacent neighborhood.

- 3.2.2 All new structures and all reconstruction or remodeling of existing structures within the Corridor Appearance District should utilize exterior materials such as masonry, face brick, stone, or wood.

- 3.2.3 Traditional color schemes and combinations of those colors that are complementary to the adjacent neighborhood should be used for all exterior wall coverings. Fluorescent or luminescent colors shall be prohibited.

3.3 Parking and Landscaping

3.3.1 Parking

- Off-street parking areas/off-street loading areas should conform to the design, lighting, and improvements as required by the Jenks zoning code.
- Lighting used to illuminate off-street parking areas shall be by constant light and shall be so arranged as to direct the light away from abutting properties within a residential zoning district.
- Unenclosed off-street parking areas shall be surfaced with a dust-free all-weather material.
- Parking and internal traffic circulation should be established within each separate development in a way that will result in a substantial reduction in the number of existing and new public street and private drive access points to major arterial street frontages.

3.3.2 Landscaping

- Street frontages within the Corridor Appearance District should provide a sense of open space and should be buffered from the streets by landscaped drives, lawns, or parking.
- Trees and shrubbery utilized for landscaping purposes should conform to the species recommended and approved by the City of Jenks.
- Locations along or near to the proposed routes of the Jenks Trail System should be encouraged to provide for pedestrian and bicycle access to the system.

3.4 Fencing

- 3.4.1 Development and re-development within the Corridor Appearance District should include adequate screening and buffering to avoid negative impacts on adjacent residential areas.

- 3.4.2 Screening fencing, where required by the Jenks Zoning Code and else where on a lot within a Corridor Appearance District, should be wooden fencing, faux fencing, masonry, or brick walls or combinations thereof, providing visual barriers.

- 3.4.3 Screening walls or fences shall be maintained by the owner or occupant of the lot containing the use required to construct the screening.

3.5 Signage

- 3.5.1 All signs as defined in the Jenks City Code should be designed to be compatible with and complementary to the adjacent neighborhood. All signs should be designed and erected in compliance with the Jenks City Code, Zoning Code, and Sign Code without the necessity of variances. Variances of height, size, setback, and other code requirements should not be supported within the Corridor Appearance District.

3.6 Lighting

- 3.6.1 All lighting, including exterior and parking lot lighting should be so designed to complement the building structures constructed and those located in adjacent areas.

- Lighting used to illuminate off-street parking areas shall be by constant light and shall be so arranged as to direct the light away from abutting properties or road right-of-way.

- b. Lighting incorporating period lighting fixtures similar to special theme district and conforming to approved City street lighting studies are encouraged.

prevent him/her or them from so doing or to compel compliance with the covenants or to recover damages for such violations.

5.2. Amendment

The Covenants contained herein within "Section I. Easements and Utilities" and "Section IV. Planned Unit Development Restrictions" may be amended or terminated at any time by a written instrument signed and acknowledged by the Jenks Planning Commission or its successors with the approval of the City of Jenks, Oklahoma.

5.3. Severability

These restrictive covenants, together with the other documents incorporated by reference, shall be construed as an entity and the pertinent sections of all instruments as a whole. The invalidity of any phrase, clause or provisions herein contained shall not serve to render the balance or this instrument void, or unenforceable, and the same shall be thereafter construed as if such phrase, clause or provision were not herein contained, or to otherwise give maximum effect to the intent of the undersigned. The failure of the grantor, or any successor in title, to enforce any given restriction or covenant, or conditions at any time, or from time to time, shall not be deemed to be a waiver or relinquishment of any right or remedy nor a modification of these restrictions and protective covenants.

5.4. Definitions

In the event of ambiguity of any word or term set forth herein, the meaning thereof shall be deemed to be defined as set forth within the City of Jenks Zoning Code as the same existed on January 1, 2000 or as subsequently amended.

SECTION IV. PLANNED UNIT DEVELOPMENT RESTRICTIONS

WHEREAS, "JENKS LANDING II" was submitted as part of a planned unit development (designated as PUD No. 97) pursuant to Chapter 9 of the City of Jenks Zoning Ordinance.

WHEREAS, the planned unit development provisions of the Jenks Zoning Code require the establishment of covenants of record, inuring to and enforceable by the City of Jenks, Oklahoma, sufficient to assure the implementation and continued compliance with the approved planned unit development; and

WHEREAS, the Owner/Developer desires to establish restrictions for the purpose of providing for an orderly development and to insure adequate restrictions for the mutual benefit of the Owner/Developer, its successors and assigns, and the City of Jenks, Oklahoma.

THEREFORE, the Owner/Developer does hereby impose the following restrictions and covenants which shall be covenants running with the land and shall be binding upon the Owner/Developer, its successors and assigns, and shall be enforceable as hereinafter set forth.

4.1 Permitted Uses:

Multi-Family dwellings and customary accessory uses (Use Unit 8).

4.2 Maximum Number of Dwelling Units: 211 DUs

4.3 Maximum Building Height: 45 feet

4.4 Maximum Number of Stories: 3

4.5 Minimum Building Setbacks:

from South James Avenue ROW 30 feet
from East Line (internal): 5 feet
from South Line: 25 feet

4.6 Minimum Livability Space: *400SF

* Livability Space as defined by the City of Jenks Zoning Code is open space not allocated to off street parking or paved access to off-street parking areas. Livability Space per Dwelling Unit may take into account and utilize common open space to satisfy this requirement, if necessary.

4.7 Minimum Off-Street Parking:

As required by the City of Jenks Zoning Code for the applicable Use Unit.

4.8 Other Bulk and Area Requirements:

As established within an RM-2 District.

4.9 Minimum Landscaped Area: 20%

SECTION V. ENFORCEMENT, DURATION, AMENDMENT AND SEVERABILITY

5.1 Enforcement and Duration

The restrictions herein set forth are covenants to run with the land and shall be binding upon the undersigned Owner/Developer, its grantees, successors and assigns and all parties claiming under it for a period of twenty-five (25) years from the date of recording hereof, after which time said covenants shall be automatically extended for successive periods of ten (10) years unless amended or terminated as hereafter provided. If the undersigned Owner/Developer, or its successors or assigns shall violate any of the covenants hereon, it shall be lawful for the City of Jenks or any persons owning a lot situated within the subdivision to maintain an action at law or equity against the person or persons violating or attempting to violate any such covenant, and to

IN WITNESS WHEREOF: DASH RANCH, L.L.C., an Oklahoma limited liability company, executed this instrument this ____ day of _____, 2020.

DASH RANCH, L.L.C.
an Oklahoma limited liability company

Troy Atkin, Managing Member

State of Oklahoma)
) s.s.
County of Tulsa)

Before me, the undersigned, a notary public in and for said County and State on this ____ day of _____, 2020, personally appeared Troy Atkin, to me known to be the identical person and Managing Member who subscribed the name of the maker thereof and acknowledged to me that he executed the same as his free and voluntary act and deed of DASH RANCH, L.L.C., an Oklahoma limited liability company, for the uses and purposes therein set forth.

Given under my hand and seal the day and year last above written.

Jack Taber, Notary Public
My commission No. is 12005192
My commission expires May 31, 2020

CERTIFICATE OF SURVEY

I, Bobby D. Long, of Tulsa Engineering & Planning Associates, Inc., a professional land surveyor registered in the State of Oklahoma, hereby certify that I have carefully and accurately surveyed, subdivided, and platted the tract of land described above, and that the accompanying plat designated herein as "GreyOaks", a subdivision in the City of Jenks, Tulsa County, State of Oklahoma, is a representation of the survey made on the ground using generally accepted land surveying practices and meets or exceeds the Oklahoma Minimum Standards for the Practice of Land Surveying as adopted.

Executed this ____ day of _____, 2020.

Bobby D. Long
Registered Professional Land Surveyor
Oklahoma No. 1886



State of Oklahoma)
) s.s.
County of Tulsa)

The foregoing Certificate of Survey was acknowledged before me this 17th day of December, 2019, by Bobby D. Long.

Jack Taber, Notary Public
My commission No. is 12005192
My commission expires May 31, 2020

JENKS LANDING II

Date Prepared: December 18, 2019

Sheet 3 of 3

ANTICIPATED CAPITAL PROJECTS - Showing Proposed Funding Sources

NUMB	PROJECT	ESTIMATED CONSTRUCTION FUNDING NEEDED	ESTIMATED DESIGN COSTS	POTENTIAL FUNDING SOURCE
MAJOR STREET WIDENING/IMPROVEMENT CAPITAL PROJECTS				
1	111th Street and Elwood Intersection/Widening to US75	\$1,832,475	Under design	2010 G.O. Bond
2	Elwood Ave (111th Street to 96th Street)	\$2,575,000	Under design	2013 G.O. Bond
3	Main Street Improvements (Date to east of railroad)	\$1,000,000	Under design	Future 2020 G.O. Bond
4	South Elm Widening (5-lane 111th Street to 131st Street)	\$16,000,000	Under design	Future 2020 G.O. Bond
5	106th Street (Elm to River District)	\$10,000,000		TBD
6	Design		\$1,000,000	Future 2020 G.O. Bond
7	Elwood Ave (96th to 91st)	\$3,225,000		TBD
8	Design/Rights-of-way/Utilities Relocation		\$1,000,000	Future 2020 G.O. Bond
9	Elwood Ave (111th to 121st)	\$6,525,000		TBD
10	Design/Rights-of-way/Utilities Relocation		\$1,000,000	Future 2020 G.O. Bond
11	1st Street - Aquarium Place to Aquarium Drive	\$1,175,000	Under design	Economic Development Fund (21) - To be reimbursed from Jenks Vision Fund (33)
12	7th Street - Aquarium Place to Aquarium Drive	\$1,075,000	Under design	Economic Development Fund (21) - To be reimbursed from Jenks Vision Fund (33)
13	131st Street & Harvard Intersection	\$1,750,000		TBD
14	Design		\$175,000	TBD
15	111th Street (Elm to Elwood)	\$6,750,000		TBD
16	Design		\$675,000	TBD
17	Aquarium Place (Elm to River)	\$6,500,000		TBD
18	Design		\$650,000	TBD
19	Elm (8 Street to 91st Street)	\$4,000,000		TBD
20	Design		\$400,000	TBD
21	121st Street (Elm to Elwood)	\$5,800,000		TBD
22	Design		\$580,000	TBD
23	106th Street and Elgin Avenue (Elm Street to 111th Street)	\$7,025,000		TBD
24	Design		\$700,000	TBD
25	101st Street (Elwood Ave to Adams)	\$3,925,000		TBD
26	Design		\$400,000	TBD
27	Elgin Ave (South of 111th Street)	\$2,750,000		TBD
28	Design		\$275,000	TBD
29	131st Street & Lewis Ave Intersection	\$2,550,000		TBD
30	Design		\$250,000	TBD
31	Harvard Ave (131st to 141st)	\$8,625,000		TBD
32	Design		\$850,000	TBD
TOTAL FUTURE STREET WIDENING PROJECTS		\$93,082,475	\$7,955,000	
ADDITIONAL STREET PROJECTS				
33	Traffic Study & Signalization Master Plan			
34	Radar Signal Controls	\$600,000		2013 G.O. Bond
35	Design		\$75,000	TBD
36	LIDAR Survey of Jenks	\$125,000		2013 G.O. Bond
TOTAL ADDITIONAL STREET PROJECTS		\$725,000	\$425,000	TBD
TOTAL STREET IMPROVEMENTS PROJECTS		\$93,807,475	\$8,380,000	

ANTICIPATED CAPITAL PROJECTS - Showing Proposed Funding Sources

TRAILS, SIDEWALKS, PARKS

Trails

37	Complete Trail Loop at Veteran's Park					Potential State Recreational Trails Grant/Parks and Recreation Fund (45)
38	Trail - 121st Street Elm to Elwood		\$280,000			TBD
39	Design		\$400,000			TBD
40	Trail - Main St. from Park West to Elwood			\$50,000		TBD
41	Design		\$275,000			TBD
42	Trail - Elwood from 91st to Main Street			\$30,000		TBD
43	Design		\$275,000			TBD
44	Trail - Elwood from 111th to 121st		\$700,000			TBD
45	Design			\$70,000		TBD
46	Trail - North City Boundary to Riverwalk on levee		\$800,000			TBD
Sidewalks						
47	Sidewalk - "B" Street Elm to 5th		\$269,500	Under design		Jenks Vision Fund (33)
48	Sidewalk - "B" Street 5th Street to Riverwalk		\$165,000			Jenks Vision Fund (33)
49	Design			\$20,000		Jenks Vision Fund (33)
50	Sidewalk - "C" Street Fir to Elm		\$80,000			Jenks Vision Fund (33)
51	Design			\$10,000		Jenks Vision Fund (33)
52	Sidewalk - Aquarium Drive/101st Street (Elm to Park West)		\$155,000	Under design		TBD
Parks						
53	Splash Pad at Veterans Park		\$400,000	Under design		Jenks Vision Fund (33)
54	Parks, Street Trees & Trail Master Plan			\$250,000		TBD
55	Central Park Pavilion Improvements		\$250,000			TBD
56	Design			\$25,000		TBD
57	Turf Park West Football Field		\$900,000			TBD
58	Downtown Main Street Lighting Extension and Rehabilitation		\$150,000			TBD
59	Design			\$15,000		TBD
60	Holiday Decorations - Various Areas		\$150,000			TBD
61	Develop Park - Old Evans Property (Elm Street south of 106th Street)		\$750,000			TBD
62	Design			\$75,000		TBD
TOTAL TRAILS, SIDEWALKS, PARKS			\$5,999,500	\$575,000		

ANTICIPATED CAPITAL PROJECTS - Showing Proposed Funding Sources

WASTEWATER TREATMENT PLANT, SANITARY SEWERS, LIFT STATIONS, WATER AND DRAINAGE IMPROVEMENTS					
Wastewater Treatment Plant					
63	WWTP Improvements Phase 1 - Construction	\$11,400,000	Under design	2019 Revenue Bond	
Sanitary Sewer					
64	Force Main from 106th and Elm lift station	\$3,150,000		TBD	
65	Design		\$50,000	2013 G.O. Bond	
66	Force Main from W. Main at Hager lift station	\$2,000,000		TBD	
67	Design		\$200,000	2013 G.O. Bond	
68	Interceptor upgrade (Slate Creek)	\$2,000,000			
69	Design		\$150,000	WWTP Fund (55)	
70	S James Sewer and Water Main Extension (TIF 4)	\$380,000		TBD	
Lift Stations					
71	106th & Elm	\$3,050,000		TBD	
72	Design		\$350,000	2013 G.O. Bond	
73	W. Main at Hager	\$750,000		TBD	
74	Design		\$125,000	2013 G.O. Bond	
75	Victoria Pond	\$2,550,000		TBD	
76	Design		\$250,000	2013 G.O. Bond	
77	5th & E Street	\$105,000		TBD	
78	Design		\$10,000	Reimbursement Fund to JPWA (56)	
79	2nd and F Street	\$105,000		TBD	
80	Design		\$10,000	Reimbursement Fund to JPWA (56)	
81	141st and Harvard (Country Meadows)	\$105,000		TBD	
82	Design		\$30,000	Reimbursement Fund to JPWA (56)	
83	Valley View	\$300,000		TBD	
84	Design		\$30,000	Reimbursement Fund to JPWA (56)	
85	Sunrise Ridge LS and Forcemain Upgrade	\$600,000		TBD	
86	Design		\$60,000	Reimbursement Fund to JPWA (56)	
Water system					
87	Radio Read Water Meters	\$3,000,000		2020 Revenue Bond	
88	Water System Master Plan		\$250,000	TBD	
89	Water Extension along 121st under US75	\$725,000		TBD	
90	Design		\$75,000	JPWA (50)	
Drainage					
91	Drainage/Storm Sewer Master Plan				
92	Wilmott Creek Improvement (Main to 91st Street)	\$280,000		2010 G.O. Bond	
93	Old Town Drainage Improvements	\$350,000		Reimbursement Fund to JPWA (56)	
94	Design		\$40,000	TBD	
				Reimbursement Fund to JPWA (56)	
TOTAL PLANT, SANITARY SEWER, LIFT STATIONS, WATER AND DRAINAGE				\$1,880,000	

1/14/2020

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Police

1/2/20-1/7/20

- There were 78 citations, 107 traffic stops, 2 arrests, 326 calls for service, 1 Code Enforcement calls, 8 accidents, and 25 reports taken during this reporting period.
- Uttering Forged Instrument, suspect took checks out of mailbox and recreated checks with different information before cashing
- Assault and Battery, suspect unprovoked pushed victim twice.
- Verbal Abuse by caretaker, employee was cursing and rude to resident
- Domestic Intervention report, verbal altercation between step-mother and step- daughter
- Petit Larceny, subject stole beer from store.
- Home repair fraud, suspect took down payment and never purchased supplies or started job and is now unreachable.
- Burglary 2nd Degree, suspect stole trailer as well as forcing entry into a shed stealing a lawn mower.
- Possession of marijuana, marijuana vape pen without license.
- Unauthorized use of a credit card, unknown person used Atm card without authorization for \$354.36
- Missing person-adult has been located
- Assist DHS with taking custody of an infant
- Assist on fire call, helped put grass fire out.
- Assault and Battery, juveniles in fist fight.
- 3 Arrest warrants
- Armed robbery \$270.00 in vehicle
- Burglary 2nd degree of a home.
- 2 DUI crashes single vehicle vs fence
- Domestic Assault and Battery pushing and shoving between father and adult son
- 2 curfew arrests
- Detective Scott received and opened an investigation on indecent proposals, and child pornography referred to JPD from Tulsa
- Four subpoenas were served
- 2 letters of commendations given to officers (put out fire/Narcan administration)

Fire

Calls

From 1/01 to 1/07, Jenks Fire Rescue responded to 28 incidents. Of these incidents, 12 were EMS calls 3 were false alarms and 13 were other emergencies.

- 1/01-Grass Fire-S 5th St-Jenks Fire Rescue was dispatched to the report of a grass fire in the backyard of a residence. Crews extinguished the fire and determined that it had started from a neighbor lighting fireworks to celebrate the New Year.
- 1/02-Motor Vehicle Accident with Injuries-114th and Union-Jenks Fire Rescue responded to the report of a single-vehicle accident with injuries at 114th and Union. Crews assisted EMSA with patient care and JPD with traffic control and cleanup.
- 1/04-Grass Fire-117th St-Jenks Fire Rescue was dispatched to the report of a grass fire in the backyard of multiple residences. Upon arrival crews extinguished the fire and the fences involved. Investigation revealed that three young children had been left alone and were playing with a lighter which started the fire.
- 1/05-Grass Fire-Lewis Ave-Jenks Fire Rescue responded to the report of a grass fire that had spread from a pile of branches that were being burned. Crews extinguished the fire and ensured that all hot

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spots had been cooled.

- 1/07-Traumatic Fall with injuries-Oklahoma Aquarium-Jenks Fire Rescue responded to the report of a three-year-old that had fallen on some rocks and hit his head. Crews assisted EMSA with patient care and transport.
- 1/07-Grass Fire-116th and Elm-Jenks Fire Rescue responded to the report of a grass fire near the electrical substation. Crews extinguished a small fire that had started from sparking electrical lines.

Training

- Training this month has used the cooler weather to focus on hands-on skills. Crews worked pumping scenarios with multiple lines, auto extrication using the new battery powered extrication equipment, and rope rescue rigging scenarios.

Planning

BOARD OF ADJUSTMENT – Jan 16

- JBOA 19-428 – Request by Chris Spurrier for approval of a variance to allow a pool in the side yard. General Location: 11718 S Willow Pl

CITY COUNCIL – Jan 21

- JZ 19-648 – Request by Theresa Dewhurst to rezone from RS-3 to CS. General Location: 122 North 6th Street
- JZ 19-649 PUD 97A – Request by Bell Land Use to amend Development Area B of PUD 97 to include Reserve B of Jenks Landing Subdivision in the land area, making the total area of Development Area B approximately 13.2 acres to allow more dwelling units in the previously approved multi-family portion of the PUD. General Location: SE corner South James Avenue and West 114th Street
- Jenks Landing II – Request by Bell Land Use for approval of a preliminary/conditional final plat to accompany JZ 19-649 PUD 97A also on this agenda General Location: SE corner South James Avenue and West 114th Street
- ROW/UEC 19-70 – Request by Josh Nave to close a 7-foot wide portion of a utility easement to allow a retaining wall. General Location: 10709 S Nandina Ct.

PLANNING COMMISSION – Jan 23

- ARC 19-481 – Request by Melinda Dandridge for approval of site plan and appearance in the Special Theme District. General Location: 402 E Aquarium Pl

JZ 19-645 PUD 118 - Perryman Ranch 80-acre single family residential development of which 51 acres contains 136 single-family lots up to a maximum of 155 lots and 29 acres is flood plain to remain undeveloped except for trails, picnic and playground areas, etc. ITEM TABLED UNTIL FURTHER NOTICE AT NOVEMBER 7 PLANNING COMMISSION.

Aquarium Place Apartments Preliminary Plat - Request by Wallace Engineering for plat approval. General Location: SW/corner S 3rd Street and E Aquarium Place – Tabled at Planning Commission Nov. 7. Staff is working with applicant to make ready for hearing.

OTHER PLANNING DEPARTMENT ACTIVITIES

- Horizon Jenks
 - Houseal Lavigne working on drafts of all Comp Plan chapters and refining subarea plans for review by staff and CAC. Anticipated Draft Plan ready for review in February.