

AGENDA
JENKS PLANNING COMMISSION
THURSDAY, JANUARY 9, 2025, 6:00 PM
JENKS CITY HALL, 211 NORTH ELM

If you require special accommodations pursuant to the Americans with Disabilities Act, please notify the City Clerk's Office at (918) 299-5883 or email agendas@jenksok.org.

CALL TO ORDER

ROLL CALL

BUSINESS

Official action can only be taken on items which appear on the agenda. The Planning Commission may adopt, approve, ratify, deny, defer, recommend, amend, strike, or continue any agenda item (except for Item 1).

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under "Consent" are considered by the City Council to be routine and will be enacted by one motion. Any Councilor may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)
 - A. Approve minutes of the regular meeting held on December 19, 2024
 - B. Approve JL 25-404, a lot split on Tulsa Premium Outlets plat. General Location: 801 E Outlet Dr.
 - C. Approve JL 25-405, a lot split on Oklahoma Aquarium Campus plat. General Location: 123 S Aquarium Dr
 - D. Approve JZ 25 PUD 112.mi4, a minor amendment to PUD 112 to increase the eave height and lower masonry requirement for lot 1 and 2 block 1.
 - E. Approve Plat 25-07, a request for approval for the Preliminary Plat for Crossvine. General Location: 126th & Elm St
2. Consideration and appropriate action relating to items removed from the Consent Agenda
3. JZ 25-697: Request for a rezoning from RS-3 (Residential Single Family) to CS (Commercial Shopping). General Location: 515 W Aquarium.

OTHER BUSINESS

1. Planning Updates

ADJOURNMENT

MINUTES
JENKS PLANNING COMMISSION
6:00 P.M. THURSDAY, DECEMBER 19, 2024
JENKS CITY HALL, 211 NORTH ELM STREET

The Jenks Planning Commission was called to order at 6:03 p.m. on December 19, 2024, by Chair Scott West. A roll call vote of members was taken as follows:

Present

Gina Wilson
Amy Bors
Craig Bowman
Rob Sellers
Greg Nixon
Ray Stephens
Chair Scott West

Absent

Business

Official action can only be taken on items which appear on the agenda. The Planning Commission may adopt, approve, ratify, deny, defer, recommend, amend, strike, or continue any agenda item (except for Item 1).

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under "Consent" are considered by the Commission to be routine and will be enacted by one motion. Any Commissioner may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)
 - A. Approve minutes of the meeting held on December 05, 2024
 - B. Approve JZ 25 PUD 116.mi3: a request for a Minor Amendment to PUD 116 to adjust the garage build line on Lot 14 Block 2 by 1 foot. General Location: 2035 E 129th Pl
 - C. Approve Plat 24-06: Request for Final Plat for Raw Development. General Location: South of Creek Turnpike, west of Arkansas River
 - D. Approve JZ 24 PUD 116.mi4 - A Minor Amendment to PUD 116 to allow homes under 1800 square feet for specific lots: Lots 1, 5, 6 of Block 1; Lot 20 of Block 2; Lots 1, 9, 10 of Block 4; Lots 2, 3, 4 of Block 5; Lot 4 of Block 7 of Frazier Meadows. ****[This item was added as an addendum after the Planning Commission Agenda was originally published on 2024.12.17. The updated Agenda was published on 2024.12.18]****

Scott West asked to pull Item 1.D. Gina Wilson made a motion to approve Item 1.A-C. Ray Stephens seconded the motion. A roll call vote of members was taken as follows:

YEA: Wilson, Bors, Bowman, Sellers, Nixon, Stephens, West
NAY: None

Motion carried.

2. Consideration and appropriate action relating to items removed from the Consent Agenda
Planning Director Marcaé Hilton introduced¹ Item 1.D and answered questions. Rob Sellers made a motion to approve Item 1.D. Ray Stephens seconded the motion. A roll call vote of members was taken as follows:

YEA: Wilson, Bors, Bowman, Sellers, Nixon, Stephens, West
NAY: None

Motion carried.

3. JZ 24 SUP 123: Request for a Specific Use Permit to allow for an event venue in Downtown Core Zoning. General Location: 110 E Main St

Planning Director Marcaé Hilton introduced Item 3 and answered questions. Angie McFadden (908 E 1st St) addressed the Commission about the application², along with Brandi Wheeler. Craig Bowman made a motion to approve Item 3. Ray Stephens seconded the motion. A roll call vote of members was taken as follows:

YEA: Bowman, Stephens
NAY: Wilson, Bors, Sellers, Nixon, West

Motion failed.

Rob Sellers made a motion to continue the item to the January 09, 2025, meeting to allow for the applicant to provide more information. Amy Bors seconded the motion. A roll call vote of members was taken as follows:

YEA: Wilson, Bors, Sellers, Stephens
NAY: Bowman, Nixon, West

Motion carried; Item 3 continued to the January 09, 2025 meeting.

4. JZ 24 PUD 151: Request for a Planned Unit Development Overlay and a Zone Change from AG (Agriculture) to RS-2 (Residential Single Family). General Location: west of Kimberly Clark Pl & south of 131st St

Planning Director Marcaé Hilton introduced Item 4 and answered questions. Megan Pasco (Tanner Consulting) and Levi Green (289 Forestview Dr, Claremore) addressed the Commission and answered questions about the application. The following citizens gave comments on the application:

- Elizabeth Wilson – 2103 E 132nd

¹ Letter given to Commissioners is attached to the minutes as “Attachment A”

² Applicant provided the Commissioners with a folder. The contents of the folder are attached to the minutes as “Attachment B”

- Carlie Head – 2029 E 134th St³
- Charlie Hogue – 2014 E 133rd St
- David Eslinger – 13678 S 24th St
- Charlotte Montgomery – 10612 S Fir
- Robin Rosencutter – 16421 S Troost Ave
- Bob Morris – 12917 S 27th St

Megan Pasco and Levi Green addressed the Commission again to answer questions. Amy Bors made a motion to approve Item 4 with the conditions that 100% masonry be added and changing the long, straight roads to calm traffic even if relief would from the nodes and links requirement would be needed. Criag Bowman seconded the motion. A roll call vote of members was taken as follows:

YEA: Wilson, Bors, Bowman, Sellers, Nixon, Stephens, West

NAY: None

Motion carried.

5. Updates to Chapter 16 Article 3 Section 1 of the Jenks Zoning Code (Unified Development Ordinance) amending the Bulk and Dimensional Standards for new developments, increasing the minimum lot requirements for certain residential zonings.

Planning Director Marcaé Hilton introduced Item 5 and answered questions. *Greg Nixon left at 8:00 p.m. and returned at 8:01 p.m. Chair Scott West left at 8:00 p.m. and returned at 8:03 p.m.* The following citizens spoke on this item:

- Charlotte Montgomery – 10612 S Fir
- Justin Little – 10531 S Koa

Rob Sellers made a motion to approve Item 5. Ray Stephens seconded the motion. A roll call vote of members was taken as follows:

YEA: Wilson, Bors, Bowman, Sellers, Nixon, Stephens, West

NAY: Stephens

Motion carried.

Other Business

1. Planning Update – Marcaé Hilton gave an update.

Adjournment. The Jenks Planning Commission adjourned at 8:22 p.m.

³ Carlie Head provided a letter to the Commissioners. The letter is attached to the end of the minutes as “Attachment C”

Date 12/19/2024

To Chair Dr. Scott West and Planning Commission

Case No. JZ 24-PUD 116 MI4 Frazier Meadows (1) | Public Comments

Request Minor Amendment No. 4 to provide relief for homes built under 1,800 sq ft

Frazier Meadows History

Preparer | Marcaé Hilton

ADDRESS	LOT	BLOCK	SUBDIVISION	SQ. FT.
2070 E 130th Street	10	4	Frazier Meadows	1645
2054 E 129th Street	20	2	Frazier Meadows	1645
2034 E 130th Street	1	4	Frazier Meadows	1729
2066 E 130th Street	9	4	Frazier Meadows	1729
13014 S 20th Place	1	1	Frazier Meadows	1729
12914 S 21st Place	3	5	Frazier Meadows I	1734
12918 S 21st Place	2	5	Frazier Meadows I	1750
12879 S 21st Place	4	7	Frazier Meadows	1750
12910 S 21st Place	4	5	Frazier Meadows	1771
12934 S 20th Place	6	1	Frazier Meadows	1741
12938 S 20th Place	5	1	Frazier Meadows	1751

Figure 1: FRAZIER MEADOWS BUILDING PERMIT DATA BASED ON SQUARE FOOTAGE

Public Comment and Staff Response

1. How we have gotten to the point where the builder was able to complete construction of multiple homes that did not meet the PUD standards without prior consent/relief from the council?
 - a. Multiple builders
 - b. 1800 PUD |
 - c. 1600 plat
 - d. 200 Difference of a parking stall
 - i. 1645 | 155 sq ft difference
 - ii. 1729 | 71 sq ft difference
 - iii. 1734 | 66 sq ft difference
 - iv. 1741 | 59 sq ft difference
 - v. 1750 | 50 sq ft difference
 - vi. 1751 | 49 sq ft difference
 - vii. 1771 | 29 sq ft difference
2. What is going to stop them from building phase 2,3, and 4 not up to the standard of the PUD that was approved on Tuesday night?
 - a. All Developments:

- i. Staff no longer puts the PUD language in the Deed of Dedication of the Plat.
 - ii. It is filed as an addendum to the plat by separate instrument.
3. Are you all planning on sitting down with Charlie and Schuber to let them know that this can't happen again?
 - a. Both parties have known for several weeks that the City of Jenks opened an investigation and will not be accepting any building permits for less than 1800 sq ft.
4. What is going to be done to ensure that this does not happen again?
 - a. Better communication at COJ.
 - b. Better education of processes.
 - c. Removal of PUD language within plats.
5. If it does happen again, what are the consequences going to be?
 - a. Staff only has the tools within the UDO, Residential Building Code, Fire Code and engineering.
 - b. There are several tools, but each case would be handled individually.
6. Are we just ok with builders not adhering to the standards that the city has set?
 - a. It is the goal of our City staff to enforce the standards adopted by ordinance and to refer to the documents which have been approved by resolution.
7. I simply want things to be done with integrity and transparency.
 - a. The Minor Amendment process was considered by development staff to be the most just method of moving forward with clearing the title for the homeowners/neighbors of Frazier Meadows. These community members have unknowingly been allowed to move forward with house plans that did not meet the minimum standards within the PUD.
 - b. Timing: This was a last-minute decision made by the Development Staff to remedy an issue before the end of the year.
8. We were unaware of this, and this was not discussed at the planning commission meeting. This feels like it was intentionally hidden from the public as there would be obvious pushback.
 - a. This agenda item is specifically to provide a remedy for homeowners who are not aware of a potential title issue with their home.
9. There are 11 lots seeking relief allowing them to be built under the 1800 sq ft minimum in place.
 - a. Two building permits were under review while the investigation was pending and before a decision was made by staff for a solution.
10. 11 out of 101 lots seeking relief is not a minor amendment, that is 10 percent of the homes in Frazier Meadows.
 - a. This is not about relief or forgiveness for the builder or developer.
 - b. This is about 11 homeowners/neighbors who will need relief in the future.
11. They are never forthcoming and are constantly attempting to slide amendments under the table unbeknownst to the residents.
 - a. Frazier Meadows II plat has not been filed
 - b. Staff is talking to the developer about the development standards.
 - c. At this time no amendment application has been made.
 - d. Staff does expect the developer to seek an amendment to allow for less than 1,800 sq ft.

- i. This will be a major amendment.
 - 1. There will be a sign posted at the entrance of the Subdivision.
 - 2. Everyone within 300 feet will receive a notice.
 - 3. A public hearing will be held at the Planning Commission hearing.
- 12. How will they be held accountable for the blatant disregard to the current PUD?
 - a. No other building permits for Frazier Meadows will be issued with less than 1800 sq ft of living space.
- 13. I am appalled that this is allowed to take place.
 - a. This was not allowed it was missed; this is just as exasperating for staff.
- 14. I'm also curious if Mayor Box and the council are aware that this is how business is being conducted?
 - a. City Council and Planning Commission receive updates on planning matters and were given the memo outlining the square footage issue at Frazier Meadows 1.
- 15. I am formally requesting that this item be pulled from the consent agenda and opened up to the public for comment.
 - a. Items on consent may be pulled and discussed by staff or the presiding board/council in this case the Planning Commission. But cannot be opened to the public.
- 16. Why was the public or the residents of our neighborhood not notified?
 - a. Minor Amendments are not noticed to the public.
- 17. Prime example of the concerns we had on the moving forward of Frazier meadows 3&4.
 - a. Thank you for your concerns, staff, council and the developer are aware of the concerns.
 - b. The inspections department will keenly aware as these Frazier developments move forward.
 - c. They will have correct documents to use for building permit approvals.

Livability Space is defined as the heated/cooled space that can be occupied and used for living purposes. Generally, this would include any living areas such as bedrooms, living rooms, kitchens, and bathrooms as well as common areas like hallways, entries, and closets that are used as part of everyday living.

Comments | In order to clear the title for the 11 (eleven) homes that did not meet the 1,800 sq ft minimum requirement. Staff recommends a minor amendment, as determined by the UDO standards below, to PUD 116 specific to the lots identified in the plat exhibit.

(J) Amendments to Approved Planned Unit Development.

(1) Determination of Level of Change. Upon receiving a Planned Development Amendment application, the City Planner shall determine whether the amendment is a major amendment, or a minor amendment based on the criteria detailed in section 16-9-8(J)(2) and section 16-9-8(J)(3) below.

(2) Major Amendment. A major amendment is any proposed change to an approved major or minor planned development that results in one or more of the following changes:

- (a) Increase density,*
- (b) Increase the height of buildings,*
- (c) Reduce open space by more than five percent,*
- (d) Modify the proportion of housing types,*
- (e) Change parking areas in a manner that is inconsistent with this UDO,*

Date 12/19/2024

- (f) Increase the approved gross floor area by more than 500 square feet,*
- (g) Alter alignment of roads, utilities, or drainage, or*
- (h) Result in any other change inconsistent with any standard or condition imposed by the City Council in approving the Planned Unit Development and/or the approved site plan, as determined by the City Planner.*

(3) Minor Amendment. A minor amendment is any proposed change to an approved Planned Unit Development that is consistent with the standards and conditions upon which the Planned Unit Development was approved, which does not alter the concept or intent of the Planned Unit Development and is not considered a major amendment as detailed in section 16-9-8(J)(2).

(4) Approval Processes. A major amendment to an approved Planned Unit Development shall follow the procedure set in section 16-9-8(E)(F), and (G). A minor amendment to an approved Planned Unit Development may be approved by the Planning Commission.

Recommendation | Staff recommends approval of the Minor Amendment request to allow for a minimum square footage of less than 1,800 sq. ft. on the lots identified as follows:

Block 1, Lot 1, 5, 6

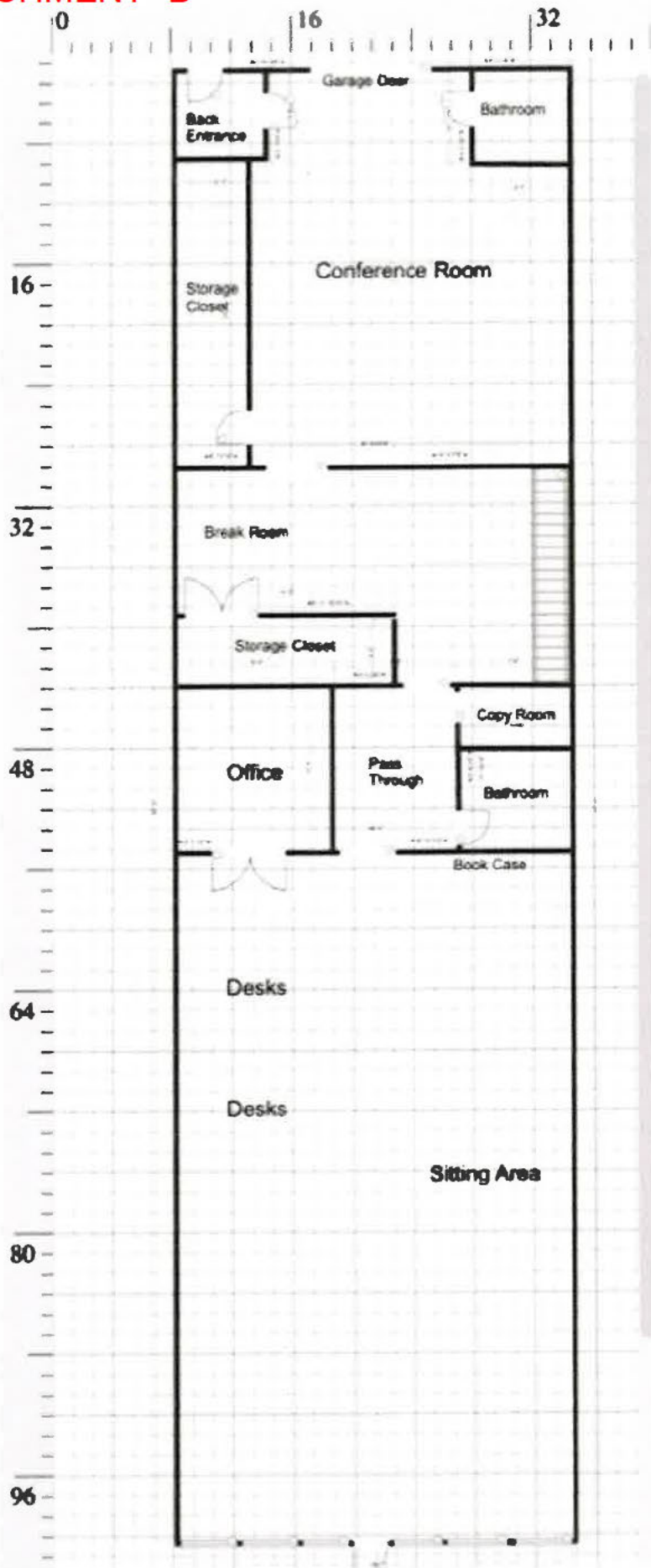
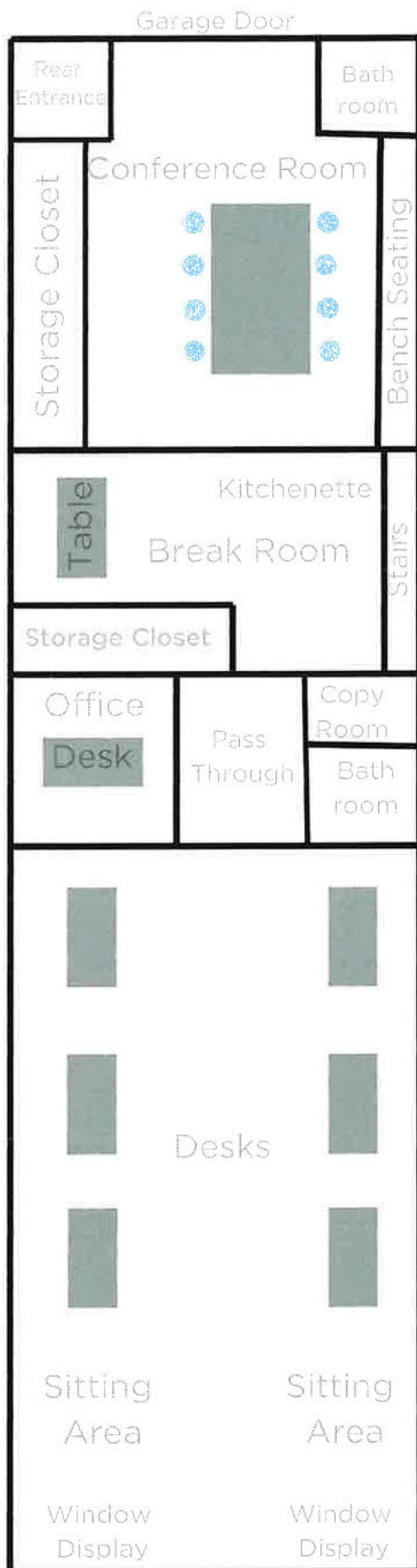
Block 2, Lot 20

Block 4, lot 1, 9, 10

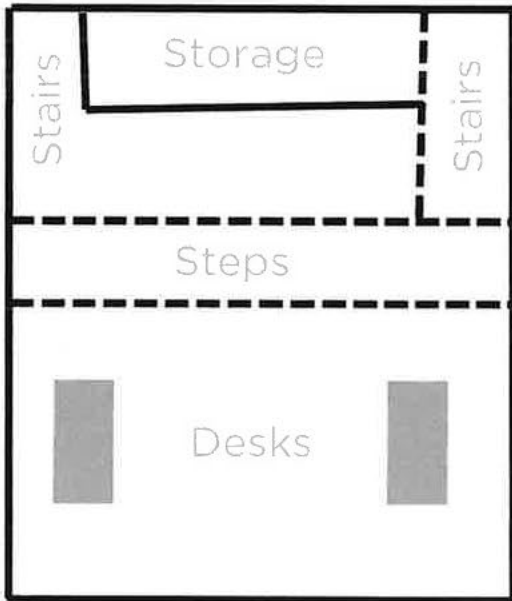
Block 5, Lot 2, 3, 4

Block 7, Lot 4

ATTACHMENT "B"



ATTACHMENT "B"





Angie McFadden [REDACTED]

Fwd: Approval of space use

Angie McFadden [REDACTED]

Thu, Dec 19, 2024 at 4:02 PM

To: Angie McFadden [REDACTED]

From: Lenny Lane <hello@lennylane.com>

Date: Thu, Dec 19, 2024 at 1:13 PM

Subject: Approval of space use

To: [REDACTED]

Lenny Lane is 100% in support of the remax building being used as an event space with a liquor license if that is what they are wanting to do in the building. Angie and Brandi are great business owners and we know they will bring someone great to Main Street.

Jen and Lauren

LENNY LANE

106 E. Main St. Jenks, OK 74037

instagram: @shoplennylane

WWW.LENNYLANE.COM



Angie McFadden [REDACTED]

110 E. Main St. - JZ 24 SUP 123

Greg Helms [REDACTED]

Wed, Dec 18, 2024 at 4:57 PM

To: "angiemcfadden@gmail.com" [REDACTED]

Ms. McFadden,

As we discussed on the telephone, if your Special Use Permit for an Assembly Use at 110 E. Main St. is approved, we will gladly assist you in preparing a *Life Safety Code* and *International Building Code* review for you, identifying any necessary modifications to the building's floor plan that might be required for the new Use.

Greg Helms





Angie McFadden [REDACTED]

Parking Inquiry

Josh McFarland [REDACTED]

Wed, Dec 18, 2024 at 4:33 PM

To: [REDACTED]

Hi Angie,

Good talking with you!

I wish you luck in your new venture. As per our discussion, anyone in the downtown district is free to utilize our parking lot after hours. Thanks for asking!

Best Regards,

Josh McFarland
[REDACTED]



The Wooden Toolbox

The Wooden Toolbox — Letter of Support for ReMax

To Whom It May Concern,

I am writing to confirm that our company fully supports the opening of ReMax, and warmly welcomes the opening of a new small business addition to our Jenks downtown district. We understand how important it is to support the growth of local businesses, and we strongly advocate for our city council members to grant the approval of this business to be able to open as soon as possible.

I want to assure you that we have taken all necessary measures and made arrangements to ensure this business thrives with the support of their neighboring businesses. As a company, we have reviewed the goals and ambitions of this new business and found them complete and ready to open. We believe granting approval to open this business would greatly benefit the city of Jenks as well as the citizens who reside within.

We are grateful for your attention to this matter and request your consideration and support in granting the approval for ReMax to open.

Thank You,

— Justin Wenzel

Owner, The Wooden Toolbox

P): +1 (918) 439-6615

E): thewoodentoolbox@gmail.com



The Wooden Toolbox
Furniture Co

The Wooden Toolbox — Furniture Co.

Letter of Support for ReMax

To Whom It May Concern,

I am writing to confirm that our company fully supports the opening of ReMax, and warmly welcomes the opening of a new small business addition to our Jenks downtown district. We understand how important it is to support the growth of local businesses, and we strongly advocate for our city council members to grant the approval of this business to be able to open as soon as possible.

I want to assure you that we have taken all necessary measures and made arrangements to ensure this business thrives with the support of their neighboring businesses. As a company, we have reviewed the goals and ambitions of this new business and found them complete and ready to open. We believe granting approval to open this business would greatly benefit the city of Jenks as well as the citizens who reside within.

We are grateful for your attention to this matter and request your consideration and support in granting the approval for ReMax to open.

Thank You,

— Bailey Wenzel

Owner, The Wooden Toolbox — Furniture Co

Motley in support of Remax

Motley Market is in full support of having the Remax space also function as an event center. Having an official event space on Main street would add variety, need, and very intentional foot traffic. An event space produces consistent traffic for downtown and provides more walkthrough traffic for all other downtown businesses. This is a win win for all involved and would be an amazing addition to our growing downtown.

To achieve results we've never seen, we must do things we have never done. This idea is progressive and positive and we as a downtown would be lucky to be apart of it.

Tatum Roberts
Motley Market

Carlie Head

Providence Hills Homeowners Association
2029 E 134th St S
Bixby, OK 74008 Jenks, OK
I reside within the city of Jenks
12-14-2024

Jenks City Planning Commission

City of Jenks
211 North Elm Street
Jenks, OK 74037

Dear Members of the Jenks City Planning Commission,

I am writing on behalf of the Providence Hills Homeowners Association to formally express our opposition to the proposed neighborhood development across the street from our community. While we recognize the importance of growth and development within Jenks, we believe that this and subsequent proposals and actions present several significant concerns that need to be addressed before moving forward.

1. Infrastructure and Public Services:

One of the most pressing concerns is the lack of sufficient city infrastructure to support this new development. Both the police and fire departments in Jenks are already understaffed and under-resourced. As current residents, we are concerned that the addition of a new neighborhood will exacerbate these challenges and compromise public safety. Our local emergency services are already stretched thin, and it is unrealistic to expect them to effectively serve the increased demand that this development would create.

2. Overcrowding in Schools:

Another significant concern is the impact this development will have on the already overcrowded local schools. As many of us know, Bixby and Jenks Public School systems are currently facing challenges with capacity. Adding more families to the area would only increase pressure on our education system, further stretching the resources available to our students. This is not a sustainable solution for the future growth of our community, and we urge the city to consider the strain this will place on our schools.

3. Lack of Amenities and Compatibility with Surrounding Neighborhoods:

Additionally, there are concerns regarding the proposed neighborhood's ability to meet the amenity standards that we expect in Jenks. We believe that any new development should complement the established character of our community and maintain a level of quality consistent with surrounding neighborhoods such as lots sizes, livable square footage, and at least two car garages. There are uncertainties regarding whether the

ATTACHMENT "C"

proposed development will include sufficient amenities i.e. a neighborhood clubhouse, pool, splash pad or playground. Those listed amenities are in alignment with Jenks' high standards. The lack of details in this regard has raised concerns among Providence Hills residents about the compatibility of this development with the existing community.

In light of these issues, the Providence Hills Board respectfully requests that the City Planning Commission reevaluate the proposed development and consider these concerns seriously. We believe that thoughtful, sustainable planning should prioritize the well-being of current residents and communities to ensure that our city's services, schools, and infrastructure are equipped to handle future growth.

Providence Hills community looks forward to working together to find a reasonable solution that balances growth in Jenks and something that also aligns with the existing communities.

Thank you for your time and attention to this important matter.

Sincerely,

Carlie Head
President, Providence Hills Homeowners Association

ATTACHMENT "C"

Good evening,

Thank you for allowing me to speak on behalf of the Providence Hills community regarding the proposed development Kimberly Estates. My name is Carlie Head and I am here to share our community's concerns regarding the proposed neighborhood development across the street from us. We want to start by expressing our appreciation for the effort put into this plan and the inclusion of much-needed amenities such as a multi use courts and a splash pad. These are valuable additions that we are excited to see benefit future residents.

To begin, let me emphasize that we understand and appreciate the importance of growth and development in our city. Jenks is a wonderful place to live, and it's no surprise that more families want to call it home. We are particularly glad to hear that this new development plans to include amenities that are much needed things to build a sense of community.

However, while we appreciate these amenities, we have a significant concern about their proposed location. As outlined in the current plan, all amenities are to be situated in the northeast corner of the property. While this may seem convenient from a design perspective, it raises several safety concerns for the potential residents that may try to access Providence Hills and their amenities because of proximal distance to Providence Hills pool and playground.

Safety should be a top priority in any community design. Concentrating all amenities in a single corner of the property creates unnecessary risks and undermines the accessibility these amenities are meant to provide. Instead, we urge a reconsideration of the layout to ensure that amenities are more evenly distributed throughout the property or positioned in a way that minimizes the need for unsafe crossings.

We understand that developing a balanced and functional plan is a complex task, but we believe there are viable alternatives that can address this issue while still maintaining the integrity of the project. Ideally, it would be, relocating some amenities to other areas of the property would provide a more equitable and safer design for all residents.

Harvard is a busy street, and concentrating all the amenities in one area not only creates a logistical imbalance for street congestion in Kimberly Estates but it also poses a safety risk, particularly for residents that will try to access . We foresee potential dangers for pedestrians trying to navigate this crossing, and we strongly believe that safety must be a top priority in this development.

To address this concern, we urge the consideration of alternative solutions. Ideally, amenities could be more evenly distributed across the property, reducing the need for residents to cross Harvard to get to amenities closer to them.

ATTACHMENT "C"

In addition to these safety concerns, I'd like to highlight several broader issues with the proposal:

Infrastructure and Public Services:

The city's police and fire departments are already understaffed and under-resourced, struggling to meet the current demands of our growing community. Adding a new neighborhood without first addressing these capacity challenges will only exacerbate the strain on emergency services, potentially compromising public safety for both current and future residents. It is crucial that public services are adequately expanded and resourced before this development moves forward.

Overcrowding in Schools:

Local school systems in Jenks and Bixby are already facing significant challenges with overcrowding. The introduction of another development will place additional pressure on these schools, further stretching resources and negatively affecting the quality of education for all students. It is essential to address school capacity proactively to ensure the sustainability of the educational system before approving further developments.

Compatibility with Surrounding Neighborhoods:

Providence Hills and similar neighborhoods in Jenks have set a high standard for quality and amenities. It is unclear whether the proposed development will align with these expectations, particularly regarding lot sizes, livable square footage, and amenities such as a clubhouse, pool, splash pad, or playgrounds. Any new development should reflect the character and quality of the surrounding communities to ensure consistency and preserve property values.

Livable Square Footage:

A critical aspect of compatibility is the livable square footage of the proposed homes. In neighborhoods like Providence Hills, homes are designed with ample space to accommodate families comfortably while maintaining property values. Smaller homes that do not meet these standards may feel out of place and could negatively affect the overall appeal and harmony of the area. We strongly urge that the new development include homes with sufficient livable square footage that meets or exceeds the expectations of the surrounding neighborhoods. Adequate space is not only vital for families but also for fostering a cohesive and compatible community.

In light of these concerns, we respectfully urge the City Planning Commission to reevaluate the current proposal. Specifically, we ask for a reconsideration of the amenity placement to avoid the safety risks posed by Harvard Avenue and for assurances that our city's infrastructure, public services, and schools can adequately support the proposed growth.

Thank you for your time and attention to this matter.

To	Chair, Dr. Scott West & Planning Commission
Hearing Date	January 9, 2025
Case Number	JL 25 – 404
Request	Lot Split
Location	9810 E 42 ND ST STE 100
Applicant	TEP, Gleen Murray

Staff Report

Preparer | Marcaé Hilton

Attachments

☐ Site Plan

Preparer

Tulsa Engineering

Background Information

STAFF COMMENTARY | This application for a lot split is on behalf of the purchaser, the owner “Simon Properties” is aware of the request. Staff will not process any deeds without the owner’s authorization.

PLANNING & ASSESSOR DATA

REQUEST	Lot Split
ACCOUNT #	R60973833054000
OWNER	TULSA PREMIUM OUTLETS LLC
PROPERTY ADDRESS	801 E OUTLET DR
ZONING	RTC, RIVERFRONT TOURIST COMMERCIAL (ORDINANCE 1389)
DEVELOPMENT PLAN	SP (98); SP (105); PUD-100
SUBDIVISION	TULSA PREMIUM OUTLETS (COMMERCIAL SUBDIVISION)
COUNCIL DISTRICT	5 Donna Ogez
PUBLIC COMMENT	None at the time of this report

Sec. 16-8-4. Subdivision Procedures.

(C) Lot Splits. Subdivisions containing three or fewer lots defined as "lot splits" in these regulations, may be excepted by City Council from all or part of the procedural provisions applicable for Major or Minor Subdivisions. The number of lots for purposes of determination of status as a lot split shall be counted cumulatively from the date of adoption of these regulations with respect to each parcel, provided that for the preservation of the spirit of these regulations, any and all parcels that have been similarly divided upon review of the Planning Commission under the provisions of previous subdivision regulations shall be counted into the cumulative total for the determination of eligibility for consideration of a request for treatment as a lot split.

(1) Lot Split Review Requirements.

☐ [Lot split application is complete.](#)

- Lot split fees paid.
- Scaled drawing of lot split(s) provided.
- Drawing shows all existing and proposed lot lines.
- Drawing shows adjacent streets and street widths.
- Drawing shows existing access limitations.
- Drawing shows a north arrow and map scale.
- Lot dimensions and area conform with UDO requirements of Variance of zoning code requirements have been obtained by Jenks Board of Adjustment.
- If public water and/or sanitary sewer is not available (appropriate tests shall be conducted by health department of its assigns to determine the proposed lots' suitability for a private sewer disposal device).
- If the lot split results in inadequate access to utility easements, dedication of easement has been provided.
- If the lot split results in inadequate access to public street, dedication of right-of-way has been provided.

(2) Procedure.

(a) Application for Lots Splits. Applications for lots splits shall include a scaled drawing showing:

- All existing and proposed lot lines,
- All existing buildings, and
- All improvements and their distances from lot lines, adjacent streets and street widths, existing access limitations,
- A north arrow, and map scale.

(b) City Action on Lot Splits. The City Planner, upon receiving a lot split application shall visually inspect the tract being split, notify the Planning Commission of the proposed lot split, review the proposed lot split in regard to the requirements of this UDO, prepare a recommendation concerning the proposed lot split and submit the matter for Planning Commission review and approval. If the lot split is approved by the Planning Commission and if a conveyance of interest of the created parcels is presented, the "Lot Split Approval Stamp" shall be affixed to the instrument of the transfer of interest and signed by the City Planner. Should the Planning Commission recommend that a lot split proposal be denied, the applicant may appeal to the Board of Adjustment for relief. Such appeal shall be by written petition and shall be accompanied by a fee as prescribed by ordinance.

(3) Approval Guidelines. Approval or denial of lot splits shall be based on the following conditions:

(a) Lot Characteristics.

- Lot dimensions and area shall either conform with UDO requirements or a Variance must be obtained from the Board of Adjustment. *The Lot dimensions do conform.*
- Where public water and/or public sanitary sewer is not available, appropriate tests shall be conducted by the health department or its assigns to determine the proposed lots suitability for a private sewage disposal device. Each proposed lot shall meet the minimum standards of the health department. *Confirmed on the site plan where the new lot is located, which side are the utilities located and are they adequate and substantially meet the requirements.*

(b) Easements. Where a lot split will result in a lot having inadequate access to utility easements, dedication of easements will be required in accordance with the requirements of the Planning Commission.

(c) Access and Streets.

- Where a tract to be split is controlled by non-access provisions, no lot shall be approved where such provision will preclude access for said lot.
- The splitting of land shall provide each lot with access to a public street or highway, so that the convenience of the lot owner or user is assured. *Each lot has access to a public street.*
- Where land to be split contains, within its boundaries, areas designated for street right-of-way on the Jenks City-County Major Street and Highway Plan, the split shall not be approved where street rights-of-way fail to conform to said plan except, upon a finding that:
 - (i) All utilities are in place and the additional right-of-way is not required for utility placement and,

(ii) The public has, by virtue of statutory easement suitable roadway dedication, right-of-way sufficient to allow the placement of pavement of a width necessary to meet the standards of the street plan for the particular street involved.

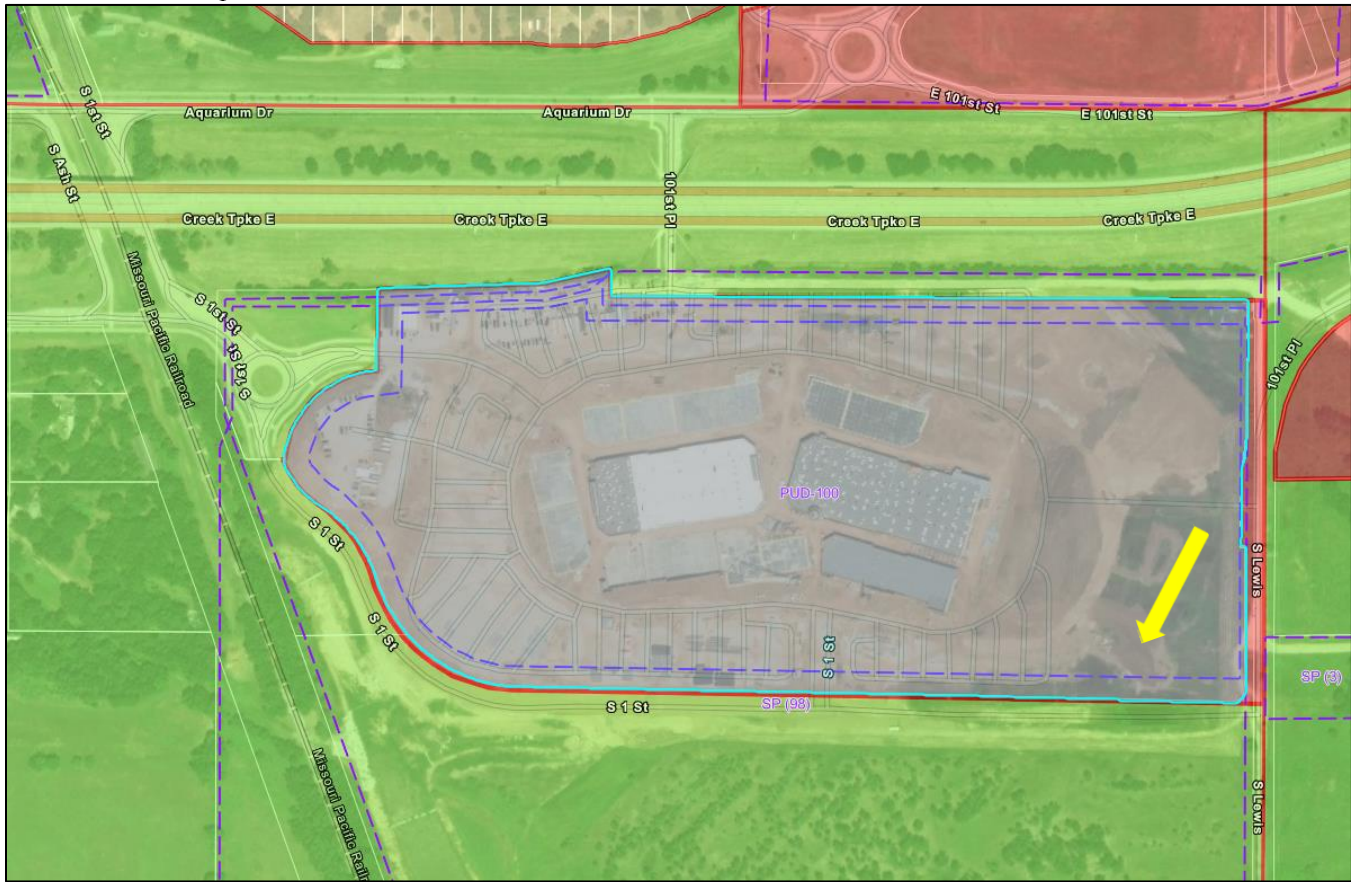


Figure 1: INCOG Zoning Map

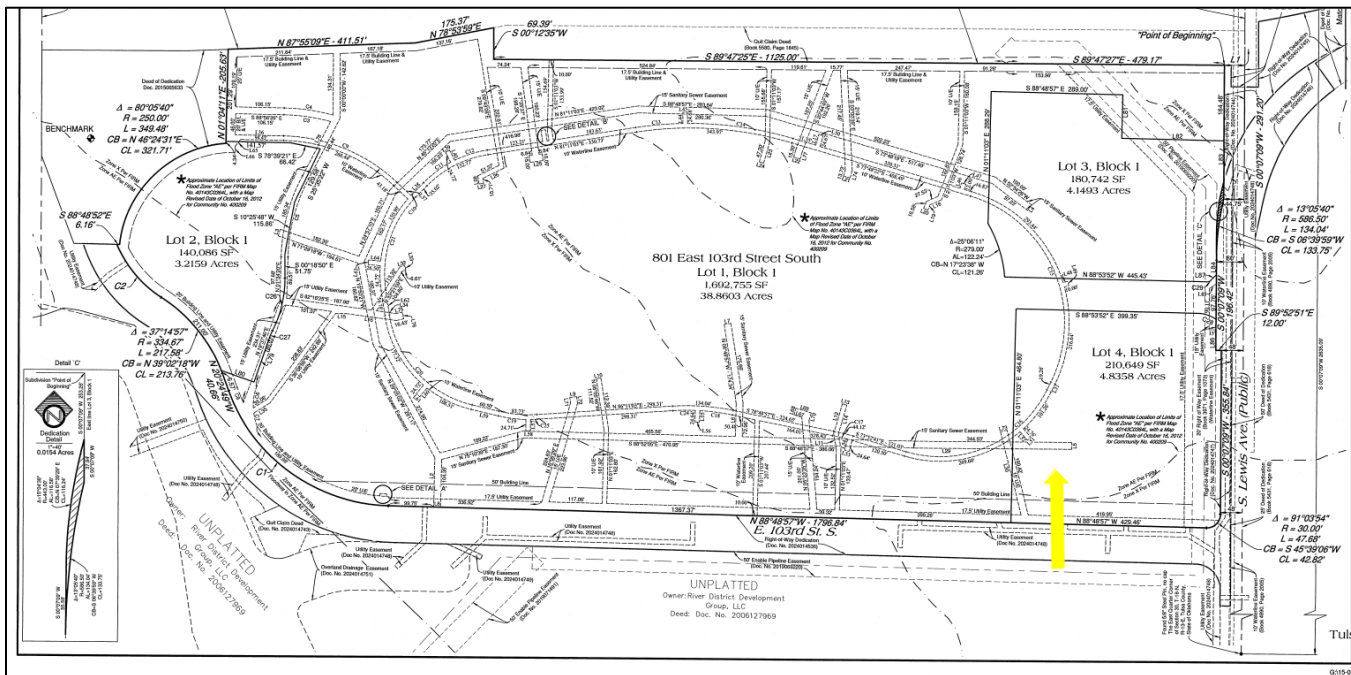


Figure 2: Tulsa Premium Outlets Amended Plat No. 7130

Staff Evaluation & Recommendation

Evaluation | Staff recommends approval of the lot split request. The plan will meet or exceed the Nonresidential District Bulk and Dimensional Standards and other **RTC** requirements. Staff will not process any deeds without the owner's authorization. *The City of Jenks does not enforce private covenants, including but not limited to Deed of Dedication's, HOA regulations, or other.*

Table 16-3-1(B): Nonresidential District Bulk and Dimensional Standards		
Standard	RTC	Project
Lot Standards (Minimum)		
Lot Area (acres)	n/a	136,267 sq ft or 3.1283 Acres Parts of Lot 1 & 4 of Block 1
Lot Width (ft)	n/a	(S)429.46', (W) 384.79', (N)454.46', (E)354.51
Yard Setbacks (Minimum, unless otherwise stated)		
Front (ft)	0	
Front, maximum (ft)	60	
Exterior Side (ft) (3)	0	
Exterior Side, maximum (ft)	60	
Interior Side (ft) (3)	0	
Rear (ft) (3)	0	
Building Standards (Maximum)		
Height (ft)	85	
Impervious Surface Coverage	70%	
Notes		
(1) Add one additional foot of setback for each one foot of building height exceeding 18 feet, if the abutting property is within an RE, RS, or RD District.		
(2) Minimum setback shall be 75 feet if the abutting property is within an AG, R, or O District.		
(3) Transition yards, as specified in section 16-6-3(F), may apply and may result in greater yard setback requirements than specified in this table.		
(4) Minimum setback shall be 75 feet if the abutting property is within an AG, R, or O District.		

Legal Description

A tract of land contained within a part of Lots 1 and 4, Block 1, Tulsa Premium Outlets Amended, an addition to the City of Jenks, Tulsa County, State of Oklahoma, according to recorded Plat No. 7130, as filed in the office of the Tulsa County Clerk, said tract being more particularly described as follows:

Beginning at the SW corner of said Lot 4; Thence N 88°48'57" W, along the south line of said Lot 1, a distance of 7.00 feet; Thence N 01°11'03" E, parallel with the east line of said Lot 1, a distance of 384.79 feet; Thence S 88°53'52" E a distance of 7.00 feet to a point on the east line of said Lot 1, said point also being on the west line of said Lot 4; Thence continuing S 88°53'52" E a distance of 153.62 feet; Thence

S 01°11'03" W a distance of 139.59 feet; Thence S 88°48'57" E a distance of 301.84 feet to a point on the east line of said Lot 4; Thence S 00°07'09" W, along said east line, a distance of 214.92 feet; Thence continuing along said east line, on a tangent curve to the right with a central angle of 91°03'54", a radius of 30.00 feet, an arc length of 47.68 feet, a chord bearing of S 45°39'06" W and a chord length of 42.82 feet to a point on the south line of said Lot 4; Thence along said south line, N 88°48'57" W a distance of 429.46 feet to the "Point of Beginning".

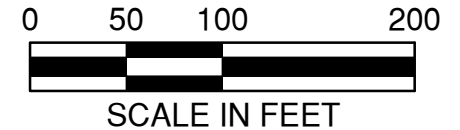
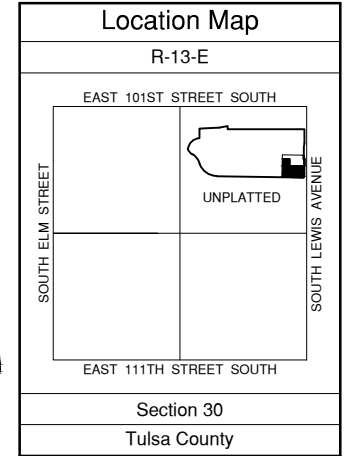
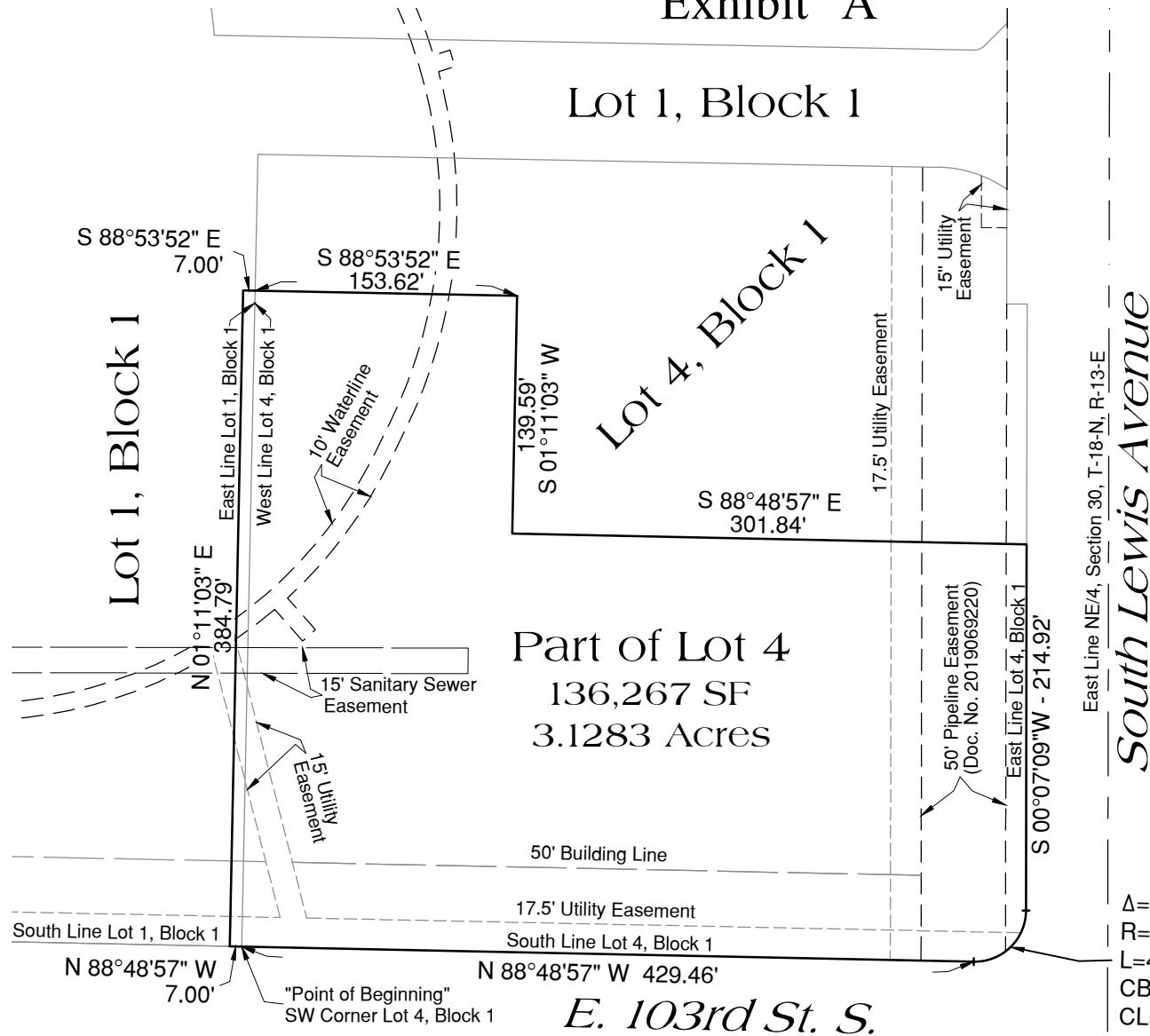
Said tract contains 136,267 square feet or 3.1283 acres.

The basis of bearings contained herein is the recorded Plat of Tulsa Premium Outlets Amended, Plat No. 7130, an addition to the City of Jenks, Tulsa County, State of Oklahoma, as filed in the office of the Tulsa County Clerk

Recommendation | *Staff recommend conditional approval of JL 25-404 with the following conditions:*

- 1. Deeds are filed with Tulsa County.*
- 2. Provide City Planner with copy of recorded Deeds.*
- 3. Additional Easements may be required.*
- 4. Work with City Engineering staff for connection to public and/or private utilities.*

Exhibit "A"



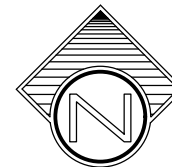
Δ=91°03'54"
R=30.00'
L=47.68'
CB=S 45°39'06"W
CL=42.82'

Part of Lot 1 & Lot 4, Block 1, Tulsa Premium Outlets Amended



Tulsa Engineering & Planning Associates
9810 E. 42nd Street, Suite 100 Tulsa, Oklahoma 74146
Phone: 918-252-9621 Fax: 918-340-5999
Civil Engineering, Land Surveying, Land Planning

Certificate of Authorization No. CA 531 PE/LS Renewal Date June 30, 2025



Job No: 15-030.03
Scale: 1" = 100'
Date: 11/11/2024

Sheet 1 of 2

Exhibit "A"

Legal Description

A tract of land contained within a part of Lots 1 and 4 , Block 1, Tulsa Premium Outlets Amended, an addition to the City of Jenks, Tulsa County, State of Oklahoma, according to recorded Plat No. 7130, as filed in the office of the Tulsa County Clerk, said tract being more particularly described as follows:

Beginning at the SW corner of said Lot 4; Thence N 88°48'57" W, along the south line of said Lot 1, a distance of 7.00 feet; Thence N 01°11'03" E, parallel with the east line of said Lot 1, a distance of 384.79 feet; Thence S 88°53'52" E a distance of 7.00 feet to a point on the east line of said Lot 1, said point also being on the west line of said Lot 4; Thence continuing S 88°53'52" E a distance of 153.62 feet; Thence S 01°11'03" W a distance of 139.59 feet; Thence S 88°48'57" E a distance of 301.84 feet to a point on the east line of said Lot 4; Thence S 00°07'09" W, along said east line, a distance of 214.92 feet; Thence continuing along said east line, on a tangent curve to the right with a central angle of 91°03'54", a radius of 30.00 feet, an arc length of 47.68 feet, a chord bearing of S 45°39'06" W and a chord length of 42.82 feet to a point on the south line of said Lot 4; Thence along said south line, N 88°48'57" W a distance of 429.46 feet to the "Point of Beginning".

Said tract contains 136,267 square feet or 3.1283 acres.

The basis of bearings contained herein is the recorded Plat of Tulsa Premium Outlets Amended, Plat No. 7130, an addition to the City of Jenks, Tulsa County, State of Oklahoma, as filed in the office of the Tulsa County Clerk

Certificate

I, David W. Murdoch, of Tulsa Engineering & Planning Associates, Inc. and a Professional Land Surveyor registered in the State of Oklahoma, hereby certify that the foregoing legal description closes in accord with existing records and is a true representation of the real property as described and meets or exceeds the "Minimum Standards for Property Descriptions" as adopted by the Oklahoma State Board of Licensure for Professional Engineers and Land Surveyors.

David W. Murdoch, P.L.S. No. 1404

E-mail: d.murdoch@tulsaengineering.com
Telephone: (918) 252-9621



Part of Lot 1 & Lot 4, Block 1, Tulsa Premium Outlets Amended



Tulsa Engineering & Planning Associates
9810 E. 42nd Street, Suite 100 Tulsa, Oklahoma 74146
Phone: 918-252-9621 Fax: 918-340-5999
Civil Engineering, Land Surveying, Land Planning

Certificate of Authorization No. CA 531 PE/LS Renewal Date June 30, 2025

Job No: 15-030.03
Scale: N/A
Date: 11/11/2024

Sheet 2 of 2

To	Chair, Dr. Scott West & Planning Commission
Hearing Date	January 9, 2025
Case Number	JL 25 – 405
Request	Lot Split
Location	123 Aquarium Drive
Applicant	Chris Zemanek

Staff Report

Preparer | Marcaé Hilton

Attachments

☐ Lot Split Exhibits

Preparer

Wallace Engineering

Background Information

STAFF COMMENTARY | This application for a Lot Split is on behalf of the owner. The owner will sell the new lot.

PLANNING & ASSESSOR DATA

ZONING	RTC (RIVERFRONT TOURIST COMMERCIAL) SUP 43 (SPECIFIC USE PERMIT 43)
REQUEST	Lot Split
PARCEL ID	60804-83-19-50345
SITUS ADDRESS	123 S. AQUARIUM DR., JENKS 74037
OWNER NAME	REVITALIZE ACRES LLC
LAND AREA	2.41 ACRES / 105,045 SQ FT
SCHOOL DISTRICT	JK-5A
LEGAL DESCRIPTION	SUBDIVISION: OKLAHOMA AQUARIUM CAMPUS (60804) PLAT NO. 6114 FILED 04/03/2007
LEGAL	PRT LT 6 BEG 313.36NW SWC LT 6 TH N265.33 NE143.80 NE303.83 CRV RT 54.09 SW126.62 CRV LF 135.06 W339.43 POB BLK 1
STR	SECTION: 19 TOWNSHIP: 18 RANGE: 13
COUNCIL DISTRICT	1 John Brown
PUBLIC COMMENT	None at the time of this report

Table 16-3-1(B): Nonresidential District Bulk and Dimensional Standards	
Standard	RTC
Lot Standards (Minimum)	
Lot Area (acres)	n/a
Lot Width (ft)	n/a
Yard Setbacks (Minimum, unless otherwise stated)	
Front (ft)	0
Front, maximum (ft)	60
Exterior Side (ft) (3)	0
Exterior Side, maximum (ft)	60
Interior Side (ft) (3)	0
Rear (ft) (3)	0
Building Standards (Maximum)	
Height (ft)	85
Impervious Surface Coverage	70%
Notes	
(1) Add one additional foot of setback for each one foot of building height exceeding 18 feet, if the abutting property is within an RE, RS, or RD District.	
(2) Minimum setback shall be 75 feet if the abutting property is within an AG, R, or O District.	
(3) Transition yards, as specified in section 16-6-3(F), may apply and may result in greater yard setback requirements than specified in this table.	
(4) Minimum setback shall be 75 feet if the abutting property is within an AG, R, or O District.	

Sec. 16-8-4. Subdivision Procedures.

(C) Lot Splits. Subdivisions containing three or fewer lots defined as "lot splits" in these regulations, may be excepted by City Council from all or part of the procedural provisions applicable for Major or Minor Subdivisions. The number of lots for purposes of determination of status as a lot split shall be counted cumulatively from the date of adoption of these regulations with respect to each parcel, provided that for the preservation of the spirit of these regulations, any and all parcels that have been similarly divided upon review of the Planning Commission under the provisions of previous subdivision regulations shall be counted into the cumulative total for the determination of eligibility for consideration of a request for treatment as a lot split.

(1) Lot Split Review Requirements.

- ☐ Lot split application is complete.
- ☐ Lot split fees paid.
- ☐ Scaled drawing of lot split(s) provided.
- ☐ Drawing shows all existing and proposed lot lines.
- ☐ Drawing shows adjacent streets and street widths.
- ☐ Drawing shows existing access limitations.
- ☐ Drawing shows a north arrow and map scale.
- ☐ Lot dimensions and area conform with UDO requirements of Variance of zoning code requirements have been obtained by Jenks Board of Adjustment.
- ☐ If public water and/or sanitary sewer is not available (appropriate tests shall be conducted by health department of its assigns to determine the proposed lots' suitability for a private sewer disposal device).
- ☐ If the lot split results in inadequate access to utility easements, dedication of easement has been provided.
- ☐ If the lot split results in inadequate access to public street, dedication of right-of-way has been provided.

(2) Procedure.

(a) Application for Lots Splits. Applications for lots splits shall include a scaled drawing showing:

- ☐ All existing and proposed lot lines,

- All existing buildings, and
- All improvements and their distances from lot lines, adjacent streets and street widths, existing access limitations,
- A north arrow, and map scale.

(b) City Action on Lot Splits. The City Planner, upon receiving a lot split application shall visually inspect the tract being split, notify the Planning Commission of the proposed lot split, review the proposed lot split in regard to the requirements of this UDO, prepare a recommendation concerning the proposed lot split and submit the matter for Planning Commission review and approval. If the lot split is approved by the Planning Commission and if a conveyance of interest of the created parcels is presented, the "Lot Split Approval Stamp" shall be affixed to the instrument of the transfer of interest and signed by the City Planner. Should the Planning Commission recommend that a lot split proposal be denied, the applicant may appeal to the Board of Adjustment for relief. Such appeal shall be by written petition and shall be accompanied by a fee as prescribed by ordinance.

(3) Approval Guidelines. Approval or denial of lot splits shall be based on the following conditions:

(a) Lot Characteristics.

- Lot dimensions and area shall either conform with UDO requirements or a Variance must be obtained from the Board of Adjustment. *The Lot dimensions do conform.*
- Where public water and/or public sanitary sewer is not available, appropriate tests shall be conducted by the health department or its assigns to determine the proposed lots suitability for a private sewage disposal device. Each proposed lot shall meet the minimum standards of the health department. *Confirmed on the site plan where the new lot is located, which side are the utilities located and are they adequate and substantially meet the requirements.*

(b) Easements. Where a lot split will result in a lot having inadequate access to utility easements, dedication of easements will be required in accordance with the requirements of the Planning Commission.

(c) Access and Streets.

- Where a tract to be split is controlled by non-access provisions, no lot shall be approved where such provision will preclude access for said lot.
- The splitting of land shall provide each lot with access to a public street or highway, so that the convenience of the lot owner or user is assured. *Each lot has access to a public street.*
- Where land to be split contains, within its boundaries, areas designated for street right-of-way on the Jenks City-County Major Street and Highway Plan, the split shall not be approved where street rights-of-way fail to conform to said plan except, upon a finding that:
 - (i) All utilities are in place and the additional right-of-way is not required for utility placement and,
 - (ii) The public has, by virtue of statutory easement suitable roadway dedication, right-of-way sufficient to allow the placement of pavement of a width necessary to meet the standards of the street plan for the particular street involved.

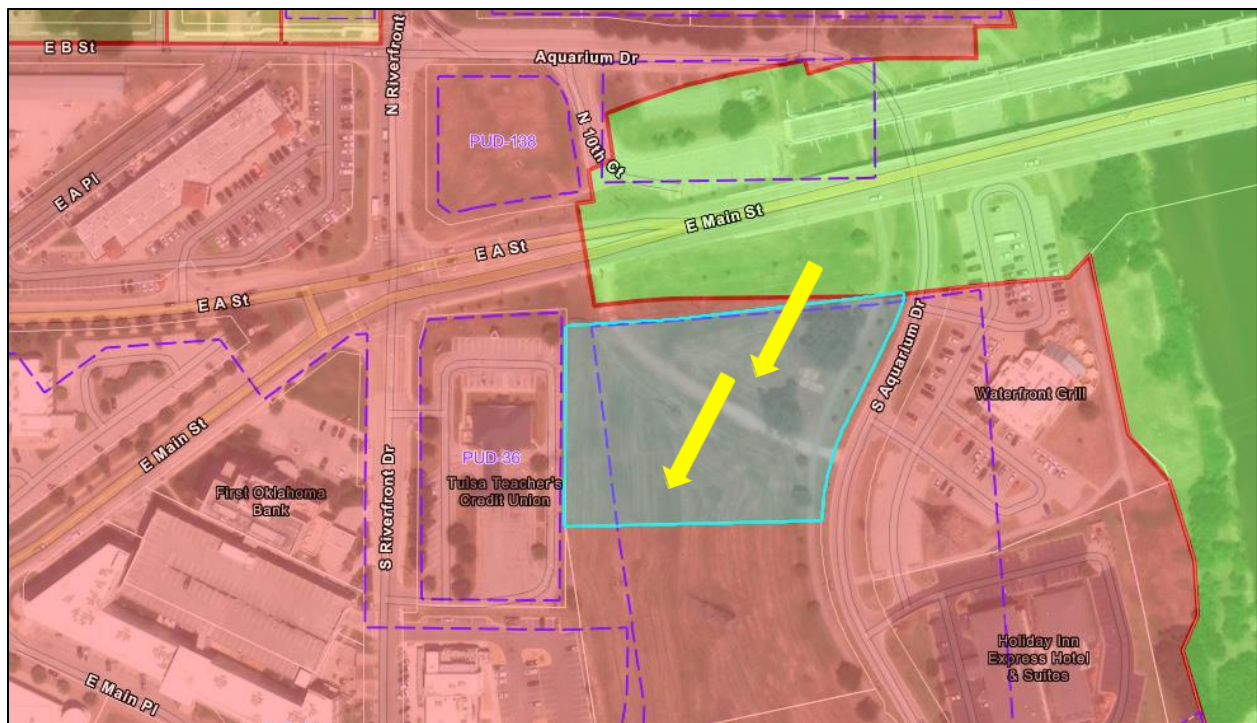


Figure 1: INCOG Zoning Map

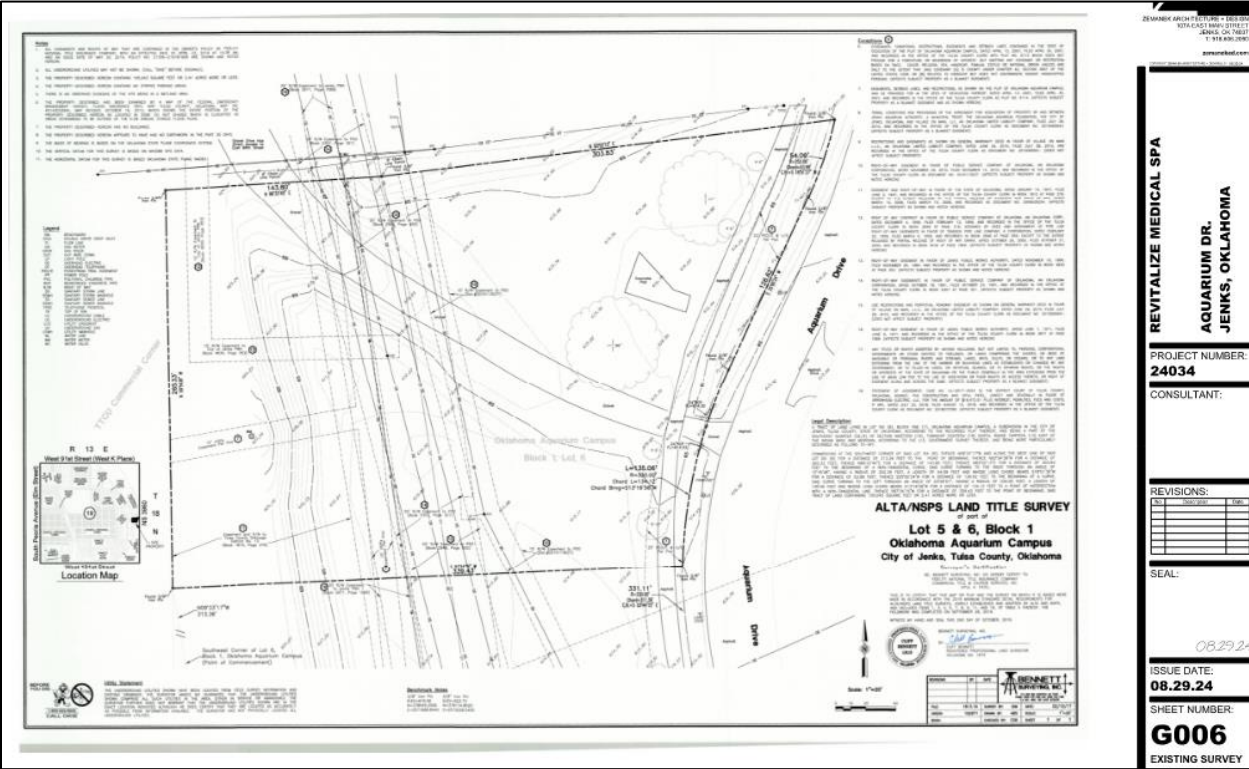


Figure 2: Existing survey, 2024.

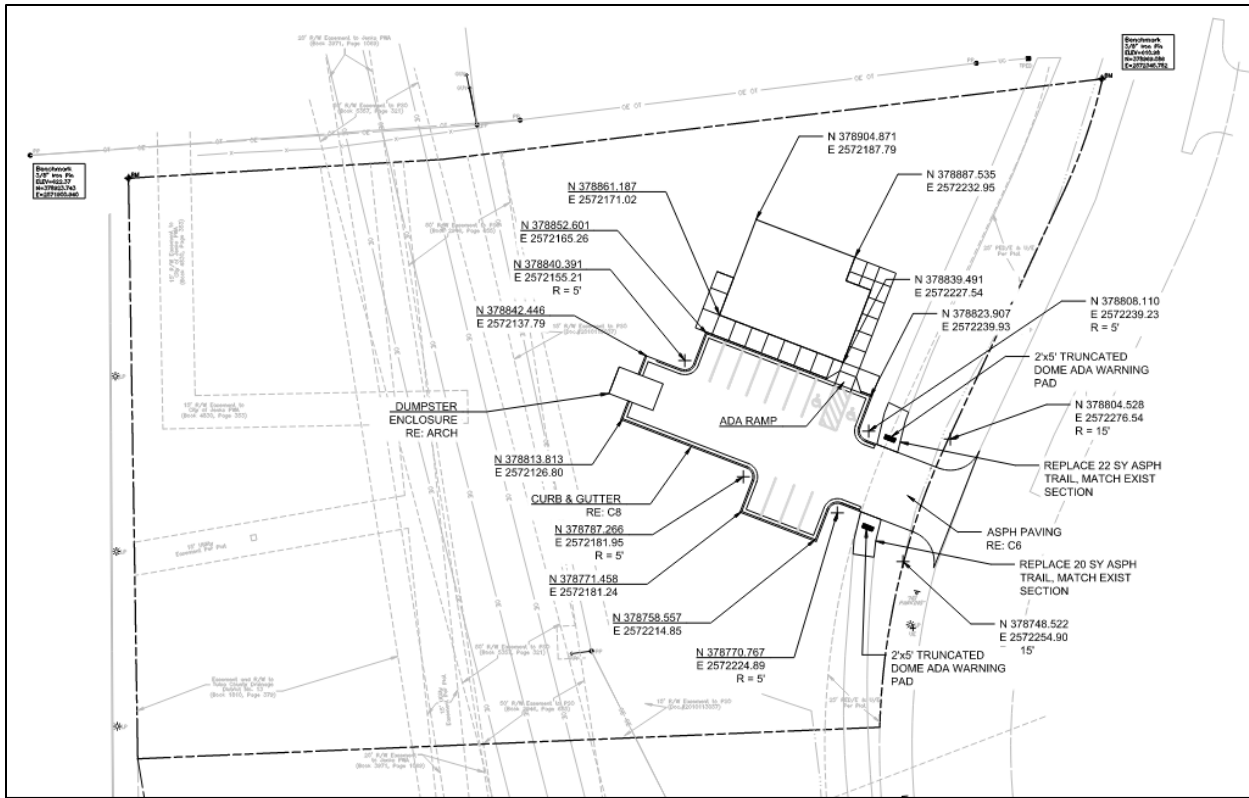


Figure 3: Site Plan for Med Spa. (Under Construction)

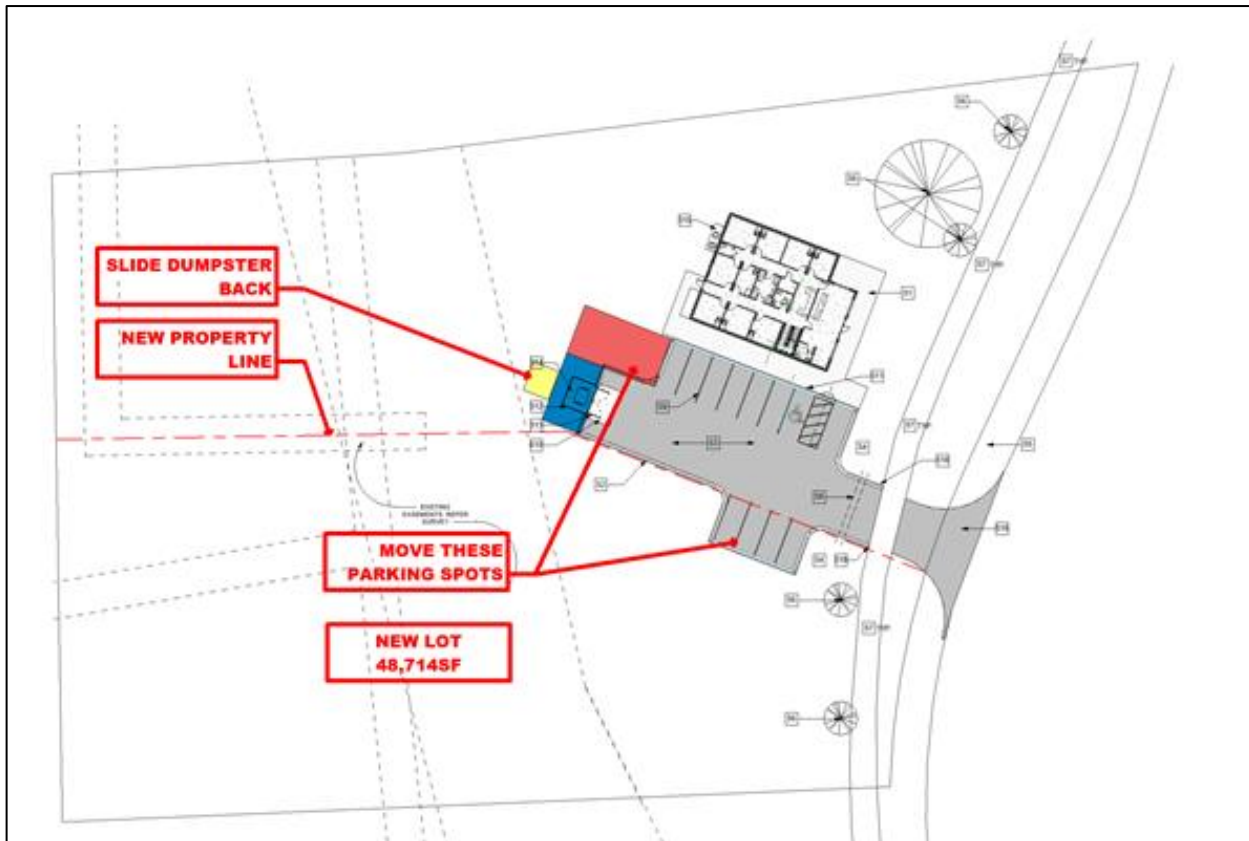


Figure 4: Changes to current lot and proposed lot lines.

Staff Evaluation & Recommendation

Evaluation | Staff recommends approval of the lot split request.

Recommendation | *Staff recommend conditional approval of JL 25-405 with the following conditions:*

1. *Provide additional information as needed by Staff.*
2. *Correct according to TAC. (No comments at this time.)*
3. *Deeds are filed with Tulsa County.*
4. *Provide City Planner with copy of recorded Deeds.*
5. *Additional Easements may be required.*

LOT SPLIT

Parent Tract

SHEET 1 OF 2

LEGAL DESCRIPTION

A TRACT OF LAND LYING IN LOT SIX (6), BLOCK ONE (1), OKLAHOMA AQUARIUM CAMPUS, A SUBDIVISION IN THE CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF, AND BEING A PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION NINETEEN (19), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS TO-WIT:

COMMENCING (P.O.C.) AT THE SOUTHWEST CORNER OF SAID LOT SIX (6); THENCE N09°33'17"W AND ALONG THE WEST LINE OF SAID LOT SIX (6) FOR A DISTANCE OF 313.36 FEET TO THE POINT OF BEGINNING (P.O.B.); THENCE N00°54'38"W FOR A DISTANCE OF 265.33 FEET; THENCE N86°33'40"E FOR A DISTANCE OF 143.80 FEET; THENCE N83°02'13"E FOR A DISTANCE OF 303.83 FEET TO THE BEGINNING OF A NON-TANGENTIAL CURVE, SAID CURVE TURNING TO THE RIGHT THROUGH AN ANGLE OF 12°16'48", HAVING A RADIUS OF 252.39 FEET, A LENGTH OF 54.09 FEET AND WHOSE LONG CHORD BEARS S18°51'39"W FOR A DISTANCE OF 53.99 FEET. THENCE S25°00'24"W FOR A DISTANCE OF 126.62 FEET TO THE BEGINNING OF A CURVE, SAID CURVE TURNING TO THE LEFT THROUGH AN ANGLE OF 23°26'57", HAVING A RADIUS OF 330.00 FEET, A LENGTH OF 135.06 FEET AND WHOSE LONG CHORD BEARS S13°16'56"W FOR A DISTANCE OF 134.12 FEET TO A POINT OF INTERSECTION WITH A NON-TANGENTIAL LINE. THENCE S87°34'15"W FOR A DISTANCE OF 339.43 FEET TO THE POINT OF BEGINNING (P.O.B.).

AREA CONTAINS 2.41 ACRES, MORE OR LESS.

BASIS OF BEARINGS

BASIS OF BEARINGS FOR THIS EXHIBIT IS THE OKLAHOMA STATE PLANE COORDINATE SYSTEM (NAD83 OKLAHOMA NORTH ZONE 3501). BASED ON THE WEST LINE OF LOT 6, BLOCK 6, OKLAHOMA AQUARIUM CAMPUS, TULSA COUNTY AS N09°33'17"W



wallace
design
collective

wallace design collective, pc
structural • civil • landscape • survey
123 north martin luther king jr. boulevard
tulsa, oklahoma 74103
918.584.5858 • 800.364.5858
wallace.design

LOT SPLIT
Parent Tract
SHEET 2 OF 2

SURVEYOR'S CERTIFICATE

I, CLIFF BENNETT, OF WALLACE DESIGN COLLECTIVE, PC, CERTIFY THAT THE ATTACHED LEGAL DESCRIPTION CLOSES IN ACCORDANCE WITH THE EXISTING REQUIREMENTS AND IS A TRUE REPRESENTATION OF THE LEGAL DESCRIPTION AS DESCRIBED. THIS LEGAL DESCRIPTION MEETS THE MINIMUM STANDARDS FOR LEGAL DESCRIPTIONS AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR THE STATE OF OKLAHOMA.

WITNESS MY HAND AND SEAL THIS 9TH DAY OF DECEMBER 2024.



A handwritten signature in blue ink that reads "Cliff Bennett".

CLIFF BENNETT, P.L.S.
OKLAHOMA NO. 1815
CERT. OF AUTH. NO. 1460
EXP. DATE JUNE 30, 2025

SURVEYOR'S LAST SITE VISIT: DECEMBER 18, 2023



wallace
design
collective

wallace design collective, pc
structural - civil - landscape - survey
123 north martin luther king, jr. boulevard
tulsa, oklahoma 74103
918.584.5858 • 800.364.5858
wallace.design

LOT SPLIT

North Tract

SHEET 1 OF 2

LEGAL DESCRIPTION

A TRACT OF LAND LYING IN LOT SIX (6), BLOCK ONE (1), OKLAHOMA AQUARIUM CAMPUS, A SUBDIVISION IN THE CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF, AND BEING A PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION NINETEEN (19), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS TO-WIT:

COMMENCING (P.O.C.) AT THE SOUTHWEST CORNER OF SAID LOT SIX (6); THENCE N09°33'17"W AND ALONG THE WEST LINE OF SAID LOT SIX (6) FOR A DISTANCE OF 313.36 FEET; THENCE N00°54'38"W FOR A DISTANCE OF 156.64 FEET TO THE POINT OF BEGINNING (P.O.B.); THENCE CONTINUING N00°54'38"W FOR A DISTANCE OF 108.69 FEET; THENCE N86°33'40"E FOR A DISTANCE OF 143.80 FEET; THENCE N83°02'13"E FOR A DISTANCE OF 303.83 FEET; THENCE AROUND A CURVE TO THE RIGHT WITH A RADIUS OF 252.00 FEET, A LENGTH OF 54.09 FEET, A CHORD DISTANCE OF 53.99 FEET WITH A CHORD BEARING S18°51'27"W; THENCE S25°00'24"W FOR A DISTANCE OF 126.62 FEET; THENCE AROUND A CURVE TO THE LEFT WITH A RADIUS OF 330.00 FEET, A LENGTH OF 45.56 FEET, A CHORD DISTANCE OF 45.52 FEET WITH A CHORD BEARING S21°03'07"W; THENCE N68°38'46"W FOR A DISTANCE OF 157.93 FEET; THENCE S89°05'22"W FOR A DISTANCE OF 209.01 FEET TO THE POINT OF BEGINNING (P.O.B.).

AREA CONTAINS 1.29 ACRES, MORE OR LESS.

BASIS OF BEARINGS

BASIS OF BEARINGS FOR THIS EXHIBIT IS THE OKLAHOMA STATE PLANE COORDINATE SYSTEM (NAD83 OKLAHOMA NORTH ZONE 3501). BASED ON THE WEST LINE OF LOT 6, BLOCK 6, OKLAHOMA AQUARIUM CAMPUS, TULSA COUNTY AS N09°33'17"W



wallace
design
collective

wallace design collective, pc
structural · civil · landscape · survey
123 north martin luther king jr. boulevard
tulsa, oklahoma 74103
918.584.5858 · 800.364.5858
wallace@design

LOT SPLIT

North Tract

SHEET 2 OF 2

SURVEYOR'S CERTIFICATE

I, CLIFF BENNETT, OF WALLACE DESIGN COLLECTIVE, PC, CERTIFY THAT THE ATTACHED LEGAL DESCRIPTION CLOSES IN ACCORDANCE WITH THE EXISTING REQUIREMENTS AND IS A TRUE REPRESENTATION OF THE LEGAL DESCRIPTION AS DESCRIBED. THIS LEGAL DESCRIPTION MEETS THE MINIMUM STANDARDS FOR LEGAL DESCRIPTIONS AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR THE STATE OF OKLAHOMA.

WITNESS MY HAND AND SEAL THIS 9TH DAY OF DECEMBER 2024.




CLIFF BENNETT, P.L.S.
OKLAHOMA NO. 1815
CERT. OF AUTH. NO. 1460
EXP. DATE JUNE 30, 2025

SURVEYOR'S LAST SITE VISIT: JUNE 14, 2024



wallace
design
collective

wallace design collective, pc
structural · civil · landscape · survey
123 north martin luther king jr. boulevard
tulsa, oklahoma 74103
918.584.5858 · 800.364.5858
wallace.design

NORTH TRACT CLOSURE REPORT

North: 378815.0130' East: 2571902.6518'

Segment #1 : Line

Course: N00° 54' 38.00"W Length: 108.692'

North: 378923.6912' East: 2571900.9245'

Segment #2 : Line

Course: N86° 33' 40.00"E Length: 143.800'

North: 378932.3169' East: 2572044.4656'

Segment #3 : Line

Course: N83° 02' 13.00"E Length: 303.827'

North: 378969.1497' East: 2572346.0517'

Segment #4 : Curve

Length: 54.091' Radius: 252.000'

Delta: 012.2984 (d) Tangent: 27.150'

Chord: 53.987' Course: S18° 51' 26.85"W

Course In: N77° 17' 30.31"W Course Out: S64° 59' 36.00"E

RP North: 379024.5863' East: 2572100.2250'

End North: 378918.0604' East: 2572328.6023'



wallace
design
collective

wallace design collective, pc
structural · civil · landscape · survey
123 north martin luther king jr. boulevard
tulsa, oklahoma 74103
918.584.5858 · 800.364.5858
wallace.design

NORTH TRACT CLOSURE REPORT

Segment #5 : Line

Course: S25° 00' 24.00"W Length: 126.620'

North: 378803.3099' East: 2572275.0770'

Segment #6 : Curve

Length: 45.556' Radius: 330.000'

Delta: 007.9096 (d) Tangent: 22.814'

Chord: 45.520' Course: S21° 03' 06.64"W

Course In: S64° 59' 36.00"E Course Out: N72° 54' 10.71"W

RP North: 378663.8111' East: 2572574.1424'

End North: 378760.8281' East: 2572258.7257'

Segment #7 : Line

Course: N68° 38' 45.64"W Length: 157.931'

North: 378818.3354' East: 2572111.6369'

Segment #8 : Line

Course: S89° 05' 22.00"W Length: 209.011'

North: 378815.0139' East: 2571902.6523'



wallace
design
collective

wallace design collective, pc
structural - civil - landscape - survey
123 north martin luther king jr. boulevard
tulsa, oklahoma 74103
918.584.5858 • 800.364.5859
wallace.design

NORTH TRACT CLOSURE REPORT

Perimeter: 1149.528' Area: 56328.52 Sq. Ft.

Error Closure: 0.0010 Course: N27° 33' 23.66"E

Error North: 0.00091 East: 0.00047

Precision 1: 1149388.000



wallace
design
collective

wallace design collective, pc
structural - civil - landscape - survey
123 north martin luther king jr. boulevard
tulsa, oklahoma 74103
918.584.5858 • 800.364.5858
wallace.design

LOT SPLIT

South Tract

LEGAL DESCRIPTION

A TRACT OF LAND LYING IN LOT SIX (6), BLOCK ONE (1), OKLAHOMA AQUARIUM CAMPUS, A SUBDIVISION IN THE CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF, AND BEING A PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION NINETEEN (19), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, AND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS TO-WIT:

COMMENCING (P.O.C.) AT THE SOUTHWEST CORNER OF SAID LOT SIX (6); THENCE N09°33'17"W AND ALONG THE WEST LINE OF SAID LOT SIX (6) FOR A DISTANCE OF 313.36 FEET TO THE POINT OF BEGINNING (P.O.B.); THENCE N00°54'38"W FOR A DISTANCE OF 156.64 FEET; THENCE N89°05'22"E FOR A DISTANCE OF 209.01 FEET; THENCE S68°38'46"E FOR A DISTANCE OF 157.93 FEET; THENCE AROUND A CURVE TO THE LEFT WITH A RADIUS OF 330.00 FEET, A LENGTH OF 89.50 FEET, A CHORD DISTANCE OF 89.23 FEET WITH A CHORD BEARING S09°19'38"W; THENCE S87°34'15"W FOR A DISTANCE OF 339.43 FEET TO THE POINT OF BEGINNING (P.O.B.)

AREA CONTAINS 1.12 ACRES, MORE OR LESS.

BASIS OF BEARINGS

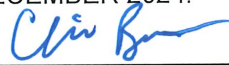
BASIS OF BEARINGS FOR THIS EXHIBIT IS THE OKLAHOMA STATE PLANE COORDINATE SYSTEM (NAD83 OKLAHOMA NORTH ZONE 3501). BASED ON THE WEST LINE OF LOT 6, BLOCK 6, OKLAHOMA AQUARIUM CAMPUS, TULSA COUNTY AS N09°33'17"W

SURVEYOR'S CERTIFICATE

I, CLIFF BENNETT, OF WALLACE DESIGN COLLECTIVE, PC, CERTIFY THAT THE ATTACHED LEGAL DESCRIPTION CLOSES IN ACCORDANCE WITH THE EXISTING REQUIREMENTS AND IS A TRUE REPRESENTATION OF THE LEGAL DESCRIPTION AS DESCRIBED. THIS LEGAL DESCRIPTION MEETS THE MINIMUM STANDARDS FOR LEGAL DESCRIPTIONS AS ADOPTED BY THE OKLAHOMA STATE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR THE STATE OF OKLAHOMA.

WITNESS MY HAND AND SEAL THIS 9TH DAY OF DECEMBER 2024.




CLIFF BENNETT, P.L.S.
OKLAHOMA NO. 1815
CERT. OF AUTH. NO. 1460
EXP. DATE JUNE 30, 2025

SURVEYOR'S LAST SITE VISIT: JUNE 14, 2024



wallace
design
collective

wallace design collective, pc
structural · civil · landscape · survey
123 north martin luther king jr. boulevard
tulsa, oklahoma 74103
918.584.5858 · 800.364.5858
wallace.design

SOUTH TRACT CLOSURE REPORT

North: 378658.3945' East: 2571905.1410'

Segment #1 : Line

Course: N00° 54' 38.00"W Length: 156.638'

North: 378815.0128' East: 2571902.6518'

Segment #2 : Line

Course: N89° 05' 22.00"E Length: 209.011'

North: 378818.3343' East: 2572111.6364'

Segment #3 : Line

Course: S68° 38' 45.64"E Length: 157.931'

North: 378760.8270' East: 2572258.7252'

Segment #4 : Curve

Length: 89.501' Radius: 330.000'

Delta: 015.5395 (d) Tangent: 45.027'

Chord: 89.227' Course: S09° 19' 38.25"W

Course In: S72° 54' 10.71"E Course Out: N88° 26' 32.79"W

RP North: 378663.8101' East: 2572574.1419'

End North: 378672.7797' East: 2572244.2638'



wallace
design
collective

wallace design collective, pc
structural - civil - landscape - survey
123 north martin luther king jr. boulevard
tulsa, oklahoma 74103
918.584.5858 • 800.364.5858
wallace.design

SOUTH TRACT CLOSURE REPORT

Segment #5 : Line

Course: S87° 34' 15.47"W Length: 339.428'

North: 378658.3941' East: 2571905.1408'

Perimeter: 952.509' Area: 48714.70 Sq. Ft.

Error Closure: 0.0005 Course: S22° 17' 24.68"W

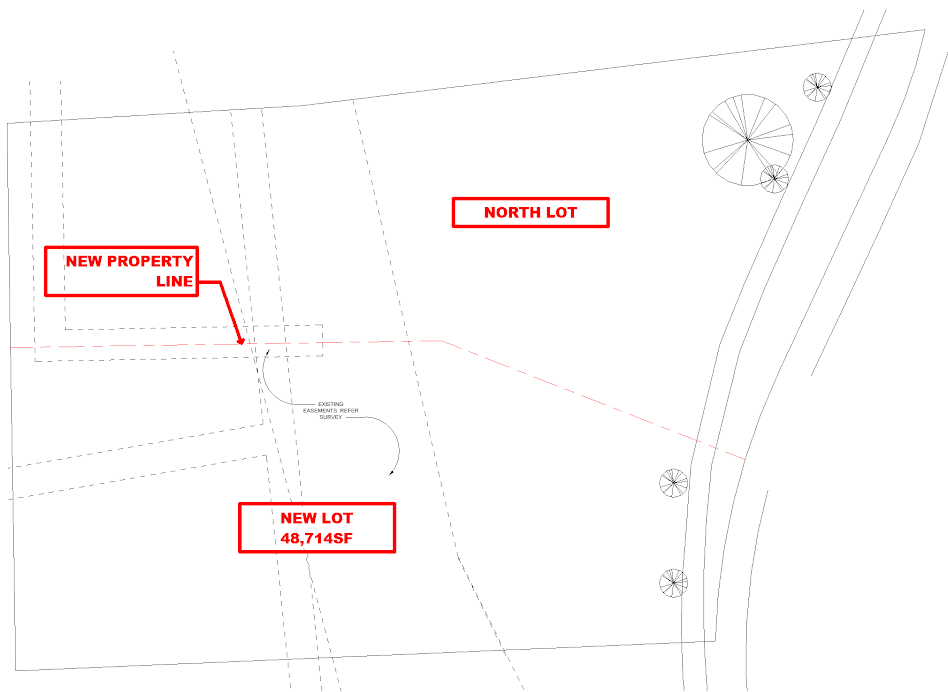
Error North: -0.00046 East: -0.00019

Precision 1: 1904470.000



wallace
design
collective

wallace design collective, pc
structural · civil · landscape · survey
123 north martin luther king jr. boulevard
tulsa, oklahoma 74103
918.584.5858 · 800.364.5858
wallace.design



Chris Zemanek, AIA, NCARB

Zemanek A+D, PLLC

107A E. Main St.

Jenks, OK 74037

[p] 918.606.2090

zemanekad.com

To	Planning Commission
Hearing Date	January 09, 2025
Case Number	JZ 25 PUD 112 Minor Amendment No. 04 South County Crossing
Request(s)	<i>Approve an Amendment to Development Area "A" of PUD 112 by allowing for an increase in eave height and to allow for an exception to the required exterior masonry building materials by allowing architectural metal and stucco as exterior materials in addition to Masonry"</i>
Location	North of 121 st between Elwood and Elm

Staff Report

Preparer | Marcaé Hilton

Attachments
Proposed Site Plan

Preparer
Ryan McCarty

Background Information

ZONING REQUEST: Minor Amendment No. 4 | This request is similar to requests previously approved by Planning Commission and City Council for South County Crossing.

1. Request two-foot increase in eave height "22' eave height" for TENANT 'A' & TENANT 'C' buildings.
2. Request to allow for an exception to the required exterior masonry building materials by allowing architectural metal and stucco as exterior materials in addition to Masonry.

PUD 112| STAFF COMMENTARY

Lots 1 and 2, Block One of South County Crossing is abutted on the north by undeveloped land zoned AG and Commercial General with PUD 132 overlay. PUD 132 allows for additional warehousing and storage. Lot 3 of Block One is immediately to the east hosting a large industrial warehouse for Flint Co. construction. A new therapy clinic owned by the applicant and Fire Station Number 2 is located to the west. Since this project was originally approved in 2018 the land to the south across 121st Street, and a large parcel originally zoned (IM) Industrial Moderate has been rezoned for multiple styles of single family residential. West of the Fire Station is an area that was approved for mini storage in April 2017. The proposed development was and is "consistent" with the Comprehensive Plan, but to be compatible with immediate surrounding properties, separation buffers were added. The residential properties to the north are separated by the large reserve and drainage channel in the residential subdivision. In

addition, the proposed detention pond on this site separates the eastern two buildings from the property to the north. All the buildings on Lots 1 and 6 are limited to 20 feet high at the eave. There is an 8-feet high privacy fence and heavy tree planting requirement along the eastern property line to protect the single-family dwellings.

Public Comment	None Minor Amendments are not advertised
General Location	North of 121 st and West of Elm
Zoning	PUD 112 & IM (Industrial Medium) Ordinance No. 1461
Address	E 121 ST S Jenks 74037
Owner Name	Black Gold at 121ST LLC
Parcel ID	60903-82-36-46900
Land Area	2.43 acres / 105,907 sq ft
School District	Jenks JK-5A
Subdivision	SOUTH COUNTY CROSSING (60903)
Legal	Lot 1 Block 1
STR	Section: 36 Township: 18 Range: 12

SITE SUMMARY:

MINOR AMENDMENTS

1. **APPROVED: JZ 21 PUD 112 MI1** (Minor Amendment No. 01) | South County Crossing | City Council February 16, 2021

“Approval of exception to required exterior materials”

Minor Amendment No. 1 | Approve metal on Lot (3) Three, Block (1) One

- Lot 3, Block One | 40,000 square foot warehouse
- Warehouse building is setback more than 100 yards
- Per the engineering site plan calculations, it meets the 300-foot setback condition allowing for the 4 ft. high masonry wainscot requirement to be waived.
- Approved architectural metals to create a sustainable modern look

2. **APPROVED: JZ 21 PUD 112 MI2** (Minor Amendment No. 02) | South County Crossing | March 03, 2021 PC. *Duplicate Application*

3. **APPROVED: JZ 22 PUD 112 MI2** (Minor Amendment No. 02) | South County Crossing | City Council March 22, 2022

“To allow for an exception to the required exterior masonry building materials for Lots 3, 4, 5, & 6 by allowing architectural metal and stucco as exterior materials in addition to Masonry”

Minor Amendment No. 2 | “To allow for an exception to the required exterior masonry building materials by allowing architectural metal and stucco as exterior materials in addition to Masonry”

- Masonry, Stucco and/or Architectural Metal Covering 100% up to 20 feet on all south facing walls
- Masonry, Stucco, and/or Architectural Metal Covering 100% up to 20 feet on west face of westmost buildings

- 4 feet high masonry, Stucco, and/or Architectural Metal wainscoting on remaining walls within 300 feet of the centerline of 121st Street

4. **APPROVED: JZ 22 PUD 112 MI3** (Minor Amendment No. 03) | South County Crossing | Planning Commission | December 08, 2002 | “Approval of a Drug Store Use for Lot 6”

Approval of a request to allow for the sale of sundries within a prescription pharmacy. In the approved PUD 112, Use Unit 11 - Prescription pharmacy was allowed by right, in the old zoning code it was basically considered a compounding pharmacy.

Minor Amendment No. 3 | Approve a Drug Store and allow for the sale of sundries on Lot 6

Use

Industrial Development | No Change | Office & Warehousing

Use Units | 1, 4, 10, 11, 15, 17, 21, 22, 24

Approved Language: “Use Unit 11 - Prescription pharmacy and providing that sundries or other merchandise may be sold or offered for sale.”

Excluded Uses:

- UU4 | pressure station, shelter water storage facility, temporary open aired facilities
- UU16 | gasoline stations
- UU21 | billboards

Building Materials: *(Approved to be amended to add Stucco and Metal for lots 3-6)*

- *Masonry Covering 100% up to 20 feet on all south facing walls*
- *Masonry Covering 100% up to 20 feet on west face of westmost buildings*
- *4 feet high masonry wainscoting on remaining walls within 300 feet of the centerline of 121st Street*
- Awnings, canopies, overhangs office area only encouraged

Screening:

- HVAC out of view
- Materials solid waste collection and loading areas wooden fence with doors
- Perimeter Fence | Wooden 6 feet tall

Lighting:

- Oriented to minimize light leaving development
- Control light pattern leaving site at boundary of development
- Photometric study required | 0.00 foot candles at property line
- All lights face down and away

Parking:

- Area B-Lots 3 and 4 | shared parking

- Owner to submit parking info with each building permit and maintain ongoing count of spaces vs. uses
- Uses may share parking via shared parking analysis
- Off street parking and loading are specified in PUD document

See PUD 112 for additional details

Plat South County Crossing | Plat No. 6849 | 04.23.19
 STR Section: 36, Township: 18N, Range: 12E
 LOT SPLIT LS 22-371 | Lot 6, Block 1 | Approved July 07, 2022
 Comprehensive Plan Local Commercial



Figure 1: Comprehensive Plan

Zoning North | Industrial PUD 112
 East | PUD 112, (RS-2) Single-family Residential | South Creek
 South | PUD 135 | Mix of Residential Uses
 West | AG | City of Jenks Fire Station | "Ewing Perryman" & PUD 132 (OM, CG, AG) & PUD 12 (RS-2) Single-family Residential | South Creek

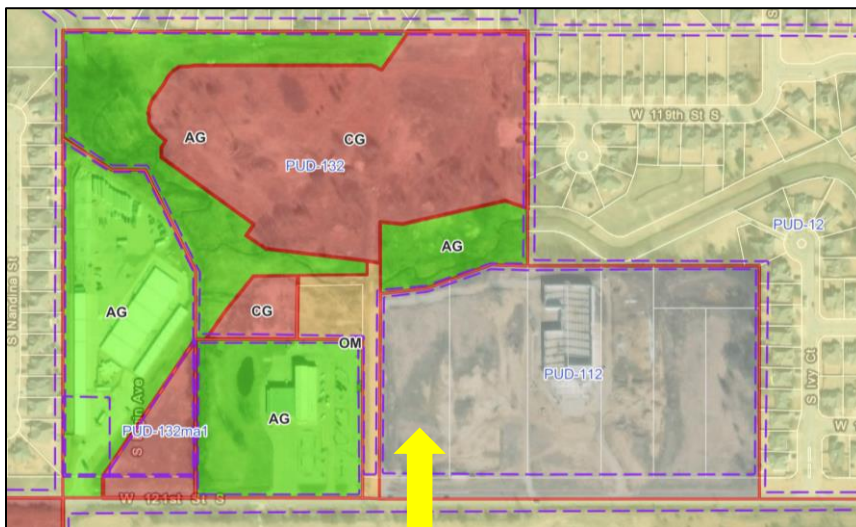


Figure 2: Zoning Map | INCOG

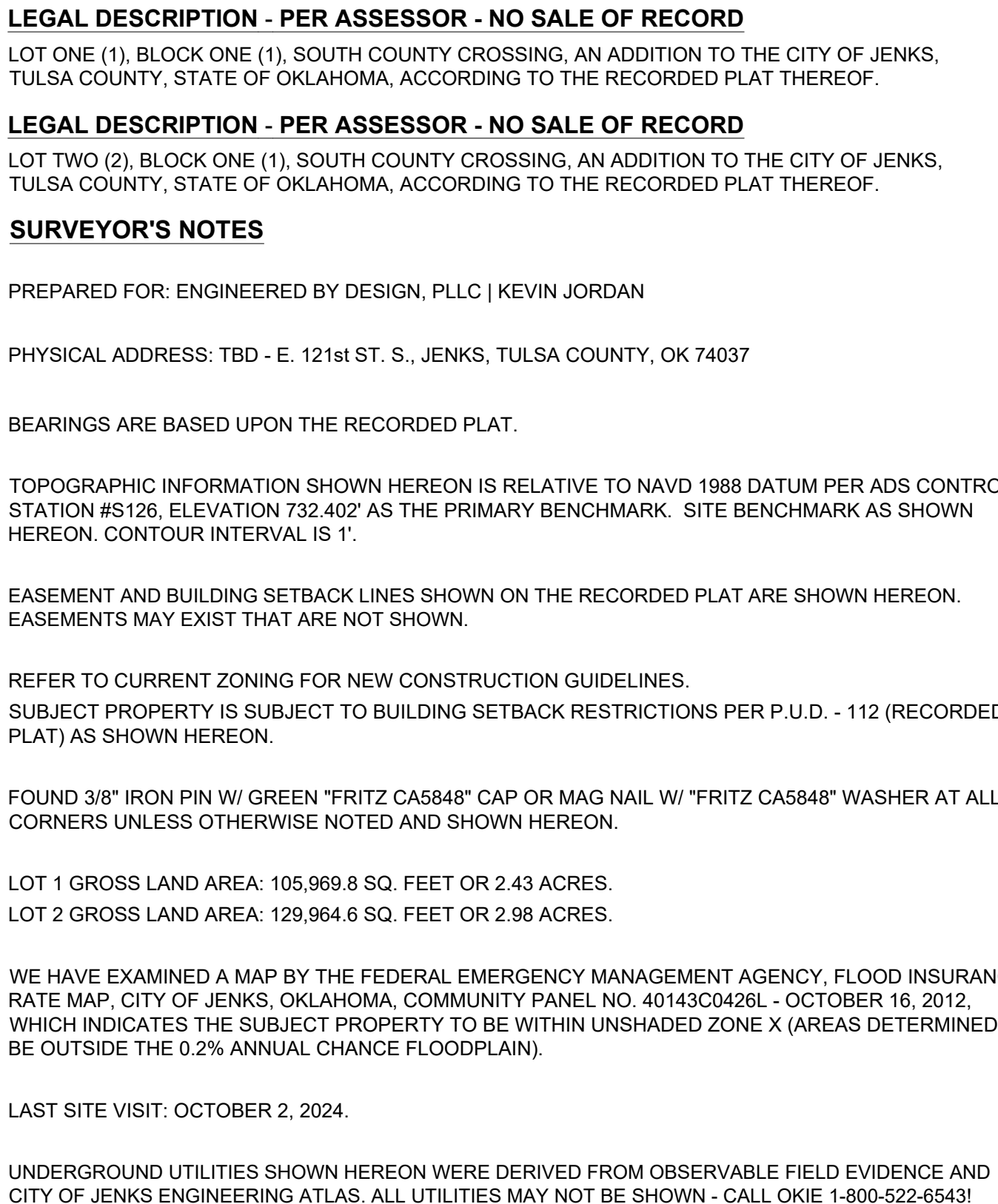
Evaluation

1. Approval does not waive any other lot or PUD 112 requirements.
2. *Minor PUD Amendment.* A minor amendment is any proposed change to an approved Planned Unit Development that is consistent with the standards and conditions upon which the Planned Unit Development was approved, which does not alter the concept or intent of the Planned Unit Development and is not considered a major amendment as detailed in section 16-9-7(J)(2).
3. *Approval Processes.* A major amendment to an approved Planned Unit Development shall follow the procedure set in section 16-9-8(E)(F), and (G). A minor amendment to an approved Planned Unit Development may be approved by the Planning Commission.

RECOMMENDATION | *Staff recommends approval of PUD 112 MI4 to allow for:*

1. *Request two-foot increase in eave height "22' eave height" for TENANT 'A' & TENANT 'C' buildings.*
2. *Request to allow for an exception to the required exterior masonry building materials by allowing architectural metal and stucco as exterior materials in addition to masonry.*

- [illegible]



CERTIFICATE OF SURVEY

FRITZ LAND SURVEYING, LLC AND THE UNDERSIGNED PROFESSIONAL LAND SURVEYOR, UNDER CERTIFICATE OF AUTHORIZATION CA #5848, DO HEREBY STATE THAT THIS PLAT OF SURVEY IS A TRUE AND ACCURATE REPRESENTATION OF THE SURVEY MADE ON THE GROUND AND OF THE FACTS AS FOUND AT THE TIME OF THE SURVEY AND THAT THIS PLAT MEETS OR EXCEEDS THE MINIMUM TECHNICAL STANDARDS ADOPTED BY THE OKLAHOMA STATE BOARD OF LICENSURE FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS.

WITNESS MY HAND AND SEAL THIS 8th DAY OF OCTOBER, 2024.

ANDY FRITZ, PLS
OK LIC. 1694
CA #5848



LOTS 1 AND 2, BLOCK 1, SOUTH COUNTY CROSSING
E. 121st ST. S., JENKS, TULSA COUNTY, OK 74037

SURVEY: AJN	DATE: 10.02.2024	PREPARED BY: FRITZ LAND SURVEYING, LLC 524 E. MAIN ST., JENKS, OK 74037 PH: 918-528-5121 FRITZLANDSURVEYING@GMAIL.COM C.A. # 5848 EXPIRES: 6-30-2026
DRAFT: RLL	DATE: 10.08.2024	
APPROVED: PLS	DATE: 10.08.2024	
REV:	PROJECT NO.: 24409	



Planned Unit Development No. 112

SOUTH COUNTY CROSSING

Jenks, Oklahoma

July 16, 2018

FINAL AS APPROVED

Ordinance No. 1461

JZ-623 | PUD 112

August 6, 2018

With notes taken from meeting minutes at date of approval



Table of Contents

I. DEVELOPMENT CONCEPT	3
Legal Description	4
Exhibit A – Vicinity Map	5
Exhibit B – Aerial Photo	6
Exhibit C – Conceptual Site Plan & conditions of approval	7
Exhibit D – Shared Parking Areas	8
Exhibit E – Current Zoning Map	9
Exhibit F – Jenks Comprehensive Plan	10
Exhibit G – Example Images	11
Exhibit H – Vegetative Buffer Example	12
II. DEVELOPMENT STANDARDS	13
III. GENERAL PROVISIONS	
A. Screening	14
B. Lighting	14
C. Parking	14-15
D. Building Material Requirements	15
E. Requirement to Plat	15
F. Utilities	16
G. Drainage	16
H. Vehicular Access and Circulation	16
I. Emergency Vehicle Access	16
J. Signage	16
II. ANTICIPATED CONSTRUCTION SCHEDULE	16

I. Development Concept

South County Crossing is an industrial development on a 14.54-acre tract of presently undeveloped land within the City of Jenks. The project is located on the north side of West 121st Street South between South Elwood Avenue and South Elm Street. A property owners' association will be formed dues established for the maintenance of the proposed off-site detention facility.

Objectives:

- Creative site design to integrate a flexible development around multiple existing underground and above ground utilities (i.e. pipelines, electric transmission lines, etc.)
- Better utilization of land than is possible through standard zoning regulations
- Compatibility with surrounding residential neighborhoods
- Shared parking areas and drives for improved functioning of vehicular access and circulation

Excerpt from Jenks Comprehensive Plan:

Industrial Special District #3

The special district consists of a total of 255 acres, on the north and south sides of 121st Street between Elwood and Peoria. Fifty of the acres are on the north side of the street with the balance (200) located on the south. The property is currently zoned for moderate industrial activities (IM). The property was previously used as a petroleum storage facility. Five acres north of 121st Street has been developed with the South Jenks Fire Station known as the Ewing-Perryman Fire Station. Limited petroleum storage facilities still remain upon the property. Proposals to increase petroleum activities shall require further review. Proposals to modify the use of the property for other than petroleum storage should be consistent with existing land uses and land use intensities of the current Comprehensive Plan. City of Jenks uses may be developed in furtherance of public services to the surrounding uses. Recognition of new land restoration and clean up practices of abandoned petroleum storage sites provides a potential for the conversion of the special district to recreational and limited commercial uses. Proposals must include environmental considerations and review.

Legal Description

A TRACT OF LAND IN THE SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER AND THE SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 36, TOWNSHIP 18 NORTH, RANGE 12 EAST, OF THE INDIAN BASE AND MERIDIAN, CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF, SAID TRACT OF LAND BEING DESCRIBED AS FOLLOWS:

COMMENCING AT THE SOUTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER; THENCE NORTH 01°08'42" WEST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER FOR 60.00 FEET TO THE POINT OF BEGINNING; THENCE SOUTH 88°55'08" WEST PARALLEL WITH AND 60.00 FEET NORTH OF THE SOUTH LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER FOR 660.98 FEET TO A POINT ON THE WEST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER; THENCE CONTINUING SOUTH 88°55'08" WEST PARALLEL WITH AND 60.00 FEET NORTH OF THE SOUTH LINE OF SAID SOUTHEAST QUARTER OF THE SOUTHWEST QUARTER FOR 418.88 FEET; THENCE NORTH 01°07'33" WEST FOR 519.29 FEET; THENCE NORTH 82°02'36" EAST FOR 135.85 FEET; THENCE NORTH 68°47'47" EAST FOR 191.10 FEET; THENCE NORTH 88°54'12" EAST FOR 104.26 FEET TO THE NORTHWEST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER; THENCE CONTINUING NORTH 88°54'12" EAST FOR 661.03 FEET TO THE NORTHEAST CORNER OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER; THENCE SOUTH 01°08'42" EAST ALONG THE EAST LINE OF SAID SOUTHWEST QUARTER OF THE SOUTHWEST QUARTER OF THE SOUTHEAST QUARTER FOR 601.51 FEET TO THE POINT OF BEGINNING.

EXHIBIT A

VICINITY MAP

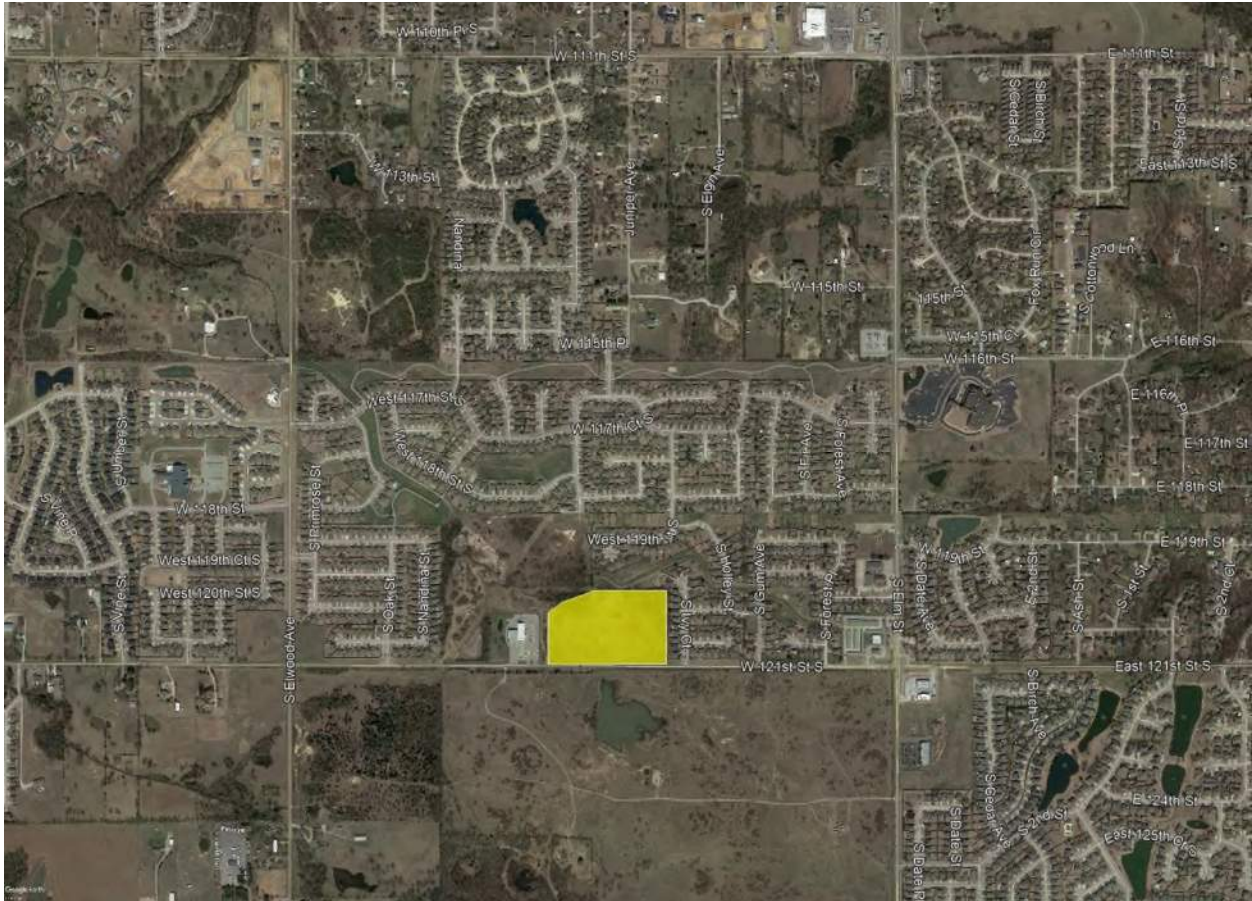


EXHIBIT B
AERIAL PHOTO



EXHIBIT C
OVERALL CONCEPT PLAN

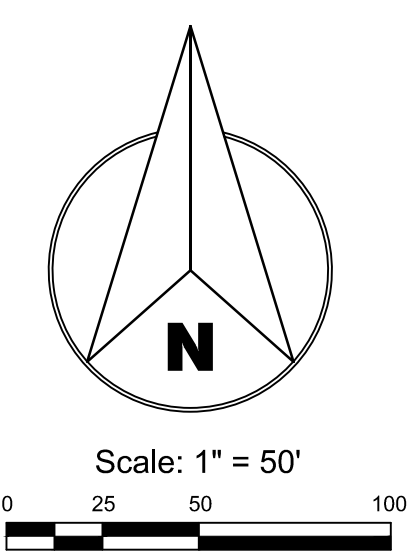
CONDITIONS OF APPROVAL B CC 08.20.2018

1. All buildings on Lots 1 and 6 limited to 20 feet **eave height**;
2. **Masonry covering** 100% up to 20 feet high of the south facing walls of all buildings and including west face of westernmost buildings; and 4-feet high masonry wainscoting on remaining walls within 300 feet of the centerline of 121st Street;
3. Eight feet high solid **screening fence** with concrete curb along the entire east boundary line, north fencing is to be chain link or screening fence a minimum of 6ft tall;
4. A mix of **deciduous and evergreen trees**, a minimum of 3" caliper at time of planting, and planted no further than 30 feet apart, must be established and maintained along the east property boundary;
5. All planting areas must have an underground automatic **irrigation system** with a regular watering schedule to assure continued viability of plants;
6. All roof top mechanical equipment shall be **screened** from view of persons standing on the ground at the property boundaries;
7. All **trash enclosures** shall be at least six feet high and have gates that remain closed except during filling and emptying of trash containers;
8. Truck docks and any service areas visible from 121st Street must be **screened with trees and an 8 feet high solid screening fence**;
9. **Outside storage is allowed** except on south sides of buildings and west side of Lot 1. All outside storage must be screened with a minimum 8-feet high screening fence with concrete curb. Screening fence may be up to 12 feet high with proper permitting from the City of Jenks. No outside storage may be higher than the screening fence.
10. Outside **noise** is limited to the hours of dawn till dusk.
11. **No trucks allowed to park** and remain idling on Lots 5 and 6;
12. Maximum mounting **height of lights** shall be 25 feet;
13. **No light spill beyond the property boundaries**; all lights shall be shielded and pointed downward and away from property boundaries; a photometric plan shall be required as part of the civil engineering and building plan submittal showing zero foot candles at the property boundaries;
14. A **subdivision plat**, approved by the City of Jenks, must be recorded prior to release of any building permits
15. A 60ft **ROW dedication** along 121st Street.

SEE MINOR AMENDMENTS (ADDENDUM "A") FOUND AT END OF DOCUMENT.

South County Conceptual Site Plan

Section 36, T-18-N, R-12-E
Jenks, Oklahoma



Summary

GROSS LAND AREA	14.54 Ac
PROPOSED LOTS	6
MINIMUM LOT WIDTH	150'



AREA A
Lot 1 limited to 20 feet eave height

East AREA C
Lot 6 limited to 20 feet eave height



EXHIBIT D
SHARED PARKING AREAS

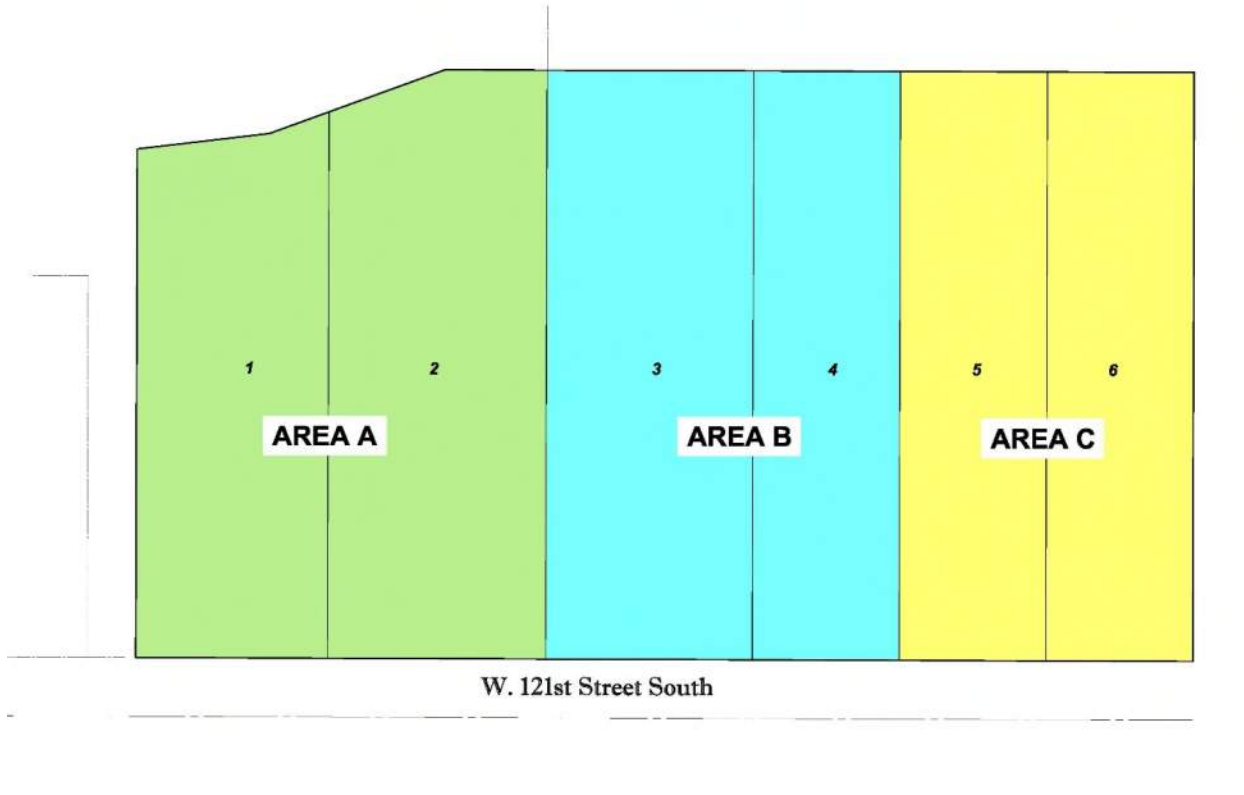


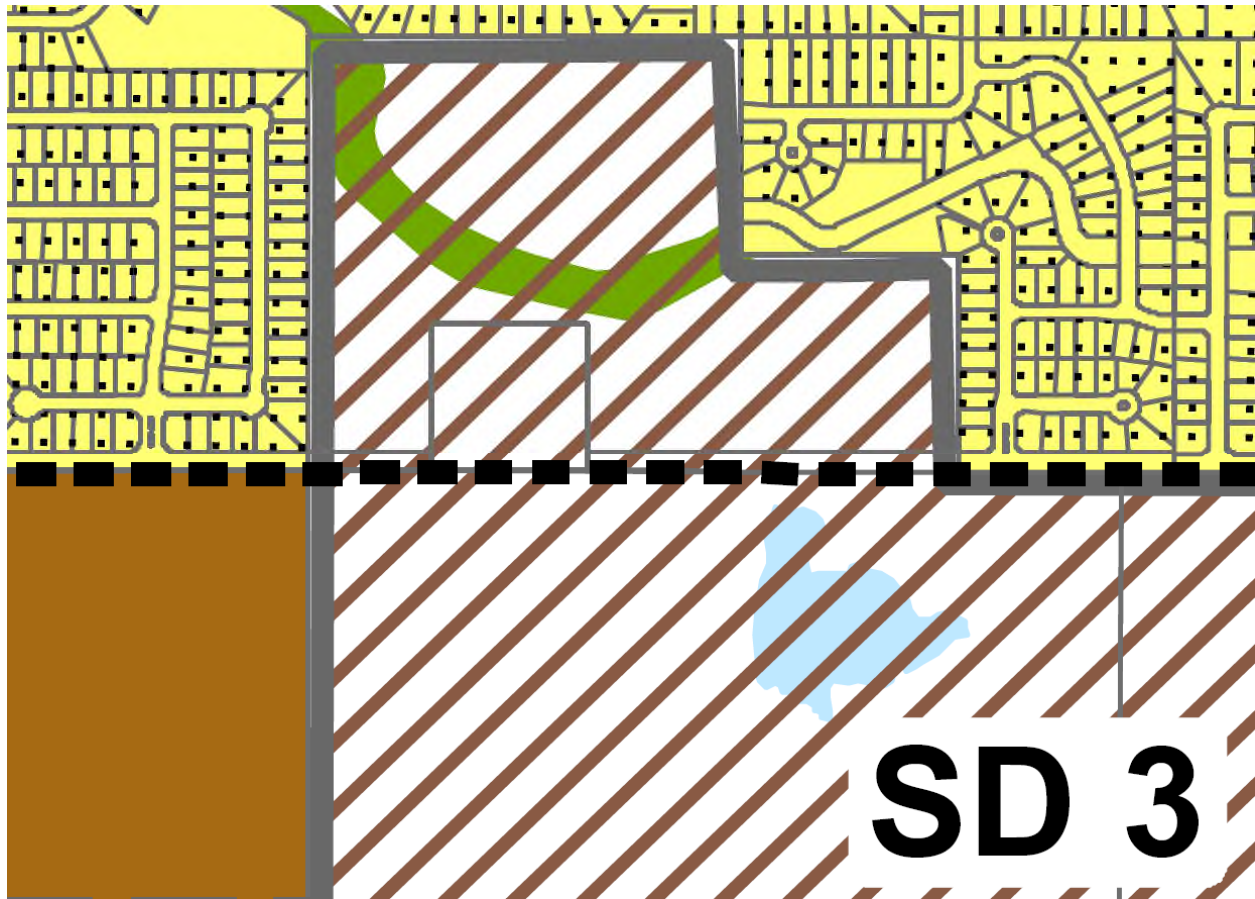
EXHIBIT E

ZONING MAP

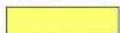


EXHIBIT F

JENKS COMPREHENSIVE PLAN



INTENSITIES

	LOW INTENSITY
	MEDIUM INTENSITY
	HIGH INTENSITY
	MEDIUM COMMERCIAL
	LIGHT COMMERCIAL
	DEVELOPMENT SENSITIVE
	SPECIAL DISTRICT**

**CROSS HATCH COLOR DESIGNATES INTENSITY

SPECIAL DISTRICTS

SD 1	RIVERSIDE AIRPORT CLEAR ZONE
SD 2	FUEL TRANSFER AND DISTRIBUTION DISTRICTS
SD 3	INDUSTRIAL SPECIAL DISTRICT
SD 4*	CENTRAL BUSINESS AREA
SD 5	RIVERFRONT ENTERTAINMENT/TOURISM DISTRICT
SD 6*	APPEARANCE REVIEW DISTRICTS

*SEE COMPREHENSIVE PLAN TEXT FOR DEFINITION OF THIS AREA.

 JENKS PUBLIC SCHOOLS

EXHIBIT G
EXAMPLE IMAGES



EXHIBIT H
VEGETATIVE BUFFER EXAMPLE



II. Development Standards

Land Area: 14.54 Acres

Zoning: Industrial Light District (IL)

Permitted Uses:

USE UNIT 1 - AREAWIDE USES BY RIGHT

USE UNIT 4 - PUBLIC PROTECTION AND UTILITY AND OPEN-AIR FACILITIES (TEMPORARY)

- Ambulance service
- Horticultural nursery
- Temporary open-air facilities (Christmas tree sales)

USE UNIT 10 - OFF-STREET PARKING AREAS

USE UNIT 11 - OFFICES AND STUDIOS

USE UNIT 15 - OTHER TRADES AND SERVICES

USE UNIT 17 - AUTOMOTIVE ALLIED ACTIVITIES

USE UNIT 21 - BUSINESS SIGNS, OUTDOOR ADVERTISING, AND BILLBOARDS

USE UNIT 22 – WAREHOUSING AND WHOLESALING

USE UNIT 24 - LIGHT MANUFACTURING AND INDUSTRIAL RESEARCH DEVELOPMENT

Excluded Uses:

USE UNIT 4 - PUBLIC PROTECTION AND UTILITY AND OPEN-AIR FACILITIES (TEMPORARY)

- Pressure control station (gas or liquid, excluding storage or service garages and yards)
- Shelter (civil defense or storm)
- Water storage facility NEC
- Temporary open-air facilities (carnival, circus, tent revival, etc.)

USE UNIT 16 - GASOLINE SERVICE STATIONS

Minimum lot width: 150 feet

Building setback from Centerline of Abutting Arterial Street: 110 feet

Building setback abutting AG, R or O District: 35 feet

Maximum structure height: 35 feet

Maximum eve height (Lots 1 and 6): 20 feet

III. General Provisions

A. Screening:

1. Service equipment (including HVAC equipment) and areas shall be screened so the visual impacts of these functions are fully contained and out of view from a person standing on the ground at the perimeter of the PUD boundary.
2. Screening materials for solid waste collection and loading areas shall be a six-foot tall wooden fence. Trash dumpsters shall have a door, which shall remain closed when not in use.
3. Perimeter fencing shall be constructed along the north boundary of Lots 3-6 and the east boundary of Lot 6 prior to Certificate of Occupancy being issued. The fence shall be a wooden privacy fence and a minimum of six-feet and eight-feet in height (refer to Conceptual Site Plan for location).
4. A mixture of deciduous and coniferous trees shall be planted along the east boundary of Lot 6 to provide a vegetative buffer for the existing residential lots. Proposed trees shall be staggered and spaced at thirty-feet (on center) with a minimum of 3" caliper at time of planting. Mature trees shall be preserved where possible.

B. Lighting:

1. All pole-mounted and building-mounted lighting shall be oriented to minimize light leaving the development.
2. All lights shall be designed or have the ability to control light pattern to the light leaving the site at the boundary of development.
3. The mounting height of each fixture light shall not exceed 25' as measured from the pavement to the light fixture.
4. A maximum light level of 0.00-foot candles shall be obtained at the boundary of the development. A photometric study will be provided to verify the 0.00-foot candle measurement at the property line.
5. All lights will face down and away from the boundary of the development.

C. Parking:

1. Required parking for particular uses may be shared as follows:
 - a. Area A - Lots 1 and 2
 - b. Area B - Lots 3 and 4
 - c. Area C - Lots 5 and 6
2. Shared parking located within Areas A, B and C may be counted towards meeting the parking requirements for the combined use.
3. The Owner is required to submit parking information with each building permit and shall maintain an ongoing count of parking spaces and the allocation of parking spaces toward the combined uses in each Area.
4. Uses may share required parking spaces where the Owner can submit a shared parking analysis prepared by a professional engineer to the City of Jenks demonstrating the feasibility of shared parking for multiple uses. The shared parking analysis shall address at a minimum the size and

type of the proposed development, the composition of tenants, the anticipated rate of parking turnover and the anticipated peak parking and traffic loads for all uses that will be sharing parking spaces.

5. Off-Street Parking and Loading Requirements for the following Use Units shall be required as follows:

USE UNIT 22 – WAREHOUSING AND WHOLESALING

Parking Spaces

- 0 – 9,999 sq. ft. of floor area: 5 spaces
- 10,000 – 19,999 sq. ft. of floor area: 8 spaces
- More than 20,000 sq. ft. of floor area: 10 spaces

Loading Berths

1 per 5,000-25,000 sq. ft. of floor area plus 1 per each additional 25,000 sq. ft. of floor area

D. Building Material Requirements

1. LOT 1

- a. EXTERIOR WALLS (EAST, WEST & SOUTH FACING): The exterior walls of the structure, up to 12' in height, shall be fifty percent (50%) masonry: rock or cementitious material, provided, however that the area of all windows and doors located in said exterior walls shall be excluded in the determination of the area of exterior walls.
- b. AWNINGS, CANOPIES AND OVERHANGS (OFFICE AREA ONLY): Structural awnings are encouraged at the ground level to enhance articulation of the structures.

2. LOTS 2-6

- a. "OFFICE" EXTERIOR WALLS (EAST, WEST & SOUTH FACING): The exterior walls of the structure, up to 12' in height, shall be fifty percent (50%) masonry: rock or cementitious material, provided, however that the area of all windows and doors located in said exterior walls shall be excluded in the determination of the area of exterior walls.
- b. AWNINGS, CANOPIES AND OVERHANGS (OFFICE AREA ONLY): Structural awnings are encouraged at the ground level to enhance articulation of the structures.

E. Requirement to Plat:

No building permit shall be issued until a plat containing restrictive covenants memorializing the above development standards is prepared and filed in accordance with the City of Jenks Subdivision Regulations.

F. Utilities:

Proposed public utility infrastructure design shall be submitted to and approved by the City Engineer and in accordance with the City of Jenks Engineering Design Criteria.

G. Drainage:

The majority of the site will be graded to allow for surface water to drain to proposed detention facilities or be collected in an internal storm sewer system that will route to proposed detention facilities (including proposed offsite facilities). The final drainage and grading design will be designed in conformance with City of Jenks Engineering Design Criteria.

H. Vehicular Access and Circulation:

All private driveway and/or street connections shall be subject to the City Engineer curb cut permit approval for the proposed access points on West 121st Street South, and the Fire Chief's and Fire Marshal's approval of locations, spacing, widths, and curb return radii.

I. Emergency Vehicle Access:

A 26-foot wide fire apparatus road shall be established and maintained for emergency vehicles.

J. Signage:

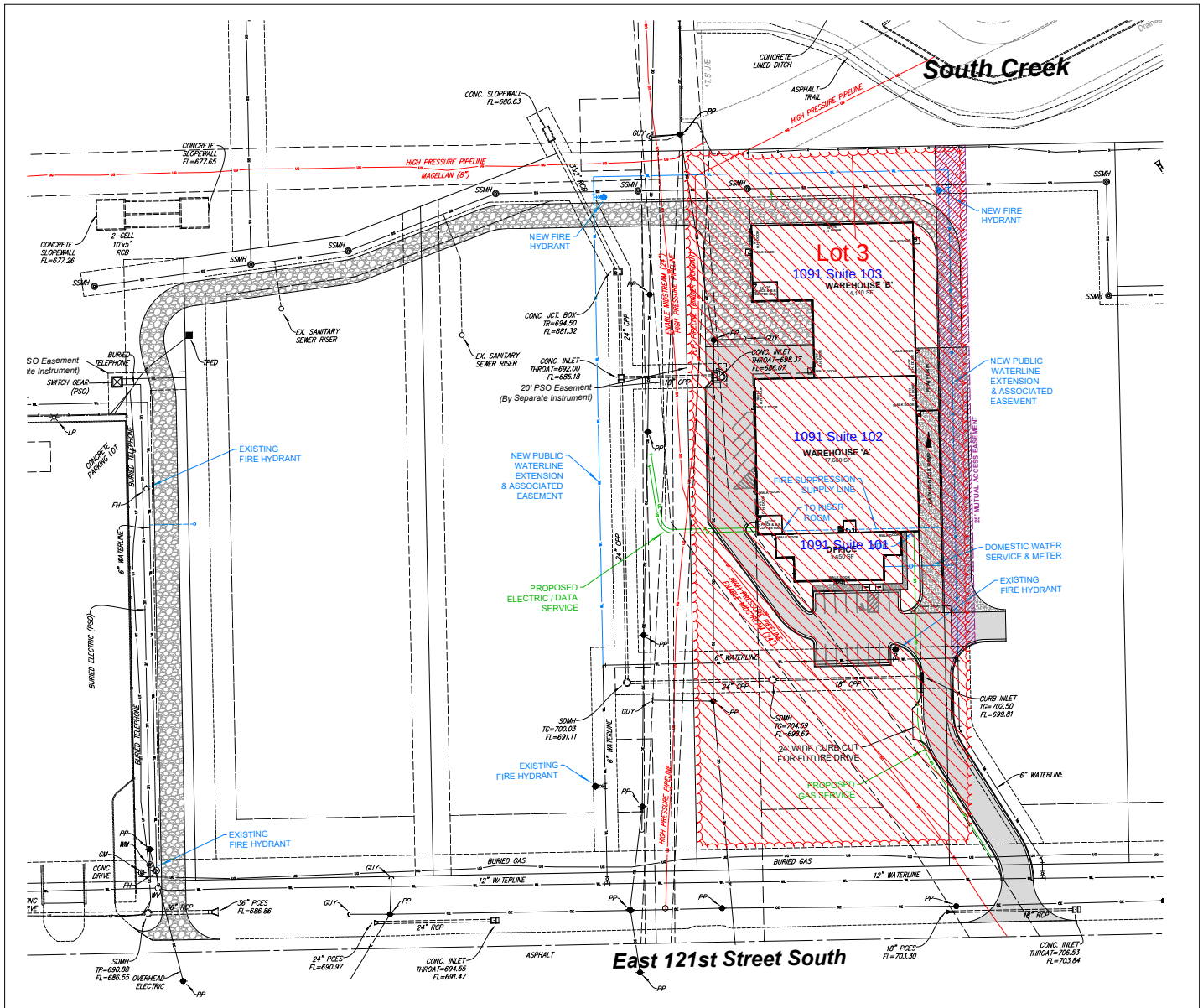
LOTS 3, 4, 5 and 6: Illuminated wall signage shall be prohibited on any north or east facing walls.

IV. Anticipated Construction Schedule

- Construction shall commence with 12 months from the date the PUD is approved by City Council
- Lots 3 & 4 – 2018
- Lots 1 & 2 – 2020

ADDENDUM "A"

THIS PAGE IDENTIFIES APPROVED MINOR AMENDMENTS TO PUD 121



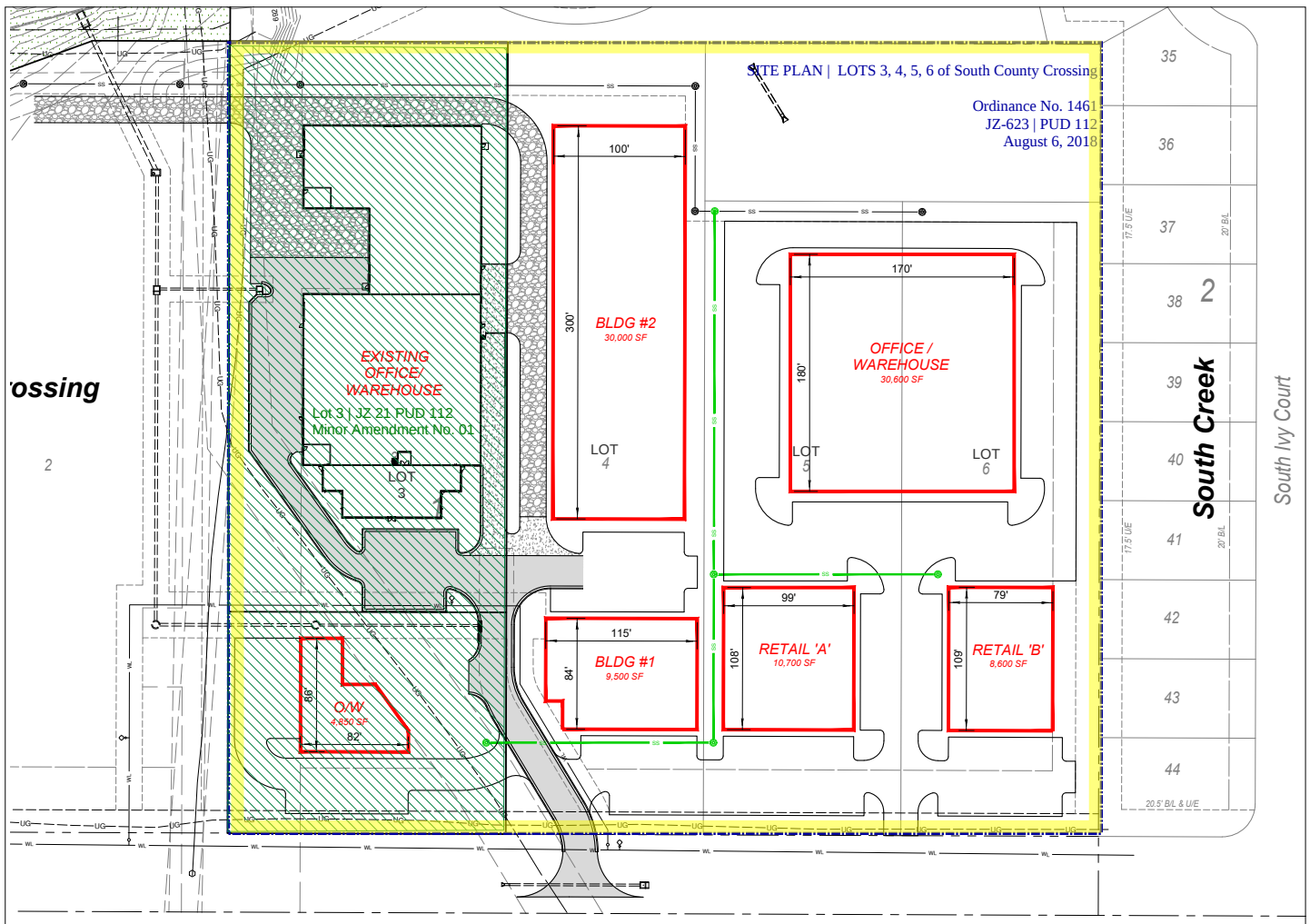
JZ 21 PUD 112 Minor Amendment No. 1 | Approved February 16, 2021

Minor Amendment No. 1 | Approve metal on Lot (3) Three, Block (1) One

- Lot 3, Block One | 40,000 square foot warehouse
- Warehouse building is setback more than 100 yards
- Per the engineering site plan calculations, it meets the 300-foot setback condition allowing for the 4 ft. high masonry wainscot requirement to be waived.
- Approved architectural metals to create a sustainable modern look

ADDENDUM "A"

THIS PAGE IDENTIFIES APPROVED MINOR AMENDMENTS TO PUD 121



JZ 22 PUD 112 MI2 (Minor Amendment No. 02) | South County Crossing | City Council March 22, 2022

APPROVED: JZ 22 PUD 112 MI2 (Minor Amendment No. 02) | South County Crossing | City Council March 22, 2022

"To allow for an exception to the required exterior masonry building materials for Lots 3, 4, 5, & 6 by allowing architectural metal and stucco as exterior materials in addition to Masonry"

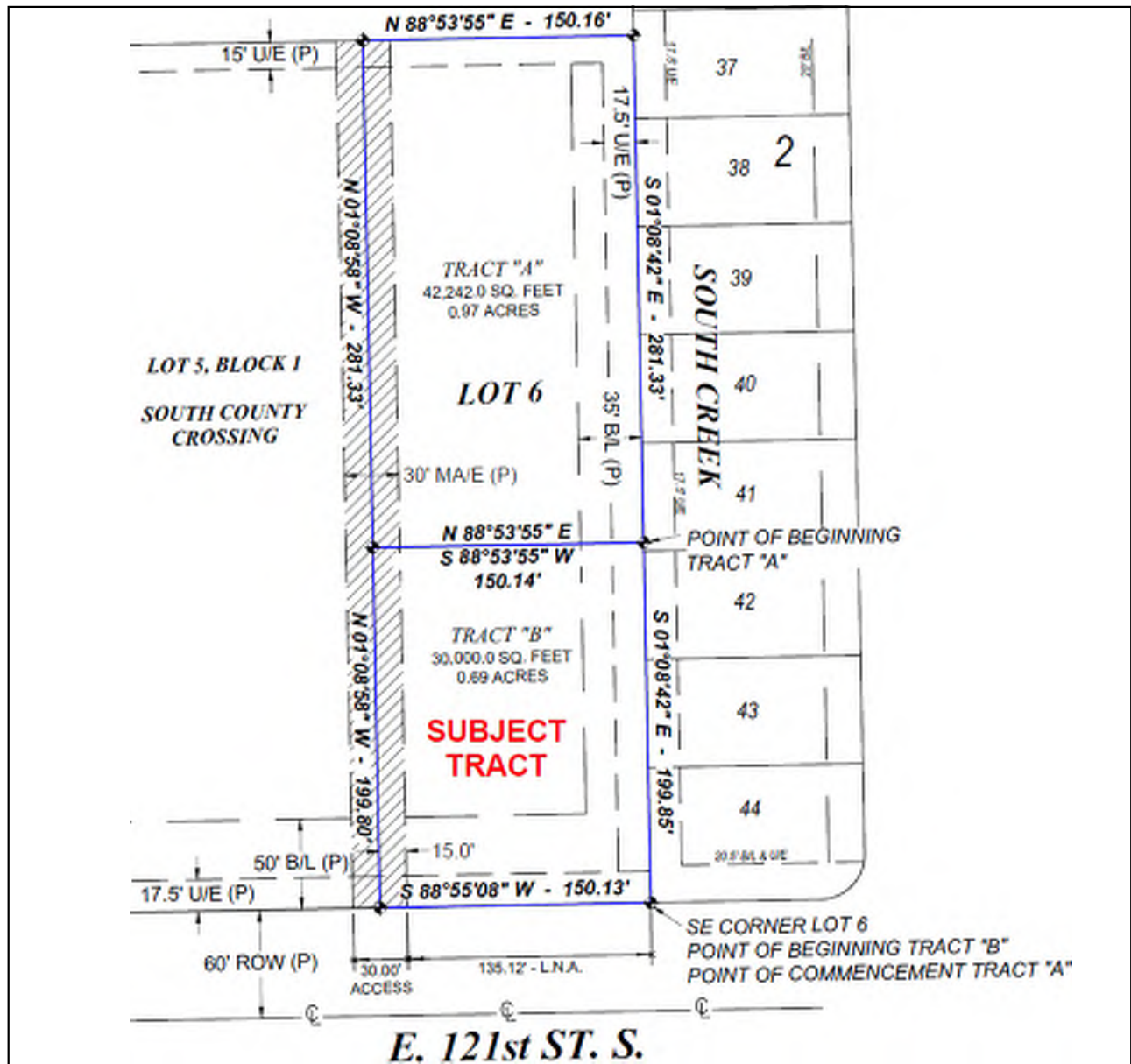
Minor Amendment No. 2 | "To allow for an exception to the required exterior masonry building materials by allowing architectural metal and stucco as exterior materials in addition to Masonry"

- Masonry, Stucco and/or Architectural Metal Covering 100% up to 20 feet on all south facing walls
- Masonry, Stucco, and/or Architectural Metal Covering 100% up to 20 feet on west face of westmost buildings
- 4 feet high masonry, Stucco, and/or Architectural Metal wainscoting on remaining walls within 300 feet of the centerline of 121st Street

ADDENDUM "A"

THIS PAGE IDENTIFIES APPROVED MINOR AMENDMENTS TO PUD 121

See addendum "B" for detailed request.



APPROVED: JZ 22 PUD 112 MI3 (Minor Amendment No. 03) | South County Crossing | Planning Commission | December 08, 2002

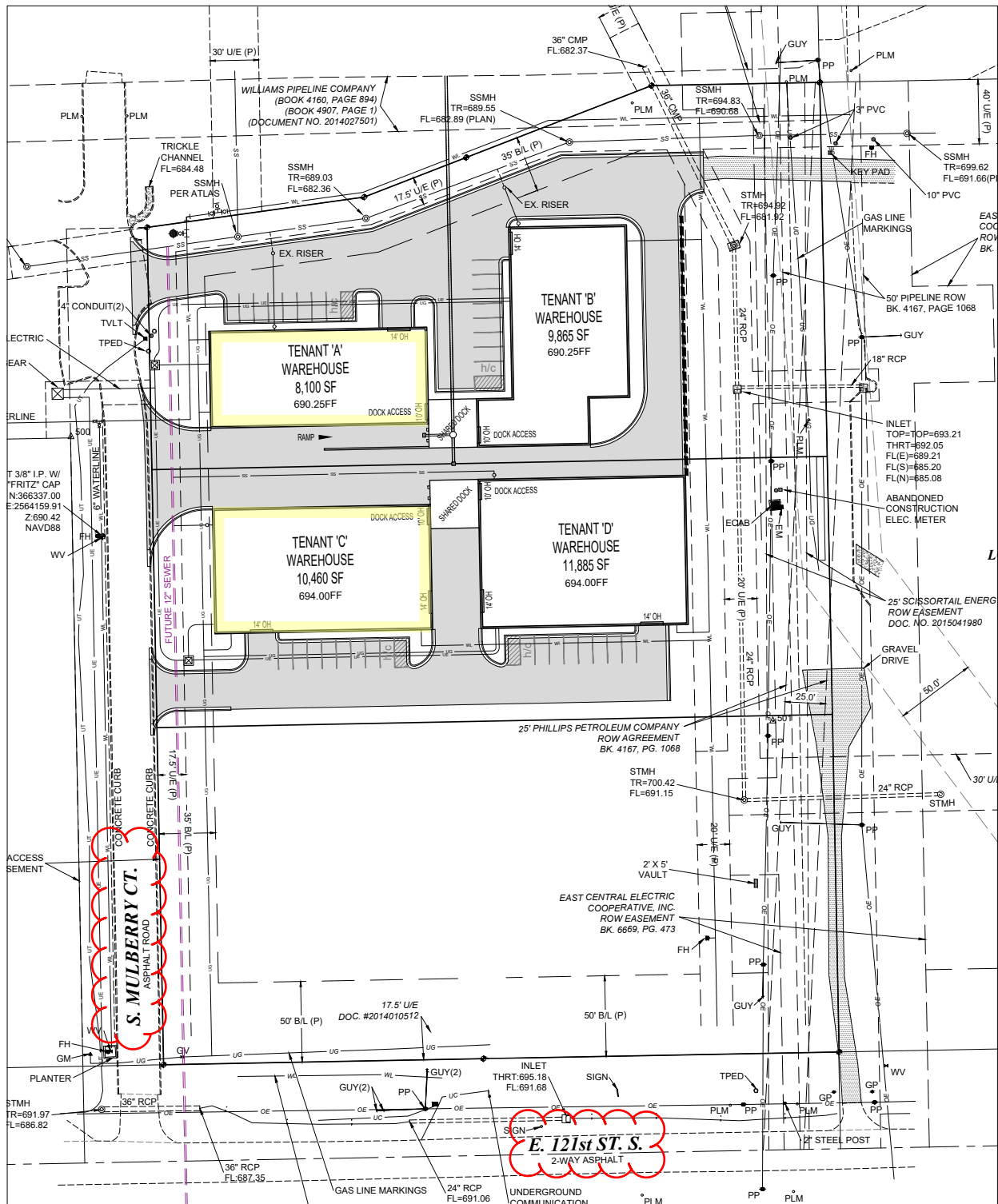
Approval of a Drug Store Use for Lot 6

Approval of a request to allow for the sale of sundries within a prescription pharmacy. In the approved PUD 112, Use Unit 11 - Prescription pharmacy was allowed by right, in the old zoning code it was basically considered a compounding pharmacy.

Minor Amendment No. 3 | Approve a Drug Store and allow for the sale of sundries on Lot 6

ADDENDUM "A"

THIS PAGE IDENTIFIES APPROVED MINOR AMENDMENTS TO PUD 121



JZ 25 PUD 112 Minor Amendment No. 04 | South County Crossing "REQUEST"

1. Request two-foot increase in eave height "22' eave height" for TENANT 'A' & TENANT 'C' buildings.
2. Request to allow for an exception to the required exterior masonry building materials by allowing architectural metal and stucco as exterior materials in addition to masonry.

Planned Unit Development No. 112

ADDEMDUM "B"

Minor Amendment No. 3

Approve a Drug Store and allow for the sale of sundries on Lot 6

SOUTH COUNTY CROSSING

Jenks, Oklahoma

December 4, 2022



ADDEMDUM "B"

Minor Amendment No. 3

Approve a Drug Store and allow for the sale of sundries on Lot 6

Development Concept

South County Crossing is a previously approved industrial development on a 14.54-acre tract of land located within the City of Jenks. The project is located on the north side of West 121st Street South between South Elwood Avenue and South Elm Street.

The scope of this PUD Minor Amendment #1 is a request for a prescription pharmacy business to conduct retail sales. Use Unit 11 in the Jenks Zoning Code prohibits the sale of sundries or other merchandise.

This Minor Amendment #1 pertains to the southern 200 feet of Lot 6, Block 1 – South County Crossing. The remaining balance of the originally approved PUD 112 will not be affected by this amendment and all development standards and provisions will remain in effect.

Legal Description

A TRACT OF LAND THAT IS PART OF LOT SIX (6), BLOCK ONE (1), SOUTH COUNTY CROSSING, AN ADDITION TO THE CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS: BEGINNING AT THE SOUTHEAST CORNER OF SAID LOT 6; THENCE SOUTH 88°55'08" WEST ALONG THE SOUTH LINE THEREOF 150.13 FEET TO THE SOUTHWEST CORNER OF SAID LOT 6; THENCE NORTH 01°08'58" WEST ALONG THE WEST LINE THEREOF 199.80 FEET; THENCE NORTH 88°53'55" EAST 150.14 FEET TO THE EAST LINE OF SAID LOT 6; THENCE SOUTH 01°08'42" EAST ALONG SAID EAST LINE A DISTANCE OF 199.85 FEET TO THE POINT OF BEGINNING.

SAID TRACT OF LAND CONTAINS 30,000.0 SQ. FEET OR 0.69 ACRES



Approve a Drug Store and allow for the sale of sundries on Lot 6

[illegible]

To	Chair Scott West and Planning Commission
Hearing Date	January 09, 2025
Case Number	PL 25-07 "CrossVine" Preliminary Plat
Request	Approval of the Preliminary Plat
Applicant	Wallace Engineering
Location	North of 131 st Street and west of Elm

Staff Report

Preparer | Marcaé Hilton

Attachments

☐ Plat Documents

Preparer

Wallace Design Group

Background Information

SITE SUMMARY | This general area of south Jenks was in the Jenks fence line, it was annexed December 05, 2023, by City Council for the purpose of 2 subdivisions. This parcel was previously part of a land allotment with many descendants. The ownership has worked with staff and has gifted the needed Elm Street ROW (Right of Way) for the City expansion project. This 120-acre project will be built in three (3) phases with Commercial and Multi-family on the hard corner. Originally the applicant sought to rezone Phase I and II for residential uses and Phase III for Commercial Uses each phase also has a restrictive Planned Unit District Overlay (PUD 146). This Plat request is specifically for Phase II.

PUD 146 OVERLAY DETAILS

PUD 146 MA1 | *CrossVine*

- CC SUMMARY | APPROVED | September 03, 2024
- PC SUMMARY | APPROVED | August 22, 2024

PUD 146 | *Glenwood Ridge*

- CC SUMMARY | APPROVED | December 19, 2023
- PC SUMMARY | APPROVED 4-2-1 (4 present, 2 absent, 1 seat vacant)

ANNEXATION | CITY COUNCIL SUMMARY: Approved, December 05, 2023

PUBLIC COMMENT: Plats are not noticed, there was not public comment.

PUD 146 PROJECT DETAILS

SCHOOL DIST. Glenpool
REQUEST Preliminary Plat Approval
PUD APPROVAL DETAILS:

Major Amendment No. 1 to PUD 146 Overlay District

Three Phases/Project Areas in PUD 146

- Two RS-3 (Residential Single-family)
 - Phase 1 | 43.52 Acres | Starter Homes
 - 53 Foot Lots
 - Phase 2 | 55.20 Acres | Luxury living with minimal maintenance.
 - 55 Foot Lots
- One CS (Commercial Shopping) | Shopping and possible future amendment to ask for High Density Residential (Multi-family)
 - Phase 3 | 21.81 Acres
 - High Intensity Residential | 12 Acres
 - Commercial 8 Acres

ZONING RS-3 (Residential Single-family)
COMP PLAN Land Use Plan | Local Commercial and Medium Intensity Single-family Residential and High Intensity Single-family.

ASSESSOR DATA

PARCEL 97201720168210
LEGAL N/2 SE & SE SE SEC 1 17 12 120ACS
OWNER 131 ELM LLC
TR_SEC 7201
ACRES 120.00
UDO 16-9-8 C.1.b | C.2. Qualification and exception
FOCAL POINTS Natural Landscaping
OIL WELLS Identify active/inactive wells and follow the standards of the UDO other regulations.

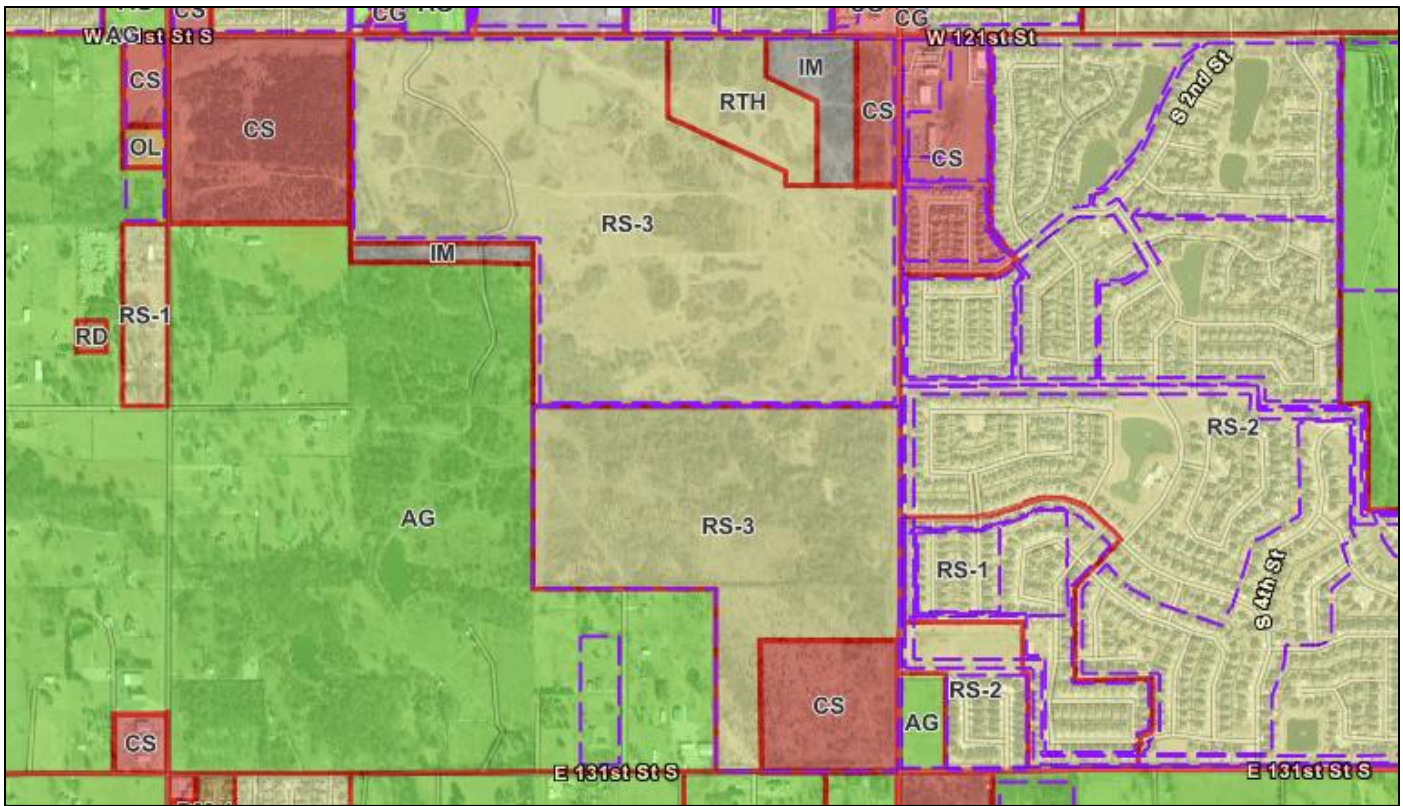


Figure 1" INCOG Zoning Map

Zoning:
 North: (RS3) Single-family Residential
 South: (AG) Agriculture
 West: (AG) Agriculture
 East: Yorktown Subdivision(s) | Single-family Residential

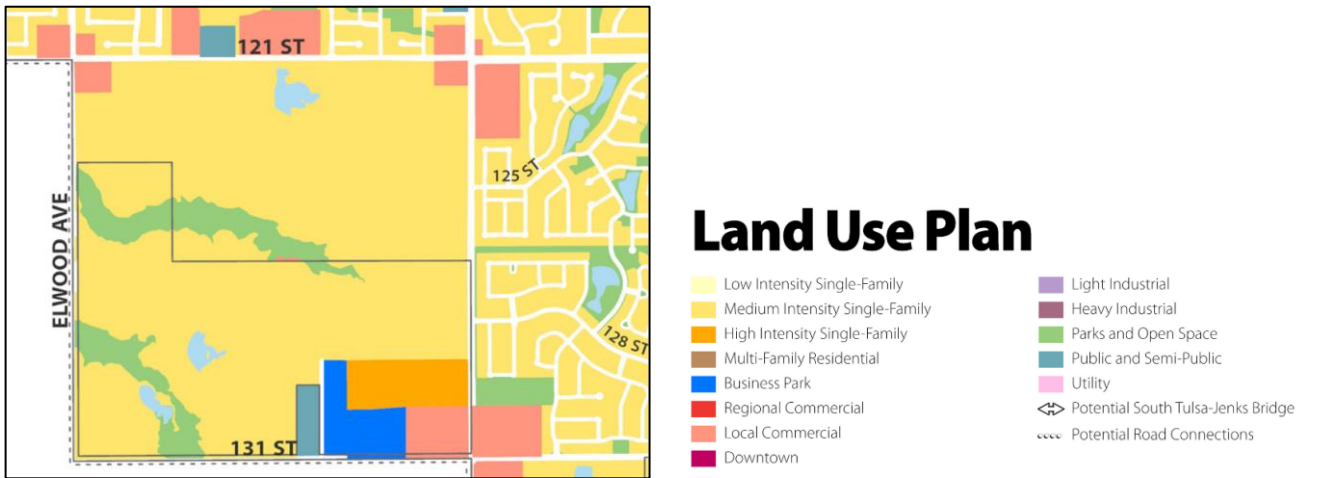


Figure 2: Horizon Jenks Land Use Plan | Medium Intensity Single Family + High Intensity Single Family + Local Commercial-This comp plan was amended (but does not show amendment) to match the land use per approved PUD 146.

STAFF COMMENTS | *This preliminary plat request accurately represents Major Amendment No. 1 for PUD146. As submitted, it meets the intent and spirit of the UDO and PUD 146. (TAC) Technical Advisory Committee provided no initial comments.*

Preliminary Plat. The purpose of the preliminary plat application is to provide the City with an overall plan for the proposed development.

(a) *Preliminary Plat Review Requirements.* The preliminary plat shall show or be accompanied by the following:

- ☐ The name and address of the owner or owners of the land to be subdivided, the name and address of the subdivider if other than the owner and the name and address of the land surveyor,
- ☐ The date of preparation of the plat, north arrow, and scale (written and graphic presentation),
- ☐ Key or location map showing location of subdivisions within the mile section,
- ☐ An accurate legal description of the property,
- ☐ The location and dimensions of all boundary lines of the proposed subdivision to the nearest one-hundredth foot,
- ☐ The names of all adjacent subdivisions and the names, locations and widths of all existing and proposed streets, easements, drainage ways and other public ways, adjacent to the property,
- ☐ The locations and widths of easements of all oil, gas and petroleum products pipelines and of existing utilities on or adjacent to the property,
- ☐ The location and description of all existing structures, water bodies and watercourses,
- ☐ The areas subject to flooding based upon the regulatory floor,
- ☐ The names, locations and widths of all proposed streets, confirm types of streets and compliance with section 16-8-8,
- ☐ The location and dimension of all proposed streets, drainage ways, pedestrian ways, bike paths, parks, playgrounds, public ways, or other public or private reservations,
- ☐ All proposed lots progressively numbered and building setback lines,
- ☐ Blocks progressively numbered,
- ☐ A topographic map of the subdivided area with contour lines having two-foot contour intervals based on United States Coastal and Geodetic Survey datum,
- ☐ Any other information as may be deemed by the Planning Commission as reasonably necessary for the full and proper consideration of the proposed subdivision,
- ☐ Conforms to Subdivision Regulations for design and layout, exception in PUD
- ☐ Connects with current and anticipated future abutting development(s),
- ☐ Private streets and no connection.
- ☐ Lot dimensions and shapes facilitate private use and infrastructure placement,
- ☐ Takes advantage of existing environmental features of the property,
- ☐ *Underground Mines.* The subdivider shall locate mines under a proposed subdivision and designate the location of the same on the subdivision plat. The location of the mines shall be

based upon information and/or techniques which have been approved in advance by the City Engineer which are reasonably calculated to accurately locate mines and their depths.

- (i) The City Engineer may recommend that the City Council prohibit the erection of structures over the mine locations if the mines cannot be collapsed and the material compacted to City Engineer specifications or if, because of the shallow depth of the mine or its size, the mine would have the potential for cave-in. Appropriate building setbacks may be required upon the lots. The City Engineer may require other conditions to be met by the subdivider, based upon the location of the mines and any subsurface investigation reports, which would assist in preventing cave-ins under areas upon which structures may be erected.
- (ii) The City Engineer may require that any streets or utility easements which may be dedicated to the City of Jenks or the public, either not be located over mines, or the mines collapsed and compacted to City Engineer Specifications, or additional bonding requirements imposed upon the subdivider to repair or reroute streets or utility easements in the event of cave-ins under the same.
- (iii) All mine entrances shall be sealed and closed to the specifications of the City Engineer.

(b) *Additional Engineering Review Items:*

- ☐ Are all lots serviced with public street access?
- ☐ Are off-site access requirements and/or Limits of Access (LA/LNA) shown for driveways and streets onto an arterial street?
- ☐ Is there conformity to INCOG's published Major Street and Highway Plan, including street names and connections to existing and/or future street? Yes, 111th is not identified, all other streets are private.
- ☐ Are all lots serviced with water and are adequate easements dedicated for water?
- ☐ Are all lots serviced with sanitary sewer and are adequate easements dedicated for sanitary sewer?
- ☐ Is the detention area identified as a separate area within the plat? It may consist of one or more platted lots, a separate block, or it may be identified as a reserve area.
- ☐ Does the plat provide an accessway at least 20 feet wide to the required detention area? Access may be provided by frontage on a dedicated public street to the detention area.
- ☐ If the detention facility is approved by the City to serve areas outside the subdivision in which it is located, have the additional areas been specifically identified in the dedication?
- ☐ Does the ownership and maintenance responsibility for detention facility remain with the private sector if the facility is an integral usable part of the development? In all other cases, the detention facility will be dedicated to the public and the public will be responsible for the maintenance thereof. In the event the detention facility, as a result of drainageway improvements, becomes unnecessary, the facility by action of the City of Jenks shall revert to the person firm or corporation making such dedication or his heirs, successor or assignees.

(c) *Recommendation by the Planning Commission.* The Planning Commission shall evaluate the proposed Major Subdivision preliminary plat, and after consideration of the City Planner report, make a recommendation to the City Council to approve, approve with modifications, or deny the Major Subdivision preliminary plat based on the applicable review criteria. The Planning Commission shall transmit a report containing its recommendation to approve, approve with modifications, or deny the Major Subdivision preliminary plat to the City Council.

(d) *Action by City Council.* The City Council shall evaluate the proposed Major Subdivision preliminary plat, and after consideration of the Planning Commission's recommendation, the City Planner report, and the applicable review criteria, may approve, approve with

modifications, or deny the Major Subdivision preliminary plat in accordance with applicable state law.

RECOMMENDATION | *Staff recommends conditional approval of Preliminary Plat for PUD 146 MA1 "CrossVine".*

1. *Due to holiday conflicts, TAC has been slow to respond. Staff will forward TAC comments as they are received.*
2. *Review the blue text and make applicable changes including but not limited to the highlighted statements above.*
3. *Add to the final plat any missing information from the subdivision regulations in the UDO.*
 - *Provide Addresses*
 - *City Staff must approve street names prior to filing.*
4. *Plat shall not include PUD 146 LANGUAGE*
 - a. *Applicant must use addendum language and policy of City of Jenks to file PUD 146 with CrossVine Plat.*
5. *Review and remove applicable parts of Section III PUD Restrictions, replace with language provided in email.*

SECTION II. PLANNED UNIT DEVELOPMENT OVERLAY DISTRICT (PUD 148)

2.1 Approval

The PUD Overlay District was created to visually represent areas of the community that are governed by an approved Planned Unit Development as detailed in Section 16-9-8 of the UDO. Upon approval of a Planned Unit Development by the City Council, the zoning map shall be amended to reflect the PUD Overlay. "XXX, PUD-XXX" development is part of an approved Planned Unit Development (PUD) Overlay District. PUD XXX was affirmatively recommended by the Jenks Planning Commission on February 23, 2023, and approved by the Jenks City Council on March 07, 2023.

2.2 Amendment(s)

Any PUD Overlay District amendments transpiring hereafter shall be as processed as provided within Section 16-9-8 (I) Amendments to Approved Planned Unit Development of the Unified Development Ordinance (UDO) of the City of Jenks.

The PUD provisions of the UDO ordinance require the establishment of covenants of record, unerring to and enforceable by the office of Code Enforcement, City of Jenks, Oklahoma, sufficient to assure the implementation of and continued compliance with the approved PUD and any future amendments.

2.3 Filing of a New PUD and/or Amendment(s)

The City of Jenks, in order to provide an accurate record of the approved established covenants identified in the approved Ordinance and detailed in the development criteria and standards of the PUD Overlay District does require that all approved PUD documents (Minor or Major) be filed by "Separate Instrument" as an addendum to the Deed of Dedication of the Plat of Record with the Tulsa County Clerk and separate instrument document shall be available to the public at the City of Jenks Planning Department per City of Jenks policy.

2.4 PUD Overlay District Document Access

Regarding developments governed by a PUD Overlay District, prior to any site development or design contact the City of Jenks or perform a title search for the approved Plat addendum document.

PLACE HOLDER CO
RECORDING STAMP

PRELIMINARY PLAT-OVERALL

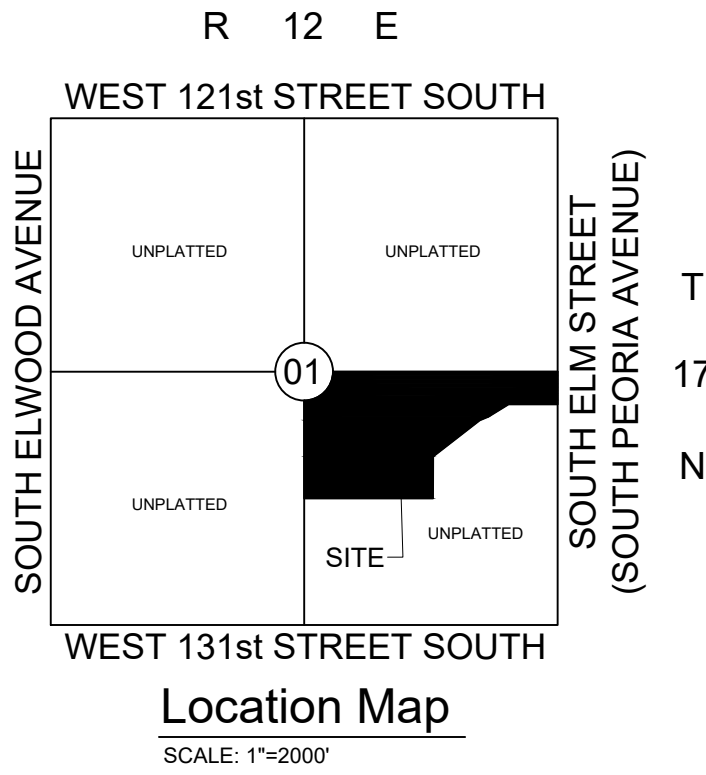
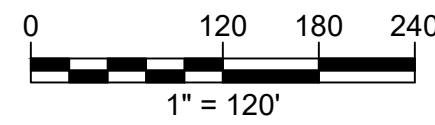
CROSSVINE

PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST
OF THE INDIAN BASE AND MERIDIAN, CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA

OWNER:
131 Elm LLC
10024 South Hudson Avenue
Tulsa, Oklahoma, 74137
CONTACT: BRAD HOFFMAN

ENGINEER:
Wallace Design Collective, PC
123 North Martin Luther King Jr Blvd.
Tulsa, Oklahoma, 74103
Phone: (918) 584-5858
OK CA NO. 1460, EXPIRES 6/30/2025
DANNY BALDWIN P.E.
danny.baldwin@wallace.design

SURVEYOR:
Wallace Design Collective, PC
123 North Martin Luther King Jr Blvd.
Tulsa, Oklahoma, 74103
Phone: (918) 584-5858
OK CA NO. 1460, EXPIRES 6/30/2025
R. WESLEY BENNETT, PLS 1562
wes.bennett@wallace.design



LEGEND	
B/L	= BUILDING SETBACK
ACC	= ACCESS
LNA	= LIMITS OF NO ACCESS
R/W	= RIGHT-OF-WAY
U/E	= UTILITY EASEMENT
BK./PG.	= BOOK/PAGE
P.O.B.	= POINT OF BEGINNING
P.O.C.	= POINT OF COMMENCEMENT
XXXX	ADDRESS
A	RESERVE AREA
1	BLOCK NUMBER
2	LOT NUMBER
●	IRON PIN SET
○	IRON PIN FOUND

SUBDIVISION STATISTICS
SUBDIVISION CONTAINS ONE HUNDRED FIFTY-EIGHT (158) LOTS
IN FOURTEEN (14) BLOCKS.
SUBDIVISION CONTAINS 2,404,333 SF (55.20 ACRES)
PROPERTY ZONED: RS3

MONUMENTATION
SET 3/8" IRON PIN W/ "FRITZ CA5848" CAP OR MAG NAIL
W/ "FRITZ CA5848" WASHER AT ALL CORNERS UNLESS NOTED
AND SHOWN OTHERWISE HEREON.

BENCHMARK
3/8" IRON PIN W/ "FRITZ CA 5848" CAP
NORTHING=362915.79
EASTING=2564713.36
ELEV=721.17

BASIS OF BEARINGS
HORIZONTAL DATUM BASED UPON OKLAHOMA STATE PLANE
COORDINATE SYSTEM NAD 83 (2011) NORTH ZONE 3501.
VERTICAL DATUM NAVD 1988

ADDRESS NOTE
ADDRESSES SHOWN ON THIS PLAT WERE ACCURATE AT THE
TIME THIS PLAT WAS FILED. ADDRESSES ARE SUBJECT TO
CHANGE AND SHOULD NEVER BE RELIED ON IN PLACE OF
LEGAL DESCRIPTION.

FLOODPLAIN NOTE
A MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY,
FLOOD INSURANCE RATE MAP, TULSA COUNTY, OKLAHOMA
AND INCORPORATED AREAS, MAP NO. 40143C0426L - OCTOBER
16, 2012, WHICH INDICATES A PORTION OF THE SUBJECT
PROPERTY TO BE WITHIN SHADED ZONE "A" WITH NO BASE
FLOOD ELEVATION PROVIDED.

SURVEYOR'S LAST SITE VISIT:
XXXXXXXXXXXXXXXXXXXX

NOTE:
REFER TO SHEETS 2 AND 3 FOR INTERIOR LOT DIMENSIONS
AND EASEMENT LABELS.
REFER TO SHEET 4 FOR CURVE AND LINE DATA TABLES AND
LOT AREA TABLES.

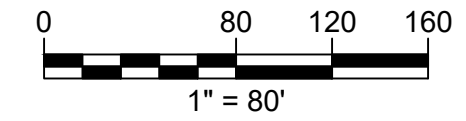
PLACE HOLDER CO
CLERK STAMP

PLACE HOLDER CO
TAX STAMP

PLACE HOLDER CO
RECORDING STAMP

PRELIMINARY PLAT CROSSVINE

PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST
OF THE INDIAN BASE AND MERIDIAN, CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA

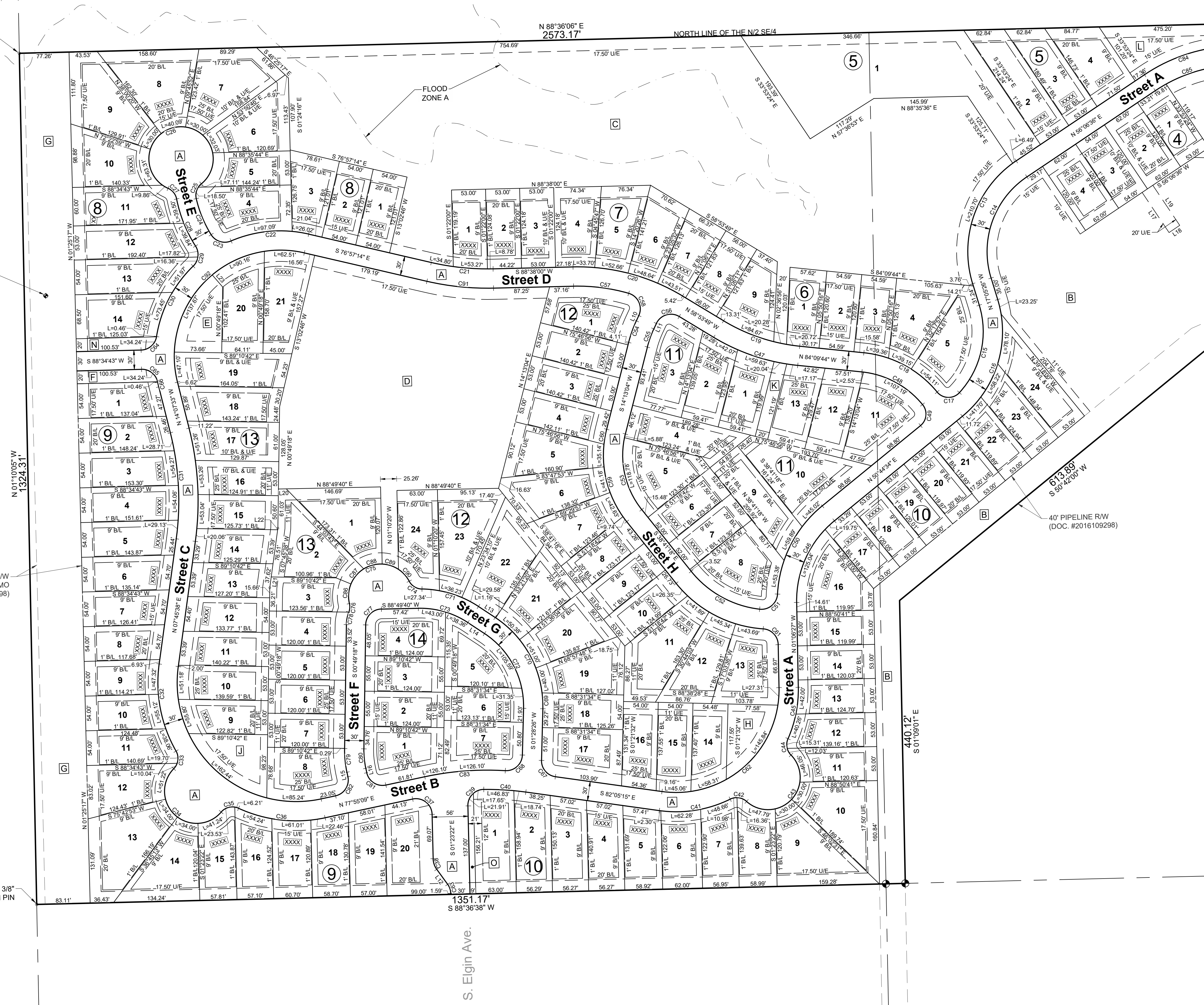


NW CORNER
SE/4 SECTION 1
FOUND 1/2" IRON PIN
W/ YELLOW CAP

BENCHMARK

70' ELECTRIC R/W
TO KAMO
(BK. 6915, PG. 2598)

FOUND 3/8"
IRON PIN



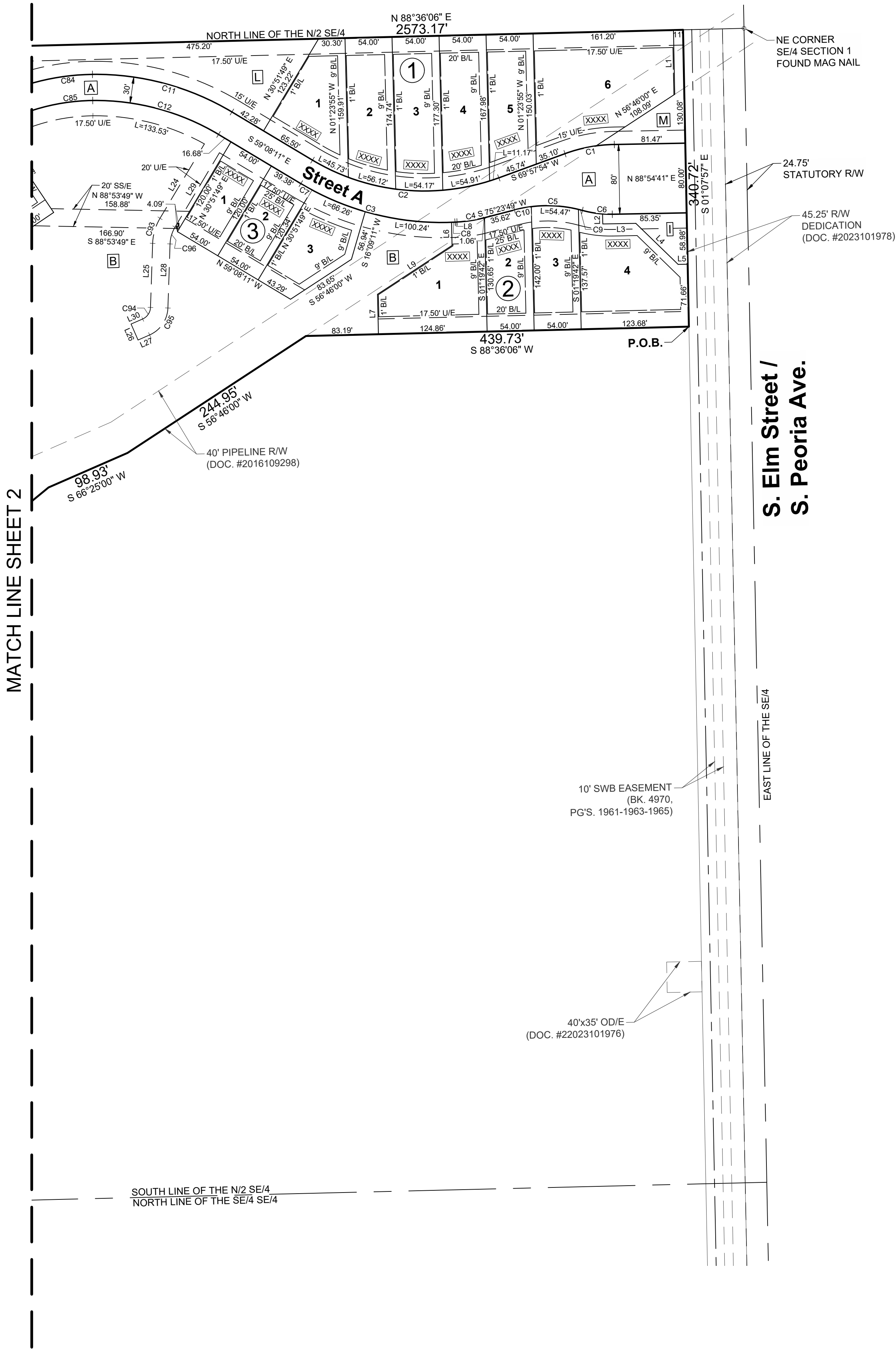
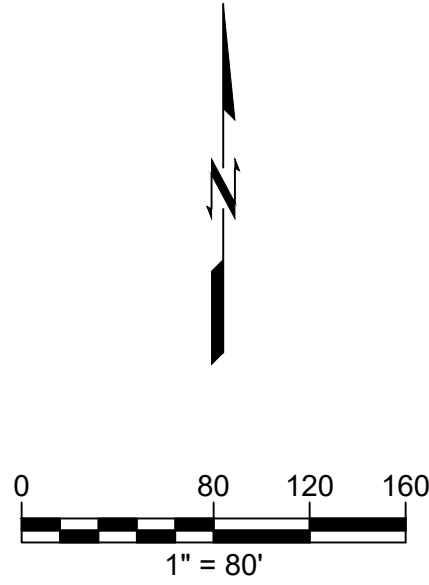
MATCH LINE SHEET 3

PLACE HOLDER CO
RECORDING STAMP

PRELIMINARY PLAT

CROSSVINE

PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST
OF THE INDIAN BASE AND MERIDIAN, CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA



ORIG SIZE:24"x36"

PLOT:12/10/24

\\cvi-server\projects\2340730_Crossvine Residential Subdivision\Drawg\PRODUCTION\Plat\2340730 DOD.dwg

PRELIMINARY PLAT
CROSSVINE

DEED OF DEDICATION AND RESTRICTIVE COVENANTS

2. COMMITTEE PURPOSE. THE ARCHITECTURAL COMMITTEE'S PURPOSE IS TO PROMOTE GOOD DESIGN AND COMPATIBILITY WITHIN THE SUBDIVISION AND IN ITS REVIEW OF PLANS OR DETERMINATION OF ANY WAIVER AS HEREINAFTER AUTHORIZED MAY TAKE INTO CONSIDERATION THE NATURE AND CHARACTER OF THE PROPOSED BUILDING OR STRUCTURE, THE MATERIALS OF WHICH IT IS TO BE BUILT, THE AVAILABILITY OF ALTERNATIVE MATERIALS, THE PROPOSED COLOR SCHEME, THE SITE UPON WHICH IT IS PROPOSED TO BE ERECTED AND THE HARMONY THEREOF WITH THE SURROUNDING AREA. THE ARCHITECTURAL COMMITTEE SHALL NOT BE LIABLE FOR ANY APPROVAL, DISAPPROVAL OR FAILURE TO APPROVE HEREUNDER, AND ITS APPROVAL OF BUILDING PLANS SHALL NOT CONSTITUTE A WARRANTY OR RESPONSIBILITY FOR BUILDING METHODS, MATERIALS, PROCEDURES, STRUCTURAL DESIGN, GRADING OR DRAINAGE OR CODE VIOLATIONS. THE APPROVAL OR FAILURE TO APPROVE BUILDING PLANS SHALL NOT BE DEEMED A WAIVER OF ANY RESTRICTION. NOTHING HEREIN CONTAINED SHALL BE DEEMED TO PREVENT ANY LOT OWNER IN THE SUBDIVISION FROM PROSECUTING ANY LEGAL ACTION RELATING TO IMPROVEMENTS WITHIN THE SUBDIVISION WHICH THEY WOULD OTHERWISE BE ENTITLED TO PROSECUTE.
3. TRANSFER OF DUTIES. THE OWNER MAY ASSIGN THE POWERS AND DUTIES OF THE ARCHITECTURAL COMMITTEE TO THE HOMEOWNERS' ASSOCIATION AT ANY TIME, AT THE DISCRETION OF THE OWNER, BY A WRITTEN INSTRUCTION. UNLESS ASSIGNED TO IT IN WRITING BY THE ARCHITECTURAL COMMITTEE PRIOR TO SUCH TIME, THE POWERS AND DUTIES OF THE ARCHITECTURAL COMMITTEE SHALL BE DEEMED TRANSFERRED TO THE HOMEOWNERS' ASSOCIATION AT SUCH TIME AS THE OWNER (OR ITS SUCCESSOR BY ASSIGNMENT) OWNS NO LOTS OR RESERVE AREAS, AND THEREAFTER THE FOREGOING POWERS AND DUTIES SHALL BE EXERCISED BY THE BOARD OF DIRECTORS OF THE HOMEOWNERS' ASSOCIATION.

B. USE OF LOTS

THE LOTS SHALL BE SUBJECT TO THE FOLLOWING RESTRICTIONS AND LIMITATIONS:

1. USE.
THE USE OF THE LOTS SHALL BE LIMITED TO DETACH SINGLE FAMILY RESIDENCES AND CUSTOMARY ACCESSORY USES.
2. ORIENTATION OF DWELLINGS.
THE ORIENTATION OF THE DWELLING WITHIN A LOT (DIRECTION FACED BY FRONT OF THE DWELLING) SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECTURAL COMMITTEE.
3. GARAGES.
WITHIN EACH LOT THERE SHALL BE PROVIDED A MINIMUM OF 2 PARKING SPACES WITHIN AN ATTACHED GARAGE. GARAGES SHALL BE ENCLOSED, AND CARPORTS ARE PROHIBITED. GARAGE DOORS SHALL BE CONSTRUCTED OF WOOD OR HAVE WOOD VENEER FINISH, AND GLASS IN GARAGE DOORS IS PROHIBITED.
4. FOUNDATIONS.
ANY EXPOSED FOUNDATION SHALL BE BRICK, STONE OR STUCCO. NO STEM WALL SHALL BE EXPOSED.
5. EXTERIOR WALLS.
THE EXTERIOR SURFACE OF THE FIRST STORY OF A DWELLING, EXCEPTING WINDOWS AND DOORS, SHALL BE BRICK, STONE, OR STUCCO. NO STEEL ALUMINUM VINYL OR PLASTIC SIDING SHALL BE PERMITTED. THE ARCHITECTURAL COMMITTEE MAY, IN THE PARTICULAR INSTANCE AND UPON WRITTEN REQUEST, WAIVE THE REQUIREMENTS OF THIS PARAGRAPH 6.
6. WINDOWS.
WINDOWS SHALL BE VINYL, WOOD, OR VINYL CLAD WOOD. ALUMINUM WINDOWS ARE PROHIBITED.
7. ROOF PITCH
NO DWELLING SHALL HAVE A ROOF PITCH OF NOT LESS THAN 6 1/2.
8. ROOFING MATERIALS.
ROOFING FOR A DWELLING SHALL BE COMPOSITION SHINGLES HAVING A MINIMUM THIRTY YEAR LIFE RATING AND SHALL BE WOOD GRAINED IN APPEARANCE SUCH AS TAMKO HERITAGE 30 YEAR SIMULATED "WEATHERED WOOD" SHINGLES. PROVIDED, HOWEVER, THAT IF SUCH ROOFING SHOULD NOT BE REASONABLE AVAILABLE, ALTERNATIVE ROOFING APPROVED BY THE ARCHITECTURAL COMMITTEE SHALL BE PERMITTED UPON DETERMINATION OF THE ARCHITECTURAL COMMITTEE THAT THE ALTERNATIVE IS OF EQUAL OR SUPERIOR QUALITY AND OF A DESIGN AND COLOR COMPATIBLE WITH THE ROOFING MATERIAL ABOVE SPECIFIED. ROOF FLASHING AND VALLEYS SHALL BE BRONZE OR COPPER OR SHALL BE PAINTED TO MATCH THE ROOF OF THE DWELLING. SHEET METAL, ALUMINUM VENTS, FLUE LINER TERMINALS, CHIMNEY CAPS OR OTHER ROOFTOP PROTRUSIONS SHALL BE PAINTED TO MATCH THE ROOF OF THE DWELLING. ROOF MOUNTED EQUIPMENT, INCLUDING BUT NOT LIMITED TO MECHANICAL EQUIPMENT, AIR CONDITIONING AND SOLAR EQUIPMENT, IS PROHIBITED.
9. CHIMNEYS.
THE EXTERIOR SURFACE OF CHIMNEYS SHALL BE SUBJECT TO THE APPROVAL OF THE ARCHITECTURAL COMMITTEE. CHIMNEYS SHALL HAVE A DECORATIVE SHROUD OR CAP, AND ALL CHIMNEY SHROUDS AND CAPS ARE SUBJECT TO THE APPROVAL OF THE ARCHITECTURAL COMMITTEE.
10. DRIVEWAYS.
DRIVEWAYS SHALL BE CONCRETE AND SHALL BE THE SAME COLOR AS THE SIDEWALKS AND CURBS WITHIN THE SUBDIVISION, PROVIDED HOWEVER, THE ARCHITECTURAL COMMITTEE MAY, IN THE PARTICULAR INSTANCE, UPON WRITTEN REQUEST, WAIVE THIS RESTRICTION.
11. FENCING.
FENCING ALONG ARTERIAL STREETS SHALL BE THE PROPERTY OF THE HOMEOWNERS' ASSOCIATION.

FENCING OR WALLS WITHIN A LOT ARE SUBJECT TO THE APPROVAL OF THE ARCHITECTURAL COMMITTEE. FENCING OR WALLS WITHIN A LOT SHALL NOT EXTEND BEYOND THE FRONT BUILDING LINE DEPICTED WITHIN THE ACCOMPANYING PLAT. IF A DWELLING IS BUILT BEHIND THE FRONT BUILDING LINE, NO FENCE MAY EXTEND BEYOND THAT POINT NEAREST THE STREET AT EACH CORNER OF THE FRONT BUILDING WALL OF THE DWELLING. ALL FENCES SHALL BE PRIVACY FENCES CONSTRUCTED OF ORNAMENTAL METAL OR MASONRY AND SHALL BE 6 FEET IN HEIGHT, PROVIDED HOWEVER, THAT THE ARCHITECTURAL COMMITTEE MAY IN THE PARTICULAR INSTANCE, AND UPON WRITTEN REQUEST, WAIVE THE REQUIREMENTS OF THIS PARAGRAPH. ALL FENCE TYPES PROPOSED FOR LOCATION ADJACENT TO RESERVE AREAS, PONDS, AND GREEN BELTS SHALL BE SUBMITTED TO THE ARCHITECTURAL COMMITTEE FOR DETERMINATION AND SHALL NTO BE INSTALLED PRIOR TO APPROVAL OF THE ARCHITECTURAL COMMITTEE.

12. LANDSCAPING OF LOTS; IRRIGATION SYSTEMS.
LANDSCAPING WITHIN A LOT IS SUBJECT TO THE APPROVAL OF THE ARCHITECTURAL COMMITTEE. PRIOR TO THE OCCUPANCY OF A DWELLING, THE OWNER OF THE LOT SHALL HAVE PROFESSIONALLY LANDSCAPED THE FRONT (AND SIDE OF DWELLING ON CORNER LOTS). ENTIRE BACK YARD SHALL BE SODDED.
13. ON-SITE CONSTRUCTION.
NO DWELLING OR BUILDING BUILT OFF-SITE SHALL BE MOVED TO, OR PLACED ON, ANY LOT.
14. OUTBUILDINGS.
OUTBUILDINGS ARE PROHIBITED, PROVIDED HOWEVER, THE ARCHITECTURAL COMMITTEE MAY, IN THE PARTICULAR INSTANCE, WAIVE THIS RESTRICTION.
15. SWIMMING POOLS.
ABOVE GROUND SWIMMING POOLS ARE PROHIBITED.
16. ANTENNAS.
EXTERIOR TELEVISION, RADIO OR OTHER TYPE ANTENNAS INCLUDING SATELLITE DISHES SHALL BE PROHIBITED, PROVIDED HOWEVER THAT ONE SATELLITE DISH NOT EXCEEDING TWO (2) FEET IN DIAMETER, AN IN A LOCATION NOT VISIBLE FROM A PUBLIC OR PRIVATE STREET, SHALL BE PERMITTED WITHIN A LOT.
17. LOT MAINTENANCE.
NO INOPERATIVE VEHICLE OR MACHINERY SHALL BE STORED ON ANY LOT AND EACH LOT SHALL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION FREE OF RUBBISH, TRASH AND OTHER DEBRIS AND SHALL BE CUT, TRIMMED OR MOWED TO PREVENT GROWTH OF WEEDS OR TALL GRASS.
18. RECREATIONAL VEHICLES AND EQUIPMENT.
NO BOATS, RECREATIONAL TRAILERS, PERSONAL WATER CRAFT, CAMPERS, MOTOR HOMES OR OTHER RECREATIONAL VEHICULAR EQUIPMENT, SHALL BE STORED, PLACED OR PARKED ON ANY STREET WITHIN THE SUBDIVISION OR ON ANY LOT, EXCEPT WITHIN AN ENCLOSED GARAGE.

19. TRAILERS, MACHINERY AND EQUIPMENT COMMERCIAL VEHICLES.
NO TRAILERS, MACHINERY OR EQUIPMENT, OR COMMERCIAL VEHICLES, SHALL BE STORED, PLACED OR PARKED ON ANY STREET WITHIN THE SUBDIVISION OR ON ANY LOT, EXCEPT WITHIN AN ENCLOSED GARAGE; PROVIDED HOWEVER, NOTHING HEREIN SHALL PROHIBIT THE PARKING OF VEHICLES, TRAILERS, MACHINERY OR EQUIPMENT WHEN BEING UTILIZED IN CONNECTION WITH SERVICES PERTAINING TO A RESIDENCE IN THE SUBDIVISION; FURTHER PROVIDED THAT NOTHING HEREIN SHALL PROHIBIT THE PARKING OF LIGHT TRUCKS WITHOUT COMMERCIAL SIGNAGE (MAXIMUM 3/4 TON).
20. ALL-TERRAIN VEHICLES AND UNLICENSED MOTOR VEHICLES.
NO ALL-TERRAIN VEHICLES (ATVS) OR UNLICENSED MOTOR VEHICLES SHALL BE OPERATED WITHIN THE SUBDIVISION.
21. BASKETBALL GOALS.
NO BASKETBALL GOALS SHALL BE VISIBLE FROM A PUBLIC OR PRIVATE STREET.
22. ON-STREET PARKING PROHIBITED.
ON-STREET PARKING BY OWNERS OF LOTS OR THEIR TENANTS IS PROHIBITED, PROVIDED THAT THE HOMEOWNERS' ASSOCIATION MAY PERMIT, BY RULES AND REGULATIONS, ON-STREET PARKING DURING OCCASIONAL EVENTS WITHIN THE SUBDIVISION.
23. CLOTHESLINES AND GARBAGE RECEPTACLES.
CLOTHESLINE POLES OR OTHER OUTSIDE DRYING APPARATUS ARE PROHIBITED, AND NO EXPOSED GARBAGE CAN, TRASH CAN OR ANY TRASH BURNING APPARATUS OR STRUCTURE SHALL BE PLACED ON ANY LOT. ALL TRASH CONTAINERS SHALL BE STORED OUT OF PUBLIC VIEW EXCEPT FOR A 12-HOUR PERIOD DURING COLLECTION.
24. MAILBOXES.
MAILBOXES SHALL BE SHARED BETWEEN TWO INDIVIDUAL LOTS. SHARED MAILBOXES SHALL BE PROVIDED BY THE PROPERTY OWNER AT LOCATIONS APPROVED BY THE UNITED STATES POSTAL SERVICE (USPS) AND SHALL BE LOCATED AT A SHARED PROPERTY LINE.
25. ANIMALS.
NO ANIMALS, LIVESTOCK OR POULTRY OF ANY KIND MAY BE MAINTAINED, BRED, SOLD OR KEPT EXCEPT THAT TWO DOGS, TWO CATS AND OTHER HOUSEHOLD PETS MAYBE KEPT PROVIDED THAT THEY ARE NOT USED FOR COMMERCIAL PURPOSED. EXCEPT WHEN ACCOMPANIED BY THE OWNER OF THE LOT, THE OWNER'S FAMILY MEMBER OR GUEST, DOGS SHALL BE KEPT INSIDE THE DWELLING ON THE LOT BETWEEN THE HOURS OF 10:00PM AND 7:00AM.
26. NOXIOUS ACTIVITY.
NO NOXIOUS OR OFFENSIVE TRADE OR ACTIVITY SHALL BE CARRIED OUT UPON ANY LOT NOR SHALL ANYTHING BE DONE THERON THAT MAY BE OR MAY BECOME AN ANNOYANCE OR NUISANCE TO THE NEIGHBORHOOD.
27. SIGNAGE.
NO SIGN OF ANY KIND SHALL BE DISPLAYED TO THE PUBLIC VIEW ON ANY LOT EXCEPT ON SIGN OF NOT MORE THAN 5 SQUARE FEET ADVERTISING THE PROPERTY FOR SALE OR RENT OR SIGNS USED BY THE OWNER/DEVELOPER OR A BUILDER TO ADVERTISE THE PROPERTY DURING THE CONSTRUCTION AND SALES PERIOD.
28. MATERIALS AND STORAGE.
NO LOT SHALL BE USED FOR THE STORAGE OF MATERIALS FOR A PERIOD OF GREATER THAN THIRTY (30) DAYS PRIOR TO THE START OF CONSTRUCTION AND THE CONSTRUCTION SHALL BE COMPLETED WITHIN SIX (6) MONTHS THEREAFTER. EACH LOT SHALL BE MAINTAINED IN A NEAT AND ORDERLY CONDITION.
29. MAINTENANCE ACCESS TO INDIVIDUAL LOTS.
EACH INDIVIDUAL LOT OWNER SHALL GRANT A MAINTENANCE ACCESS ON THE NINE FOOT BUILDING LINE SIDE OF THEIR LOT FOR THE PURPOSES OF ROUTINE MAINTENANCE AND REPAIRS TO THE NEIGHBOR AS ACCESS TO THEIR HOME. THE NEIGHBORING LOT OWNER SHALL PROVIDE FORTY- EIGHT (48) HOUR WRITTEN NOTICE TO THE ADJACENT OWNER PRIOR TO ANY MAINTENANCE ACTIVITIES.
30. PRIVATE WALL EASEMENT.
EACH INDIVIDUAL LOT OWNER SHALL GRANT A WALL EASEMENT ACROSS THE 1' BUILDING SETBACK FOR THE PURPOSE OF CONNECTING A FENCE OR MASONRY WALL TO THE HOUSE PROVIDING A FULLY ENCLOSED YARD.

SECTION VII. ENFORCEMENT, DURATION, AMENDMENT AND SEVERABILITY

- A. ENFORCEMENT
THE RESTRICTIONS HEREIN SET FORTH ARE COVENANTS TO RUN WITH THE LAND AND SHALL BE BINDING UPON THE OWNER, ITS SUCCESSORS AND ASSIGNS. WITHIN THE PROVISIONS OF SECTION I. PUBLIC STREETS, EASEMENTS AND UTILITIES ARE SET FORTH CERTAIN COVENANTS AND THE ENFORCEMENT RIGHTS PERTAINING THERETO, AND ADDITIONALLY THE COVENANTS WITHIN SECTION 2. WHETHER OR NOT SPECIFICALLY THEREIN SO STATED SHALL INSURE TO THE BENEFIT OF AND SHALL BE ENFORCEABLE BY THE CITY OF JENKS, OKLAHOMA. THE COVENANTS CONTAINED IN SECTION II. PLANNED UNIT DEVELOPMENT RESTRICTIONS ARE ESTABLISHED PURSUANT TO THE PLANNED UNIT DEVELOPMENT PROVISIONS OF THE CITY OF JENKS ZONING CODE AND SHALL INSURE TO THE BENEFIT OF AND SHALL BE ENFORCEABLE BY THE CITY OF JENKS, STATE OF OKLAHOMA, ANY OWNER OF A LOT AND THE HOMEOWNERS' ASSOCIATION. IF THE UNDERSIGNED OWNER, OR ITS SUCCESSORS OR ASSIGNS, SHALL VIOLATE ANY OF THE COVENANTS WITHIN SECTION II., IT SHALL BE LAWFUL FOR THE CITY OF JENKS, STATE OF OKLAHOMA, ANY OWNER OF A LOT OR THE HOMEOWNERS' ASSOCIATION TO MAINTAIN ANY ACTION AT LAW OR IN EQUITY AGAINST THE PERSON OR PERSONS VIOLATING OR ATTEMPTING TO VIOLATE ANY SUCH COVENANT, TO PREVENT HIM OR THEM FROM SO DOING OR TO COMPEL COMPLIANCE WITH THE COVENANT. THE COVENANTS CONTAINED IN SECTION III. SIDEWALKS, SECTION IV. FENCE AND LANDSCAPE EASEMENT, SECTION V. HOMEOWNERS' ASSOCIATION AND SECTION VI. PRIVATE RESTRICTIONS AND COVENANTS SHALL INSURE TO THE BENEFIT OF ANY OWNER OF A LOT AND THE HOMEOWNERS' ASSOCIATION. IF THE UNDERSIGNED OWNER OR ITS SUCCESSORS OR ASSIGNS, SHALL VIOLATE ANY OF THE COVENANTS WITHIN SECTIONS III, IV, V, OR VI, IT SHALL BE LAWFUL FOR ANY OWNER OF A LOT OR THE HOMEOWNERS' ASSOCIATION TO MAINTAIN ANY ACTION AT LAW OR IN EQUITY AGAINST THE PERSON OR PERSONS VIOLATING OR ATTEMPTING TO BROUGH TO ENFORCE THE COVENANTS ESTABLISHED WITHIN THIS DEED OF DEDICATION, THE DEFENSE THAT THE PARTY INITIATING THE EQUITABLE PROCEEDING HAS AN ADEQUATE REMEDY AT LAW IS HEREBY WAIVED. IN ANY JUDICIAL ACTION BROUGHT BY ANY OWNER OF A LOT OR THE ASSOCIATION WHICH ACTION SEEKS TO ENFORCE THE COVENANTS CONTAINED IN SECTIONS III, IV, V, OR VI AND/OR TO RECOVER DAMAGES FOR THE BREACH THEREOF, THE PREVAILING PARTY SHALL BE ENTITLED TO RECEIVE REASONABLE ATTORNEY FEES AND COSTS AND EXPENSES INCURRED IN SUCH ACTION.
- B. DURATION
THESE RESTRICTIONS, TO THE EXTENT PERMITTED BY APPLICABLE LAW, SHALL BE PERPETUAL BUT IN ANY EVENT SHALL BE IN FORCE AND EFFECT FOR A TERM OF NOT LESS THAN THIRTY (30) YEARS FROM THE DATE OF THE RECORDING OF THIS DEED OF DEDICATION UNLESS TERMINATED OR AMENDED AS HEREINAFTER PROVIDED.
- C. AMENDMENT
THE COVENANTS CONTAINED WITHIN SECTION I. PUBLIC STREET, EASEMENTS AND UTILITIES MAY BE AMENDED OR TERMINATED AT ANY TIME BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER OF THE LAND TO WHICH THE AMENDMENT OR TERMINATION IS TO BE APPLICABLE AND APPROVED BY THE CITY OF JENKS PLANNING COMMISSION, OR ITS SUCCESSORS, AND THE CITY OF JENKS, STATE OF OKLAHOMA. THE COVENANTS CONTAINED WITHIN SECTION III. SIDEWALKS, SECTION IV. FENCE AND LANDSCAPE EASEMENT, SECTION IV. HOMEOWNERS' ASSOCIATION OR SECTION V. PRIVATE RESTRICTIONS AND COVENANTS MAY BE AMENDED OR TERMINATED AT ANY TIME A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNER DURING SUCH PERIOD THAT THE OWNER/DEVELOPER IS THE RECORD OWNER OF AT LEAST 1 LOT OR ALTERNATIVELY, THE COVENANTS AND RESTRICTIONS MAY BE AMENDED OR TERMINATED BY A WRITTEN INSTRUMENT SIGNED AND ACKNOWLEDGED BY THE OWNERS OF NOT LESS THAN 60% OF THE LOTS. IN THE EVENT OF ANY CONFLICT BETWEEN AN AMENDMENT OR TERMINATION PROPERLY EXECUTED BY THE OWNER/DEVELOPER (DURING ITS OWNERSHIP OF AT LEAST 1 LOT) AND ANY AMENDMENT PROPERLY EXECUTED BY THE OWNERS OF 60% OF THE LOTS, THE INSTRUMENT EXECUTED BY THE OWNER/DEVELOPER SHALL PREVAIL. THE PROVISIONS OF ANY INSTRUMENT AMENDING OR TERMINATING COVENANTS AND RESTRICTIONS SHALL BE EFFECTIVE FROM AND AFTER THE DATE IT IS PROPERLY RECORDED.
- D. SEVERABILITY
INVALIDATION OF ANY RESTRICTION SET FORTH HEREIN, OR ANY PART THEREOF, BY AN ORDER, JUDGMENT, OR DECREE OF ANY COURT, OR OTHERWISE, SHALL NOT INVALIDATE OR AFFECT ANY OF THE OTHER RESTRICTIONS OR ANY PART THEREOF AS SET FORTH HEREIN, WHICH SHALL REMAIN IN FULL FORCE AND EFFECT.

IN WITNESS WHEREOF, OWNER/DEVELOPER HAS EXECUTED THIS INSTRUMENT THIS ____ DAY OF _____, 2024.
131 ELM LLC.,

BY: _____
BRAD HOFFMAN, OWNER

STATE OF OKLAHOMA)
) SS.
COUNTY OF TULSA)

THIS INSTRUMENT WAS ACKNOWLEDGED BEFORE ME ON THIS ____ DAY OF _____, 2024, BY BRAD HOFFMAN AS OWNER OF CROSSVINE.

NOTARY PUBLIC

MY COMMISSION EXPIRES: _____

MY COMMISSION NUMBER IS: _____

CERTIFICATE OF SURVEY

I, ANDY FRITZ, OF FRITZ LAND SURVEYING, LLC., A LICENSED PROFESSIONAL LAND SURVEYOR IN THE STATE OF OKLAHOMA, DO HEREBY CERTIFY THAT I HAVE CAREFULLY AND ACCURATELY SURVEYED, SUBDIVIDED, AND PLATTED THE TRACT OF LAND DESCRIBED ABOVE, AND THAT THE ACCOMPANYING PLAT DESIGNATED HEREIN AS "CROSSVINE", A SUBDIVISION IN THE CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA, IS A TRUE REPRESENTATIVE OF THE SURVEY MADE ON THE GROUND USING GENERALLY ACCEPTED PRACTICES, AND MEETS OR EXCEEDS THE OKLAHOMA MINIMUM STANDARDS FOR THE PRACTICE FO LAND SURVEYING AS ADOPTED.



ANDY FRITZ, PLS
OK LIC. 1694
CA #5848

STATE OF OKLAHOMA)
) SS.
COUNTY OF TULSA)

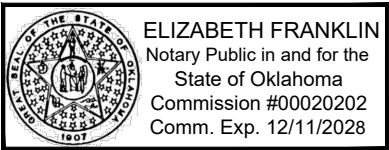
BEFORE ME THE UNDERSIGNED, A NOTARY PUBLIC IN AND FOR SAID COUNTY AND STATE, ON THIS ____ DAY OF _____, 2024, PERSONALLY APPEARED ANDY FRITZ, TO ME KNOWN TO BE THE IDENTICAL PERSON WHO SUBSCRIBED HIS NAME AS A LICENSED LAND SURVEYOR TO THE FOREGOING CERTIFICATE OF SURVEY AND ACKNOWLEDGED TO ME THAT HE EXECUTED THE SAME AS HIS FREE AND VOLUNTARY ACT AND DEED FOR THE USES AND PURPOSES THEREIN SET FORTH.

NOTARY PUBLIC

MY COMMISSION EXPIRES: 12/11/2028

MY COMMISSION NUMBER: 00020202

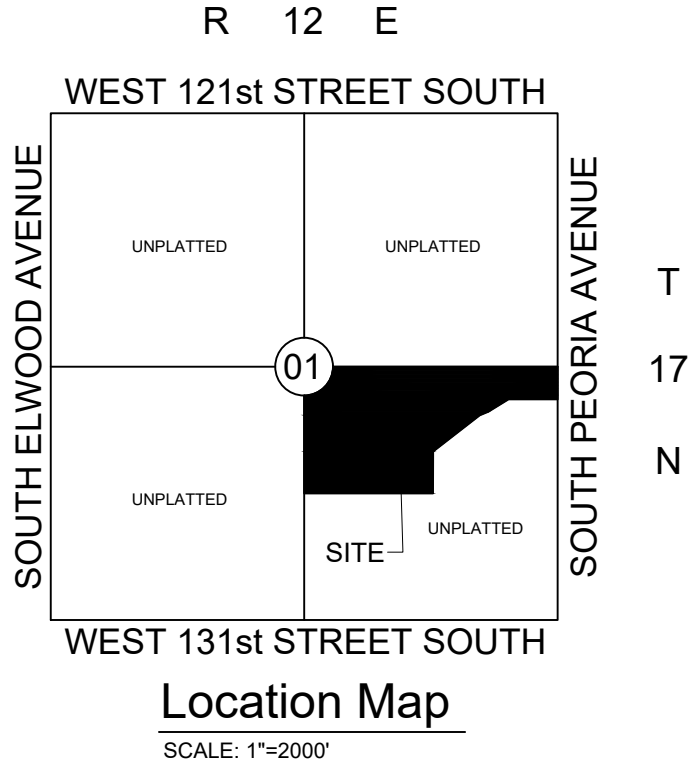
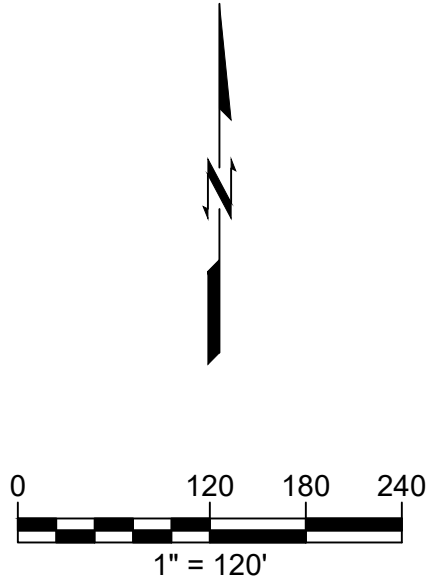
[SEAL]



CONCEPTUAL IMPROVEMENTS PLAN

CROSSVINE

PART OF THE SOUTHEAST QUARTER (SE/4) OF SECTION ONE (1), TOWNSHIP SEVENTEEN (17) NORTH, RANGE TWELVE (12) EAST
OF THE INDIAN BASE AND MERIDIAN, CITY OF JENKS, TULSA COUNTY, STATE OF OKLAHOMA



LEGEND	
B/L	= BUILDING SETBACK
ACC	= ACCESS
LNA	= LIMITS OF NO ACCESS
R/W	= RIGHT-OF-WAY
U/E	= UTILITY EASEMENT
	EXISTING WATER
	PROPOSED WATER
	EXISTING SANITARY SEWER
	PROPOSED SANITARY SEWER
	PROPOSED STORM SEWER

To	Chair Scott West and Planning Commission
Hearing Date	January 09, 2025
Case Number	JZ 24-697
Location	515 W Aquarium
Request	<i>Recommendation of a rezoning from RS3 (Residential Single-family) to CS (Commercial Shopping)</i>

Staff Report

Preparer | Marcaé Hilton

Attachments
PUBLIC NOTICE

Preparer
INCOG, CITY CLERK

Background Information

STAFF COMMENTARY

This request is from the potential buyer, who plans to build an office. Approving this request will allow for Office Uses and other Commercial Shopping Uses.

ZONING	RS3 (RESIDENTIAL SINGLE-FAMILY)
REQUEST	REZONE TO CS (COMMERCIAL SHOPPING)
ACCOUNT	60525831904330
OWNER	DILLS, SHEILA L
ADDRESS	515 W AQUARIUM PL S
ZONING	RS-3, RESIDENTIAL SINGLE-FAMILY
SUBDIVISION	JENKS-ORIGINAL TOWN (RESIDENTIAL SUBDIVISION)
	LEGAL: LTS 21 22 BLK 45
LAND AREA	0.16 ACRES / 7,000 SQ FT
SCHOOL	JENKS JK-5A
STR	SECTION: 19 TOWNSHIP: 18 RANGE: 13
COUNCIL WARD	1 John Brown

Evaluation The request meets the intent of the Comprehensive Plan and Land Use Map.

Surrounding Zoning:

- North, West, South: CS (Commercial Shopping)
- East: CH (Commercial Heavy | legacy district)

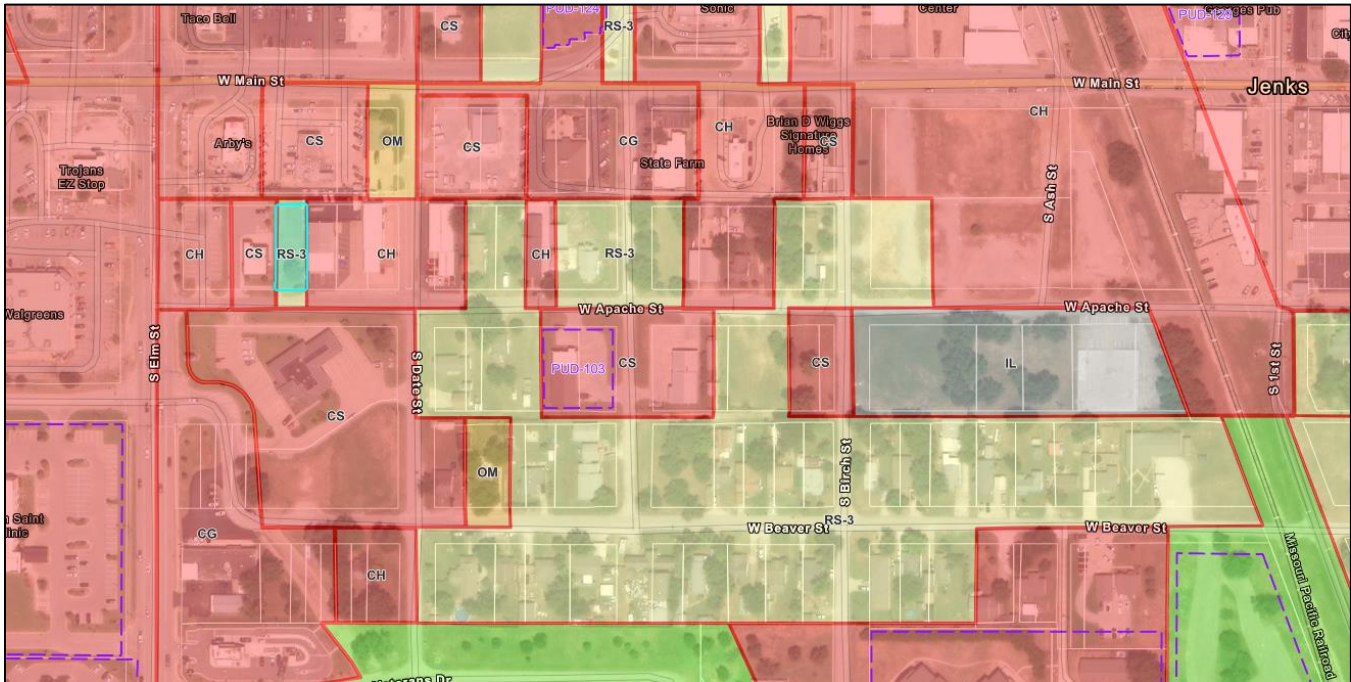


Figure 1: INCOG Zoning Map



Figure 2: Comprehensive Land Use Plan



Figure 3: Web image of lot. (W. Apache St. is Aquarium Place)

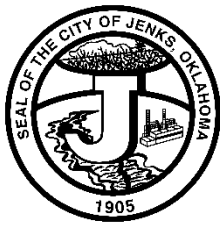


Figure 4: Web image of facing west. (W. Apache St. is Aquarium Place)



Figure 5: Web image facing east. (W. Apache St. is Aquarium Place)

RECOMMENDATION | Staff recommends approval of this rezoning request to CS (Commercial Shopping).



CITY OF JENKS
211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
PHONE (918) 299-5883 • FAX (918) 299-4489

**NOTICE OF A PUBLIC HEARING
LOCATED IN THE CITY OF JENKS, OKLAHOMA**

Case Number: JZ 25-697

Request: Zone Change

Request for a zone change from RS-3 (Residential) to CS (Commercial Shopping)

Legal Description: Lots 21 and 22 Block 45, Original Town of Jenks, OK

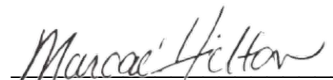
General Location: 515 W Aquarium Pl

Hearing Date: 9 January 2025 at 6 p.m.

Location: Jenks City Hall, 211 N Elm St, Jenks, OK 74037

All persons interested in this matter may appear at these hearings and present their objections to or arguments for any of the above matters.

Dated at Jenks Oklahoma on 4 December 2024.



Marcae Hilton, Secretary
Jenks Planning Commission

