

AGENDA
JENKS PLANNING COMMISSION
6:00 P.M. THURSDAY, APRIL 07, 2022
JENKS CITY HALL
211 NORTH ELM STREET, JENKS, OKLAHOMA 74037

I. CALL TO ORDER

II. ROLL CALL

III. BUSINESS

Official action can only be taken on items which appear on the agenda. The Planning Commission may adopt, approve, ratify, deny, defer, recommend, amend, strike, or continue any agenda item (except for Item 1).

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under "Consent" are considered by the Commission to be routine and will be enacted by one motion. Any Commissioner may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)

- 1.A. Approve minutes of regular meeting on March 03, 2022

Documents:

[2022.03.03 PC MINUTES.PDF](#)

- 1.B. Approve JL-22-367: request by Paul Foster for a lot split. General Location: 2101 W 101st St

Documents:

1. [SR.JL 22-367 2101 W 101ST ST.PDF](#)
2. [SURVEY.PDF](#)

- 1.C. Approve JZ 22 PUD 84.mi1 - Request by Bell Land Use, LLC for approval of a minor amendment to PUD 84 to allow for driveway access from exterior side yards.

Documents:

1. [SR.JZ 22PUD 84.MI1.PC.PDF](#)
2. [PUD AMENDMENT SUPPLEMENT.PDF](#)
3. [ELM RIDGE FINAL PLAT.PDF](#)
4. [PUD MINOR APPLICATION JENKINS.PDF](#)
5. [ELM RIDGE FINAL PLAT PG 2.PDF](#)

2. Consideration and appropriate action relating to items removed from the Consent Agenda

3. JZ 22 PUD 120.ma1 - Request by Bell Land Use LLC for approval of a major amendment to PUD 120 to allow for health club uses and General Services.

Documents:

1. SR.JZ 22PUD120MA1.PC 4.7.22.PDF
2. PUBLIC NOTICE - JZ 22 PUD 120.MA1 - 813 E B ST.PDF
3. PUD120.MA1.HEALTH CLUB.UU19.PDF
4. PUD 120 MAI.AMENDED.PDF
5. LTR TO JENKS PUD 120.AMENDMENT 033122.PDF
6. FIDLER ACRE.PRELIMINARY PLAT.PDF
- 6.2 FIDLER ACRE FP.PDF
- 6.3 FIDLER ACRE SITE PLAN.PDF

4. Comprehensive Plan Amendments: Discussion and recommendation on quarterly amendment request (PA 22 22 through 24) to the Comprehensive Plan Land Use Map to better align areas with long-term development plans for 6 areas in Jenks.

Documents:

1. SR.PA 22. QUARTERLY AMENDMENT.PDF
2. PA 22-20.REQUEST.PDF
3. PUBLIC NOTICE - PA 22-20 - 141ST AND ELM.PDF
4. PA 22-21 IMEL (1).PDF
5. PA 22-21 IMEL (2).PDF
6. PUBLIC NOTICE - PA 22-22 - 121ST AND HWY 75.PDF
7. PUBLIC NOTICE - PA 22-23 - 13100 S PEORIA.PDF
8. PUBLIC NOTICE - PA 22-24.PDF

IV. OTHER BUSINESS

1. Planning Updates

V. ADJOURNMENT

MINUTES
JENKS PLANNING COMMISSION
6:00 P.M. THURSDAY, MAY 03, 2022
COUNCIL CHAMBERS, JENKS CITY HALL, 211 NORTH ELM STREET

The Jenks Planning Commission was called to order at 6:00 p.m. on January 06, 2022, by Chair Carol Minden. A roll call vote of members was taken as follows:

Present

John Brown
Scott West
Leon Davis
David Randolph
Jeffrey Beyer
Chair Carol Minden

Absent

Craig Bowman

Other Business

1. Unified Development Ordinance: Public Comments and Discussion. Planning Director Marcaé Hilton introduced Item 1 of Other Business. The following individuals gave comments on the Unified Development Ordinance and the proposed rezonings:

- Chris Hobson (815 E Beaver St)
- Kevin Bodenhamer (203 E Beaver St)
- Angie Statum (412 E Beaver St)
- Donna Williams (401 E 111th St S)
- Kevin Holland (8209 S Newhaven, Tulsa)
- Julie Spears (508 E Beaver St)
- Ronda Bender
- Mark Bender
- Sam Roop
- Stephen Gray
- Sam Alton
- Don Keenan
- Tom Anderson
- Karen Anderson (*Karen Anderson played an audio clip during her time*)
- Candy Parnell
- Dave Puckett
- Wayne Parker
- Scot Willis
- Charla Kennedy
- Richard Williams
- Judith Rooeh

John Brown made a motion to take a quick break. David Randolph seconded the motion. A roll call vote of members was taken as follows:

YEA: Brown, West, Davis, Randolph, Beyer, Minden

NAY: None

The commission took a break at 7:21 p.m. and returned at 7:29 p.m.

John Houseal and Jackie Wells from Houseal Lavigne (who were in attendance virtually) spoke and addressed some of the concerns stated from the citizens.

Business

Official action can only be taken on items which appear on the agenda. The Planning Commission may adopt, approve, ratify, deny, defer, recommend, amend, strike, or continue any agenda item (except for Item 1).

1. Consideration and appropriate action relating to a request for approval of the Consent Agenda. (All matters listed under "Consent" are considered by the Commission to be routine and will be enacted by one motion. Any Commissioner may, however, remove an item from the Consent Agenda by request. A motion to adopt the Consent Agenda is non-debatable.)
 - 1.A. Request to approve minutes of the January 06, 2022
 - 1.B. Approve ROW-UEC 22-80: Request by Erik Enyart for a utility easement closure. General Location: Block 5 of Hickory Creek of Jenks
 - 1.C. Approve JZ 22 PUD 61A.mi1: Request by Oasis Pools for approval of side-yard build line reduction for from 10 feet to 5 feet for a pool. General Location 12810 S Birch St
 - 1.D. Approve JZ 22 PUD 117.mi1: Request by Tom Neal for approval of a front build line reduction on two properties in Yorktown Blocks 50-52. General Location: 223 W 130th St S
 - 1.E. Approve JZ 22 PUD 112.mi2: Request by Carolina Olphert for approval of modification to required building materials in South County Crossing. General Location: 1081 W 121st St

Scott West made a motion to approve Item 1. Leon Davis seconded the motion. A roll call vote of members was taken as follows:

YEA: Brown, West, Davis, Randolph, Beyer, Minden

NAY: None

Motion carried.

2. Consideration and appropriate action relating to items removed from the Consent Agenda
Withdrawn
3. JZ 22 PUD 132.ma1: Request by Ryan McCarty to establish a new boundry, rezone a new parcel, and add the PUD overlay for office warehouse and other uses. General Location: N of 121st between Elwood and Elm Planning Director Marcaé Hilton

presented the staff report for Item 3 and answered questions. *Scott West left at 7:49 and returned at 7:51.* Ryan McCarty (applicant) addressed the Commission about the application and answered questions. Jeffrey Beyer made a motion to approve Item 3 with the notes listed in the staff report. David Randolph seconded the motion. A roll call vote of members was taken as follows:

YEA: Brown, West, Davis, Randolph, Beyer, Minden

NAY: None

Motion carried.

Z 22 PUD 134: Request by JR Donelson for a Planned Unit Development and a rezone from RS-2 (Residential Single-family) to RM-2 (Residential Multi-family) to allow for townhomes. General Location: 504 E “C” St Planning Director Marcaé Hilton introduced Item 4 and answered questions. JR Donaldson (applicant) spoke and answered questions about the project. Kara Foreo (713 E “E” St) had questions about safety and parking sight triangles. John Brown made a motion to approve Item 4 with staff conditions. Jeffrey Beyer seconded the motion. A roll call vote of members was taken as follows:

YEA: Brown, West, Davis, Randolph, Beyer, Minden

NAY: None

4. Motion carried.

Planning Update – Planning Director Marcaé Hilton gave the Planning Update and answered questions.

Adjournment. David Randolph made a motion to adjourn. Jeffrey Beyer seconded the motion. A roll call vote of members was taken as follows:

YEA: Brown, West, Davis, Randolph, Beyer, Minden

NAY: None

Motion carried. The Jenks Planning Commission adjourned at 8:22 p.m.

To	Planning Commission
Hearing Date	April 07, 2022
Case Number	JL 22-367
Request	Lot Split
Location	2101 W 101 st St
Applicant	Paul Foster

Staff Report

Preparer | Marcaé Hilton, BM

Attachments

☐ Lot Split Exhibit and Legal Description

Preparer

Paul Foster

Background Information

STAFF COMMENTARY | Mr. Foster approached the City to request a lot split of his property. The property is roughly 40 acres near HWY 75, and he is selling the eastern 30 acres. The area is unique, as part of the property is within Tulsa County and is not annexed into the City. The split is happening at the boundary of the non-annexed Tulsa County line and the City of Jenks "city limits". Mr. Foster is keeping the western 10 acres, which is where he currently resides.

PLANNING DATA

Public Comment None | no notice is given to public for Lot Split cases

Zoning Agriculture

Use Residential

General Location North of 101st and West of HWY 75

Lot 7 Data Parcel ID 98222822260110

Property Address 2101 W 101st St

Legal E/2 E/2 SW SE & W/2 SE SE & W/2 E/2 SE SE SEC 22
18 12 40.00ACS

Gross Acres 40

- EVALUATION** Staff believes the Lot Split is in compliance with all City requirements. Approval of the lot split is necessary for a clear title.
- CONDITIONS**
- 1) Submit Deeds to be stamped by City Planner before applicant files Deeds with Tulsa County.
 - 2) Provide City Planner with copy of recorded Deeds

RECOMMENDATION: *Staff recommends approval of JL 21-367 as presented.*

Figure 1: Zoning Map | INCOG

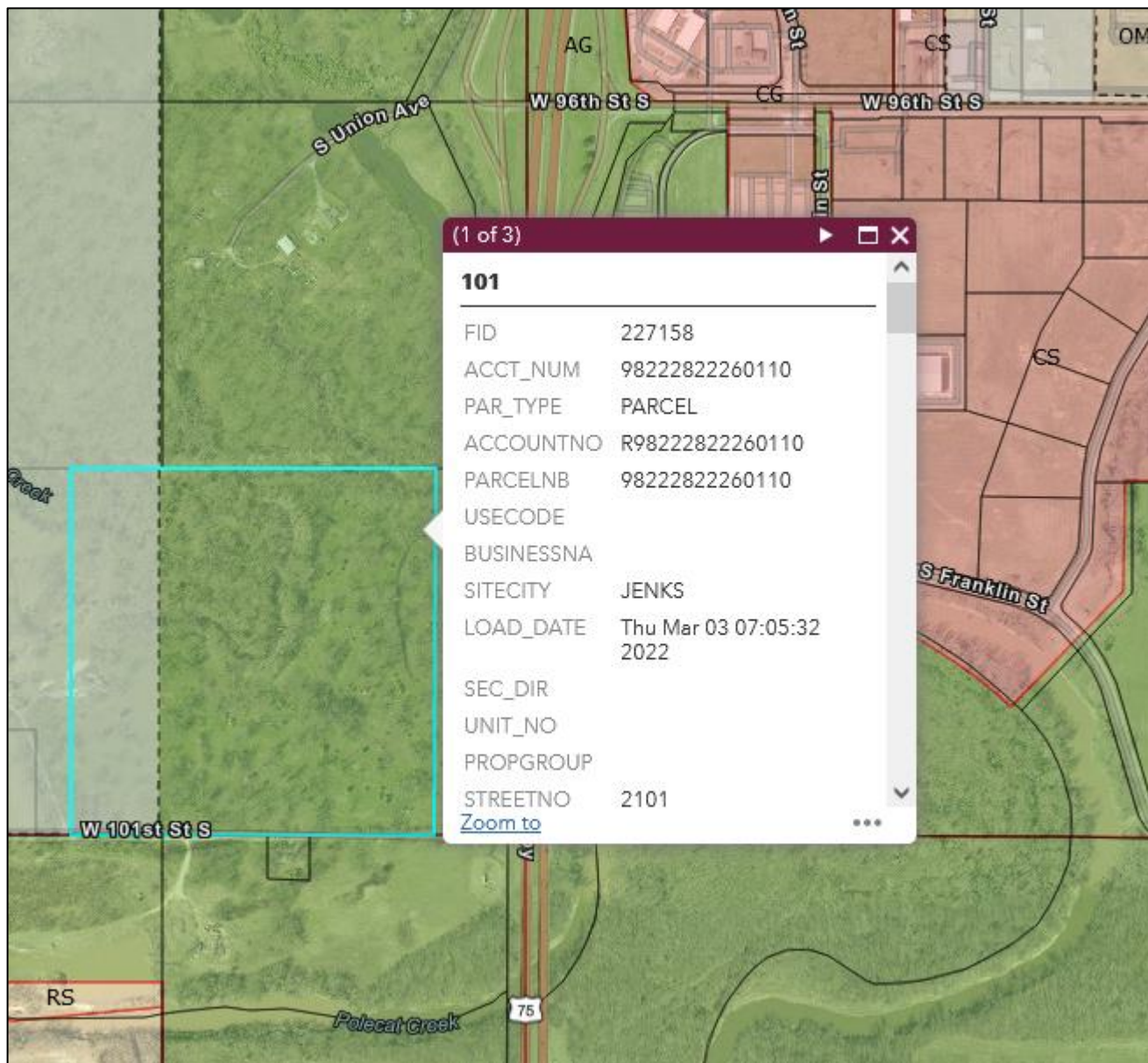


Figure 2: Google Earth view



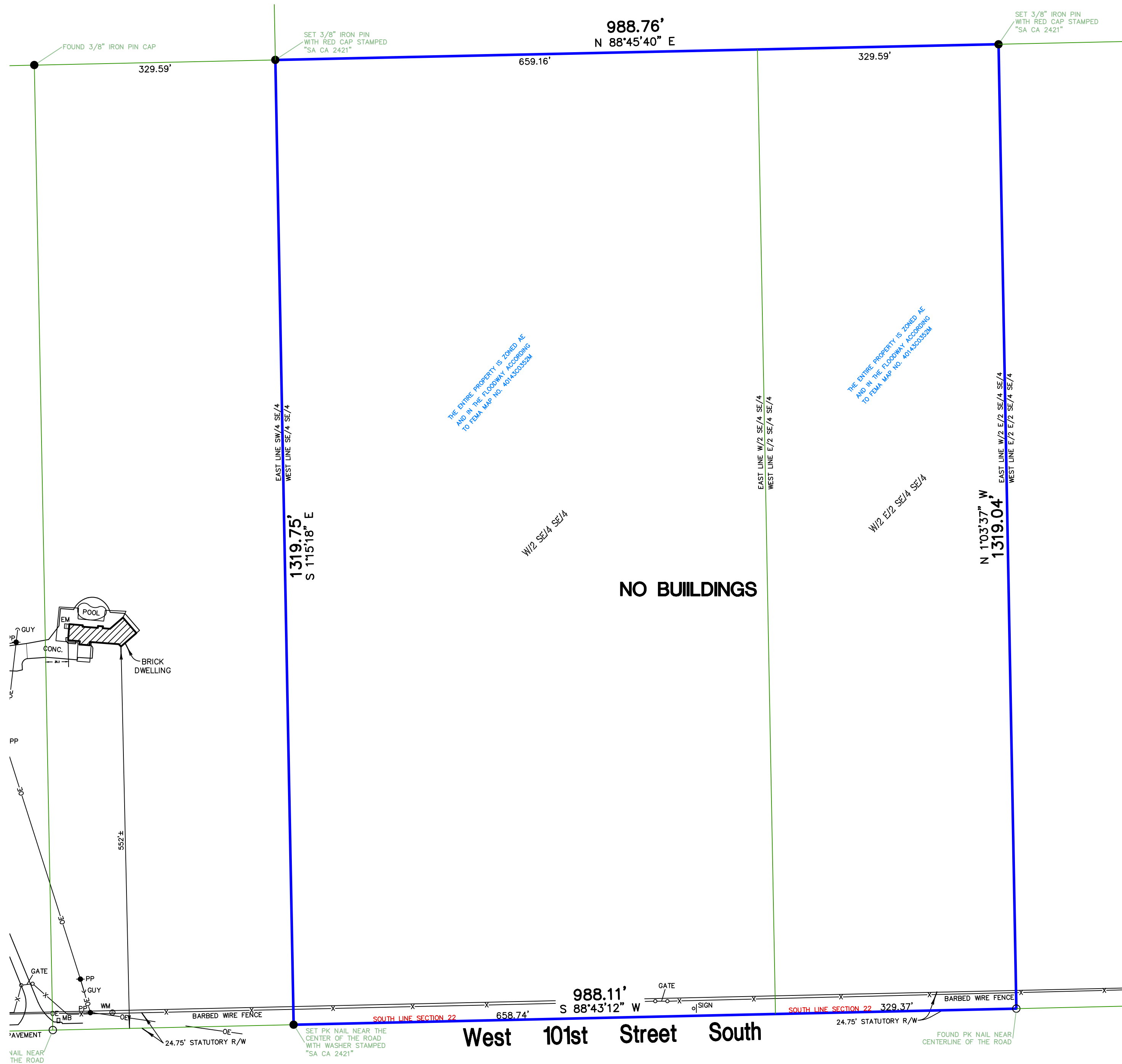
DRAWING: K:\16088.02\16088.02 new boundary.dwg SISEMORE & ASSOCIATES, INC., 2022

Miscellaneous Notes

- A. ABSTRACT OF TITLE OR ATTORNEY'S TITLE OPINION NOT AVAILABLE TO SURVEYOR AT DATE OF SURVEY.
- B. THIS FIRM WAS NOT CONTRACTED TO RESEARCH EASEMENTS OR ENCUMBRANCES OF RECORD. NO ATTEMPT TO RESEARCH THE COUNTY RECORDS OR OTHER RECORD OFFICES WAS PERFORMED BY THIS FIRM, THEREFORE EASEMENTS MAY AFFECT THE SUBJECT TRACT THAT ARE NOT REFLECTED BY THIS PLAT.
- C. NO UNDERGROUND UTILITIES ARE SHOWN HEREON, CALL OKIE 811 AT LEAST 48 HOURS PRIOR TO DIGGING
- D. THE PROPERTY DESCRIBED HEREON CONTAINS 29.94 ACRES MORE OR LESS.
- E. THE BEARING BASE FOR THIS SURVEY IS ASSUMED USING THE OKLAHOMA STATE PLANE COORDINATE SYSTEM NAD83 (ZONE 3501) THE SOUTH LINE OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER OF SECTION 22 HAVING A BEARING OF S88°43'12"W.
- G. WE HAVE EXAMINED A MAP BY THE FEDERAL EMERGENCY MANAGEMENT AGENCY, FLOOD INSURANCE RATE MAP, TULSA COUNTY, OKLAHOMA AND INCORPORATED AREAS, MAP NO. 40143C0352M, MAP REVISED: SEPTEMBER 12, 2016, WHICH SHOWS THE ENTIRE PORTION OF THE PROPERTY DESCRIBED HEREON AS LOCATED IN ZONE (AE) FLOODWAY WHICH IS CLASSIFIED AS AREAS DETERMINED TO BE INSIDE THE SPECIAL FLOOD HAZARD AREA. (PER: <https://msc.fema.gov/portal/>)
- H. NOT ALL IMPROVEMENTS ARE SHOWN HEREON

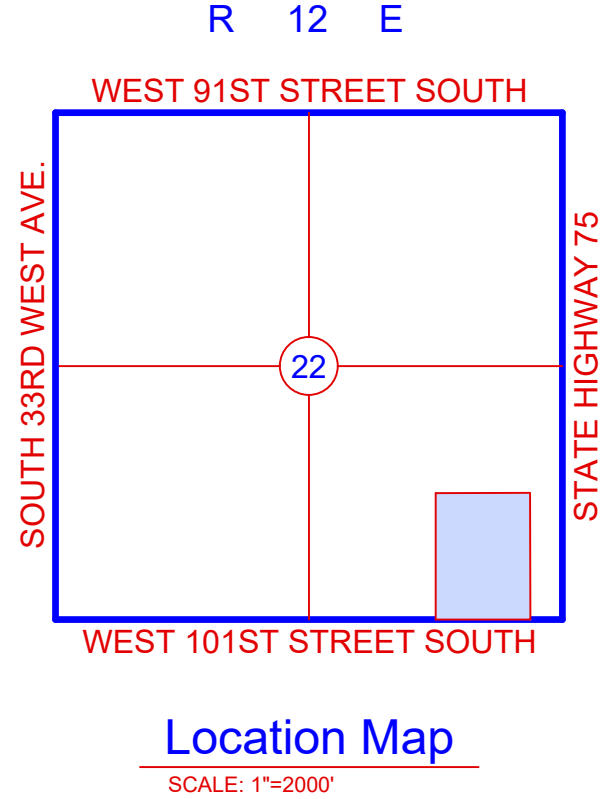
Legal Description

THE WEST HALF OF THE SOUTHEAST QUARTER OF THE SOUTHEAST QUARTER (W/2, SE/4, SE/4), AND THE WEST HALF OF THE EAST HALF OF THE SOUTHEAST QUARTER (W/2, E/2, SE/4, SE/4) OF THE SOUTHEAST QUARTER OF SECTION TWENTY-TWO (22), TOWNSHIP EIGHTEEN (18) NORTH RANGE TWELVE (12) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT SURVEY THEREOF.



Legend

- ACC ACCESS
A/C AIR CONDITIONER
AS AUTO SPRINKLER
BLDG BUILDING
B/L BUILDING SETBACK LINE
BW BOTTOM OF WALL
CA CENTRAL ANGLE
CB CHORD BEARING
CD CHORD DISTANCE
COMP CORRUGATED METAL PIPE
CL CENTERLINE
CO SEWER CLEAN-OUT
CONC CONCRETE
CPED CABLE TELEVISION PEDESTAL
DGM DOUBLE GRATE DROP INLET
DS DOWNSPOUT
EB ELECTRIC BOX
EM ELECTRIC METER
EPED ELECTRIC PEDESTAL
ESMT EASEMENT
FDC FIRE DIRECT CONNECTION
FF FINISH FLOOR
FH FIRE HYDRANT
FL FLOWLINE (INVERT)
FNC FENCE
FND FOUND
FP FLAGPOLE
G GUTTER
GL GROUND LIGHT
GM GAS METER
GP GUARD POST
GR GAS RISER
GUY GUY DOWN
GV GAS VALVE
ICV IRRIGATION CONTROL VALVE
IP IRON PIN
LNA LIMITS OF NO ACCESS
LP LIGHT POLE
MA/E MUTUAL ACCESS EASEMENT
MB MAIL BOX
ML METAL LID
MW MONITOR WELL
OC OVERHEAD CABLE
OE OVERHEAD ELECTRIC
OT OVERHEAD TELEPHONE
OU OVERHEAD UTILITIES
PP POWER POLE
PPT POWER POLE W/ TRANSFORMER
PVC POLYVINYL CHLORIDE PIPE
RCB REINFORCED CONCRETE BOX
RCP REINFORCED CONCRETE PIPE
RR RAILROAD
R/W RIGHT-OF-WAY
SC SUPPORT COLUMN
SD STORM DRAIN
SDMH STORM DRAIN MANHOLE
SDSI SINGLE GRATE DROP INLET
SPHD SPRINKLER HEAD
SS SANITARY SEWER
SSLH SANITARY SEWER LAMPHOLE
SSMH SANITARY SEWER MANHOLE
TC TOP OF CURB
TG TOP OF INLET GRATE
TODI TRIPLE GRATE DROP INLET
TH TOP OF HEADWALL
TP TOP OF PAVING
TPED TELEPHONE PEDESTAL
TR TOP OF MANHOLE RIM
TSMH TRAFFIC SIGNAL MANHOLE
TRSL TRAFFIC SIGNAL
TW TOP OF WALL
TYP TYPICAL
UC UNDERGROUND CABLE
UG UNDERGROUND GAS LINE
UE UNDERGROUND ELECTRIC
U/E UTILITY EASEMENT
UGM UNDERGROUND LINE MARKER
UT UTILITY MANHOLE
UTMH UTILITY MANHOLE
W WATERLINE
WM WATER METER
WMH WATER MANHOLE
WV WATER VALVE
WS WATER SPOUT
XFMR TRANSFORMER
(1) FIELD BEARING/DISTANCE
(L) LEGAL BEARING/DISTANCE
(P) PLAT BEARING/DISTANCE
(G) GRID BEARING



Surveyor's Certification

WE, SISEMORE & ASSOCIATES, INC. HEREBY CERTIFY THAT THE ABOVE REPRESENTS A SURVEY PERFORMED UNDER OUR DIRECT SUPERVISION AND IS TRUE AND CORRECT TO THE BEST OF OUR KNOWLEDGE AND BELIEF AS OF THIS DATE.

THIS PLAT OF SURVEY MEETS THE MINIMUM TECHNICAL STANDARDS, AS ADOPTED BY THE BOARD OF REGISTRATION FOR PROFESSIONAL ENGINEERS AND LAND SURVEYORS FOR THE STATE OF OKLAHOMA.

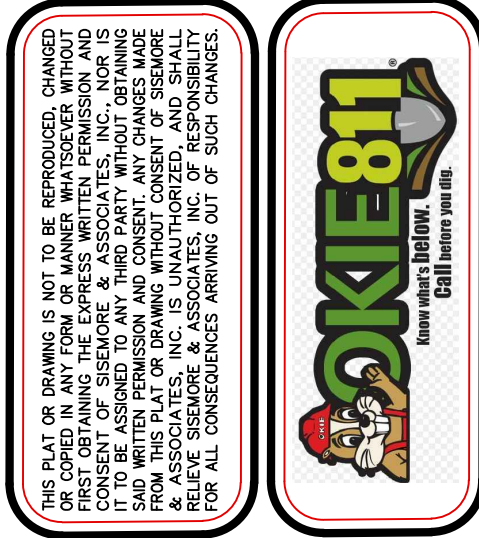
DATE OF LAST FIELD VISIT: MARCH 29, 2022.

WITNESS MY HAND AND SEAL THIS 31ST DAY OF MARCH, 2022.



SISEMORE & ASSOCIATES, INC.

BY:
SHAWN A. COLLINS
PROFESSIONAL LAND SURVEYOR
OKLAHOMA NO. 1788
EMAIL: scollins@sw-assoc.com



REVISION	BY	DATE

FILE: 1812.2200	SURVEY BY: EOT
ORDER: 16088.02	DRAWN BY: EOT
BOOK:	CHECKED BY: SAC
DATE: 3/31/2022	SCALE: 1"=100'

Plat of Survey
of
A Part of the SE4 of the SE4
Section 22, T-18-N, R-12-E
City of Jenks, Tulsa County, Oklahoma

SISEMORE & ASSOCIATES
Surveying - Civil Engineering - Land Planning
Phone: (918) 685-3600
Fax: (918) 685-3600
C.A. No. 2421
Exp. Date 8/30/23
(www.sisemoreandassociates.com)

To	Planning Commission
Hearing Date	April 7, 2022
Case Number	JZ 22 PUD 84Mi1
Request	<i>Approve a Minor Amendment No. 1 to allow for a side loading garage</i>
Location	East of Elm Street (Peoria) between 111 th and 121 st

Staff Report

Preparer | Marcaé Hilton

Attachments	Preparer
PUD 84 Amendment Request	Robert Bell
Elm Ridge Plat	Mark McGuire
Application & Request	Robert Bell

Background Information

Public Comment	Minor Amendments are not advertised None at the time of this report
General Location	North of 121 st and West of Elm
Zoning	PUD 84 RS-2 Single-family Residential Private Gated (37 Lot) subdivision
Plat	Elm Ridge Approved March 3, 2014 No. 6580

The house on Lot 11, Block 1 was constructed in 2018, at that time staff was unaware of the side load garage prohibition. When a new building permit was submitted asking for a side loading garage for Lot 1, Block 2, the error was discovered. The developer, Mr. Wollmershauser still maintains ownership of the reserves, giving him the right to amend without the 65% ownership vote. Per Mr. Bell, the applicant, the fact that the side load garage existed for 4 years without complaint by the neighborhood would normally negate their rights by the courts for enforcement. Staff believes this minor amendment does not impact the health, safety or welfare of the community. The Fire Chief maintains the access is to be used as a fire lane, cars may NOT park in the street at any time, otherwise he has no objection.

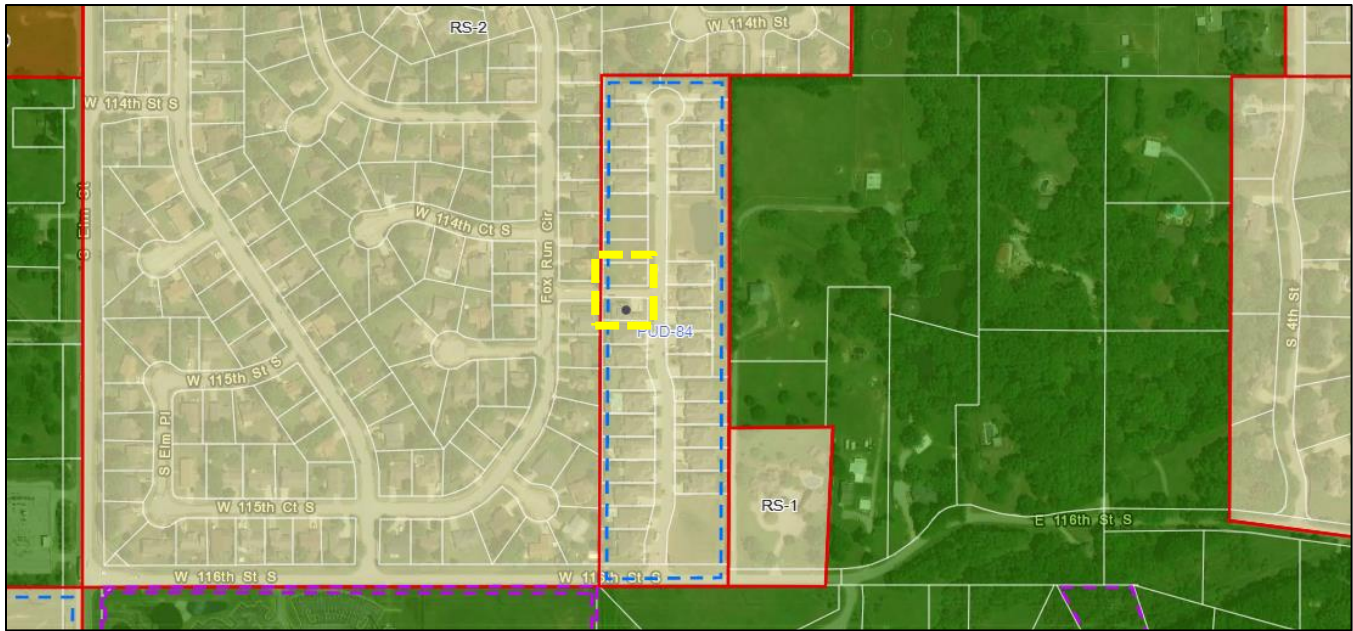


Figure 1: Zoning Map | INCOG



Figure 2: Fire Lane to be used as access

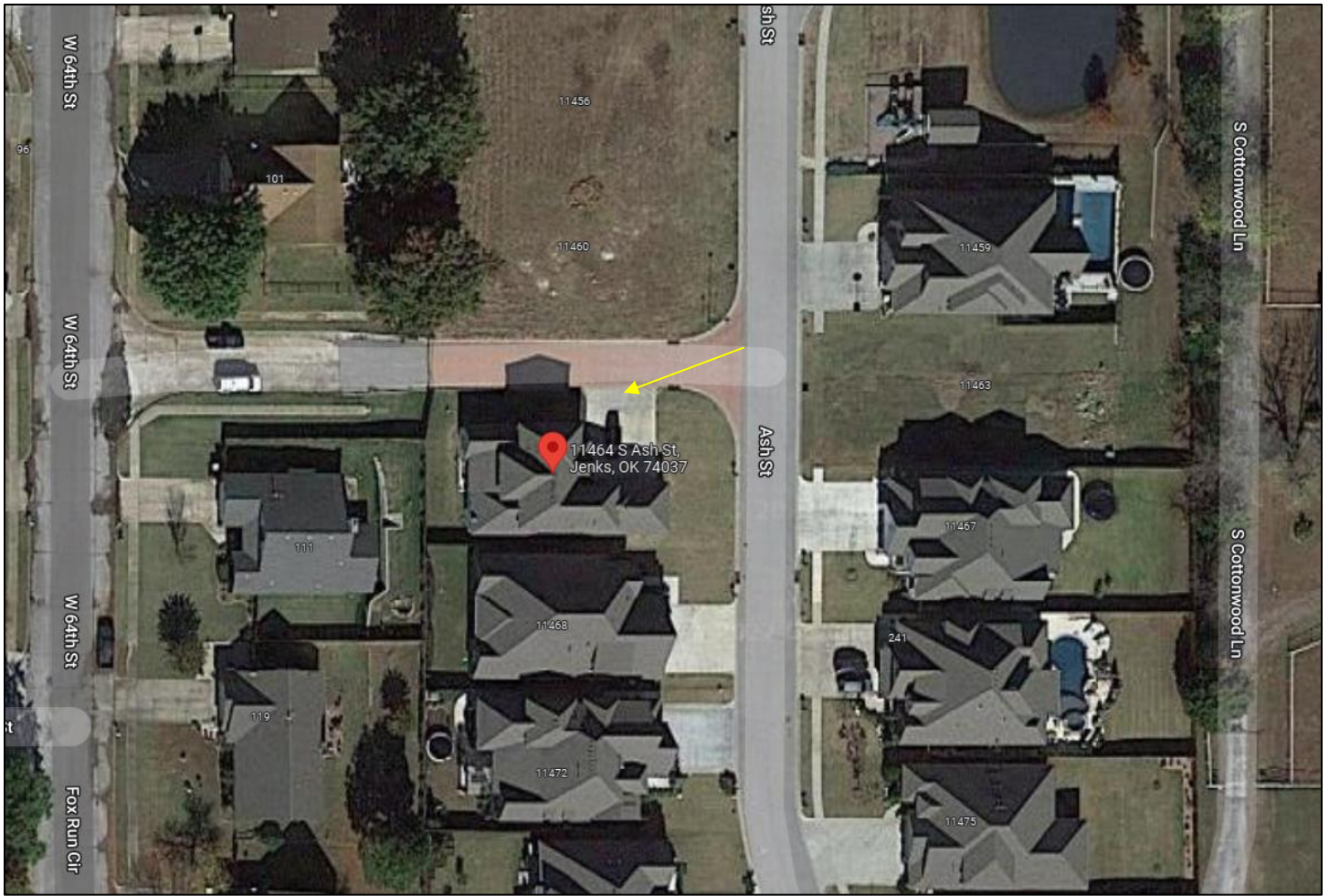


Figure 3: google earth

Staff Evaluation & Recommendation

Evaluation Approving this request would allow for the parties involved to lawfully access their garage from the fire lane. This creates a clear title for both lots.

RECOMMENDATION | *Staff recommends conditional approval of Minor Amendment No. 1 for PUD 84.*

1. *Applicant will file approval with Tulsa County Land records identifying the change to the plat.*

PUD 84 MINOR AMENDMENT

The minor amendment is to remove the Note under Section 2.1 Development Standards that reads: Note driveway access is not allowed from exterior side yards.

This requirement only applies to Lot 1 Block 2 and Lot 11 Block 1 Elm Ridge. These are the only lots within the development that have exterior side yards.

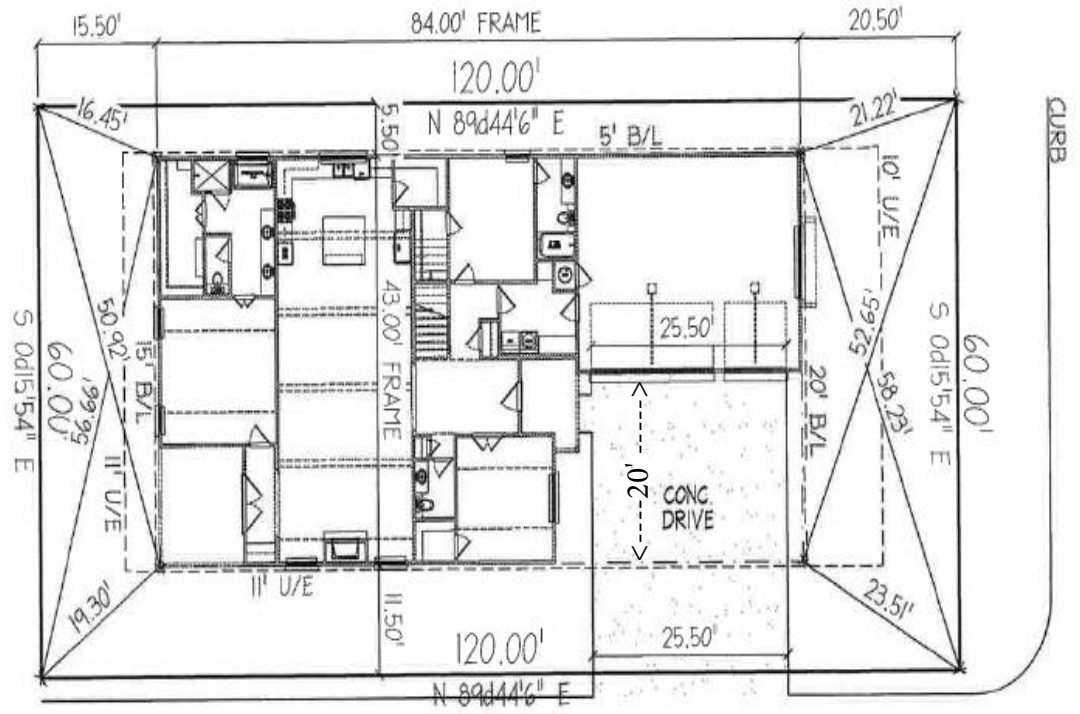
The residence on Lot 11 Block 1 was constructed with a side load garage without proper approval. The property identified as Lot 1 Block 2 is in process of seeking approval for the building permit on the site and would like to submit a side load garage that would be similar to the residence across the street which would create a consistent look for the neighborhood and would help bring the structure on Lot 11 Block 1 into compliance.

The note shall be replaced with: Note: Exterior Side load garages shall be at a minimum of 20 feet from the property line.

The covenants contained within Section 1. Streets and Utility Easement , Section 2 Planned Unit Development Restrictions, Section 3 Surface Drainage, Section 4 Reserve Areas, Perimeter Fencing and Landscaping, Section 5 Limits of No Access and Section 6 Elm Ridge Homeowners' Association herein may be amended or terminated at any time by a written instrument signed and acknowledged by the owners of at least sixty five percent (65%) of the lots in the Subdivision and approved by the Jenks Planning Commission and the Jenks City Council. PROVIDING, HOWEVER, that as long as the Owner/Developer owns any lot in the Subdivision any such amendment must be approved in writing by the Owner/Developer. The Owner/Developer may delegate its right to approve any such amendment to the Architectural Committee. Any such amendment shall be effective From and after the date it is properly executed and recorded in the Office of the County Clerk of Tulsa County, Oklahoma.

Elm Ridge LLC remains the owner of the Reserve Areas of Elm Ridge and therefore has authority to amend the PUD requirements. This amendment cannot be filed with the County Clerk until approved by the Jenks City Council. Elm Ridge LLC has provided permission to move forward with said amendment.

CENTERLINE OF S. ASH ST.



CENTERLINE OF 114th CT.





FINAL PLAT ELM RIDGE

PLANNED UNIT DEVELOPMENT NO.84
PART OF THE NW/4 OF SECTION 31, TOWNSHIP 18 NORTH, RANGE 13 EAST,
AN ADDITION TO THE CITY OF JENKS, TULSA COUNTY, OKLAHOMA

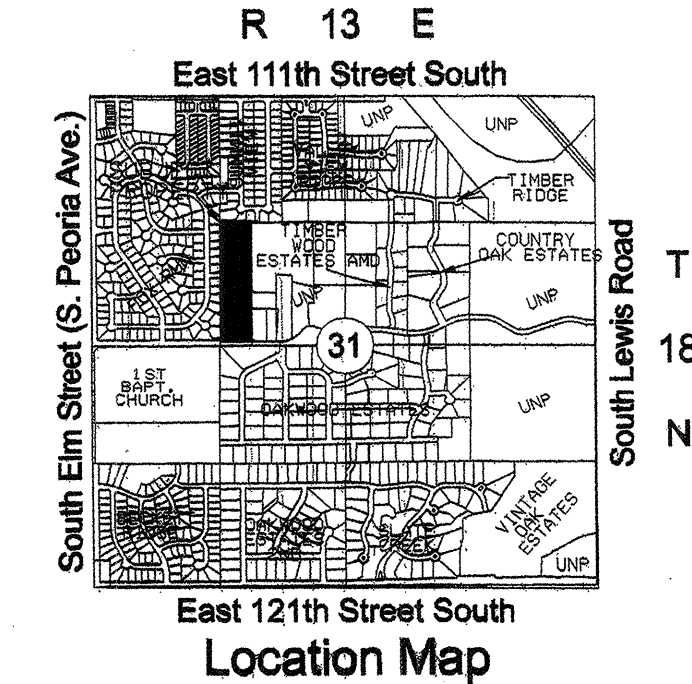
FINAL PLAT
CERTIFICATE OF APPROVAL

I HEREBY CERTIFY THAT THIS PLAT WAS
APPROVED BY THE JENKS CITY COUNCIL
ON 3/31/14
[Signature]
MAYOR - VICE MAYOR

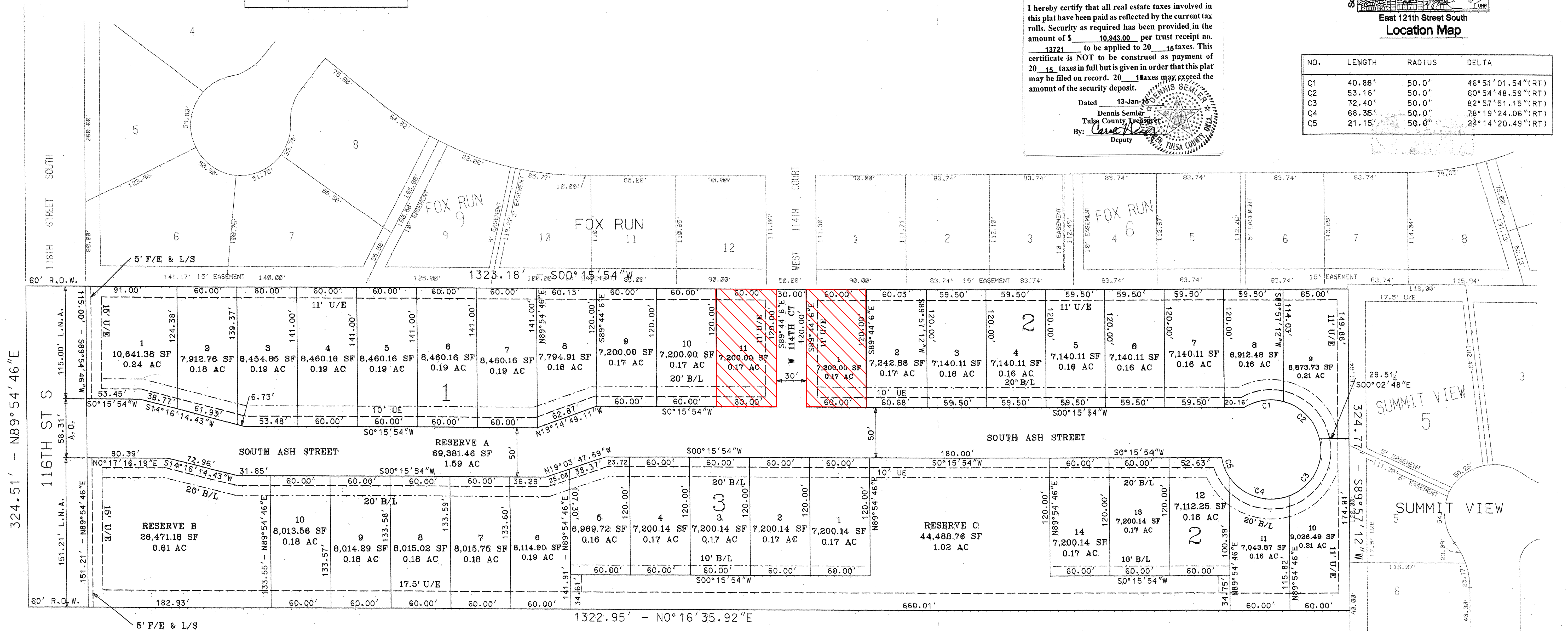
THIS APPROVAL IS VOID IF THE ABOVE
SIGNATURE IS NOT ENDORSED BY THE
CITY MANAGER
[Signature]
CITY MANAGER

STATE OF OKLAHOMA } SS
COUNTY OF TULSA }
I, Pat Key, Tulsa County Clerk, in and for the County and State above
named, do hereby certify that the foregoing is a true and correct copy of a
like instrument now on file in my office.
Dated the 5th day of January, 2015
PAT KEY, Tulsa County Clerk
[Signature] Deputy

CERTIFICATE
I hereby certify that all real estate taxes involved in
this plat have been paid as reflected by the current tax
rolls. Security as required has been provided in the
amount of \$ 10,943.00 per trust receipt no.
13721 to be applied to 20 15 taxes. This
certificate is NOT to be construed as payment of
20 15 taxes in full but is given in order that this plat
may be filed on record. 20 15 taxes may exceed the
amount of the security deposit.
Dated 13-Jan-15
Dennis Semler
Tulsa County Treasurer
By: [Signature] Deputy



NO.	LENGTH	RADIUS	DELTA
C1	40.88'	50.0'	46°51'01.54"(RT)
C2	53.16'	50.0'	60°54'48.59"(RT)
C3	72.40'	50.0'	82°57'51.15"(RT)
C4	68.35'	50.0'	78°19'24.06"(RT)
C5	21.15'	50.0'	24°14'20.49"(RT)



ELM RIDGE LEGAL DESCRIPTION:

A TRACT OF LAND THAT IS PART OF THE NW/4 OF SECTION 31, T-18-N,
R-13-E, AN ADDITION TO THE CITY OF JENKS, TULSA COUNTY, OKLAHOMA.
SAID TRACT OF LAND BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:
TO-WIT: THE WEST TEN (10) ACRES LESS THE WEST 5 FEET OF THE SOUTHEAST
QUARTER OF THE NORTHWEST QUARTER (SE/4, NW/4) OF SECTION THIRTY-ONE (31),
TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE
AND MERIDIAN, TULSA COUNTY, OKLAHOMA, ACCORDING TO THE U.S. GOVERNMENT
SURVEY THEREOF, CONTAINING 9.86 ACRES, MORE OR LESS.

OWNER:
ELM RIDGE, LLC
10545 S. MEMORIAL DR
TULSA, OKLAHOMA 74133

ENGINEER:
MARK MCGUIRE, P.E.
MCGUIRE BROTHERS ENGINEERING
8415 S. REGENCY DR.
TULSA, OK 74131
918-224-2764
CERTIFICATE OF AUTHORIZATION #4697
EXPIRES JUNE 30, 2015

SURVEYOR:
WADE BENNETT, PLS
BENNETT SURVEYING, INC.
P.O. BOX 848
CHOUTEAU, OK 74337
918-476-7484

LEGEND
L.N.A. - LIMITS OF NO ACCESS
A.O. - ACCESS OPENING
B/L - BUILDING LINE
U/E - UTILITY EASEMENT
F/E - FENCING EASEMENT
L/S - LANDSCAPE EASEMENT
R/W - RIGHT OF WAY
ODE - OVERLAND DRAINAGE EASEMENT

35 LOTS
3 BLOCKS
9.86 ACRES

ELM RIDGE
NOVEMBER 12, 2014
FINAL PLAT - SHEET 1 OF 2



APPLICATION FOR PLANNED UNIT DEVELOPMENT

Jenks Planning Commission

City of Jenks

NO _____
STR _____

GENERAL INFORMATION:

Residential Acres: 9.86 Acres

No. of Residential Units: 35 lots

Non-Residential Acres: N/A

Total Square Feet Non-Residential: N/A

Livability Area: _____

REQUIREMENTS (3 copies):

☐ Topo

☒ Plot Plan

☒ Text

☒ General Location Map

GENERAL LOCATION: South Ash Street and West 116th Street South

PRESENT ZONING: RS2 PUD 84 **PRESENT USE:** Single Family Residential

RECORD OWNER: Lot 1 Block 2 Elm Ridge - Silvercrest Homes

LEGAL DESCRIPTION OF TRACT UNDER APPLICATION: Elm Ridge, Planned Unit Development 84

Part of the NW/4 of Section 31, T18N, R13E, and Addition to the City of Jenks. Lots affected - Lot 1

Block 2 and Lot 11 Block 1, Elm Ridge Addition to the City of Jenks

****Minor Amendment****

If applicant is not the owner, indicate interest: Bell Land Use LLC

I certify that the submitted information is true and correct.

Signed: [Signature]

Date: 02-28-2022

Address: 1011 W. "G" Street, Jenks OK 74037

Phone: 918-902-0462

BILL ADVERTISING AND SIGN CHARGES TO: Allen Jenkins - Silvercrest Homes

Name

10901 S. Memorial, Tulsa OK 74133

Address

918-369-1414

Phone

DO NOT WRITE IN THIS AREA.

P.H. Date: _____ Date Received: _____ Received By: _____

Receipt No.: _____ Plat Name: _____

Fee Paid: _____ Receipt No.: _____

Planning Commission Action: _____ City Council Action: _____

Provisions: _____ Provisions: _____

Date/Vote: _____ Date/Vote: _____

Staff Recommendations: _____ Ordinance No.: _____

_____ Plat Name: _____

To	Planning Commission
Hearing Date	April 7, 2022
Case Number	JZ 22 PUD 120.MA 1
Request	Approval of Major Amendment to PUD 120 - to allow for Health Club uses and General Services (UDO)
Location	813 E B St north of B Street and west of River Walk
Applicant	Robert Bell

Staff Report

Preparer | Marcaé Hilton

Attachments

- ☐ JZ 22 PUD 120 MA1 | Legal Notice
- ☐ JZ 22 PUD 120 MA1 | Amendment
- ☐ JZ 20 PUD 120 As Approved
- ☐ Letter from resident
- ☐ Plat & Site Plan | Fidler Acre

Preparer

INCOG | Map
Rob Bell | PUD Document
Marcaé Hilton, Planner
Lloyd Landreth, Landreth Law Firm
Tulsa Land Surveying

Background Information

CURRENT REQUEST | PUD 120 was approved in 2020 with conditions following (3) three Council hearings, the site has not developed since approval. The realtor contacted the city with the following new requests/application for the parcel:

- Allow for Use Unit 19 | Specifically “Health Club”
- Allow for General Services | UDO no specific restrictions listed
- Site Plan: 2 lots
 - Initial building size: 6,000 sq ft. situated along “B” Street
 - Second building on back side of lot
- (1) One member of the public submitted comments via a letter to the applicant and staff. (see attached)
 - Citizen Concerns: Access and parking
 - Agreed upon restrictions: No Medical Marijuana Uses including but not limited to Dispensaries
 - Hours of Operation should be compatible with the protected residential area and business to the west. No Bar (under the new UDO a “Bar” is a separate “Use” which would not be included in general services).

STAFF COMMENTARY ON PUD 120

July 7, 2020 | Conditional Approval of JZ 20 654 and PUD 120 | Ordinance No. 1523

Zoning: ROC/PUD 120

Conditions of Approval:

- JZ 20-654 PUD 120
 - Submit revised PUD matching approval comments (*this was accommodated with the inclusion of the conditions added to Page 4*).
 - Include any comments regarding the PUD language changes in Deed of Dedication
 - Screening
 - Add landscaping adjacent to fence, including evergreen trees to prevent sound leakage into the residential neighborhood. (Protect neighbors with screening, shrubs and trees/landscaping)
 - Screening should provide security and noise protection for residential neighborhood
 - Masonry fence or viable sound buffering screening
 - Provide details for review
 - Move “West” building setback – 10’ minimum
 - Add Noise protection language to PUD
 - No music 1 hour prior to closing
 - No amplified sound
 - Public notice for special events for exceptions to hours of operation established for outside noise
 - Access to any development on the site is limited only to Right in/Right out on Riverfront Dr.
 - Shielded lighting
 - Hydrology and stormwater management to move water away from the north end of property
 - Trash receptacles on the east property line but not on the north

June 16, 2020 at the regularly scheduled CC meeting. When the applicant first contacted the City there were five requests, two of the five were approved.

1. PA 20-17 | Comprehensive Plan request on June 2, 2020 changing the Comprehensive Plan from Office | Medium Intensity to Riverfront Entertainment/Tourism District | Medium Intensity and amended page 10. (*This becomes RTC in the new UDO.*)
2. JZ 20-655 | Ordinance No. 1522 | Rezoning request was approved on June 6, 2020 changing the Zoning from (OM) Office Medium to (ROC) River Oriented Commercial (*This becomes a legacy district and will follow RTC zoning outside of the PUD 120 requirements.*)

Following the approval of the rezoning request City Council heard the PUD 120 case and cited their concern regarding several issues, noise and the appropriate screening were the primary issues. In the end, Council voted to table Items 6-12 (Fidler Acre Cases, Ordinances, and Emergency Clauses) until the next meeting. The motion passed 7-0-0.

PLANNING DATA

Intended Uses	Requested: <i>Health Club, General Services</i>
	Approved: Commercial Restaurant or Office
Uses Allowed:	11 <u>Office and Studio</u>
	12 <u>Eating Places</u>
	<i>Uses Requested:</i>

19 | *Health Club | No outside speakers and all classes must be conducted in an enclosed building*

UDO | General Services

Uses Prohibited in PUD: Original PUD: 2, 4, 5, 8, 10, 13, 14, 19, 20, 21 (See Supplemental Information for details)

Major Amendment No. One: No Medical Marijuana Uses

Appearance District: None, but PUD is written to meet standards of the Riverfront Appearance District which includes the Theme District. *ARC is removed from UDO.*

Comp Plan Map: Regional Commercial & Riverfront Subarea Plan

Zoning | Current: (ROC) River Oriented Commercial | *RTC in the new UDO*

General Location: 813 E B St | north of B Street and west of River Walk

Acres: 1 (One)

Floodplain: 0.2% annual chance flood hazard

Plat: Currently unplatted

Proposed Plat: FIDLER ACRE

2 Lots, 1 Block (Proposed)

1 Acre

Streets: "B" Street & Riverfront Drive

WARD: (1) ONE

Public Comment: Letter received from neighbor to the west.

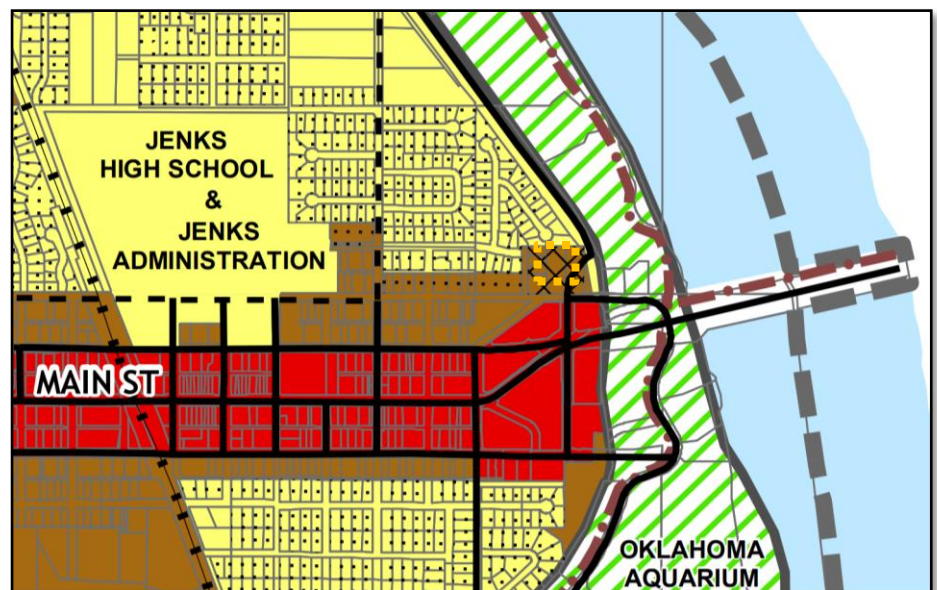
The property is located at the entrance to the Riverfront Entertainment District in Jenks, it is north and west of established commercial and destination developments. However, it is also south and east of residential development. The applicant originally proposed a high-end restaurant on the parcel, approximately 5,000-6,000 square feet, with accessory commercial uses as seen in the PUD document. The original PUD required that any changes to the lay out of the site plan after approval by would require a new public hearing and approval by City Council; staff has noticed this project as a Major Amendment.

COMPREHENSIVE PLAN | PA 20-17 | HEARING DATES | PC, MAY 21, 2020 APPROVED | CC, JUNE 2, 2020 APPROVED

1. Medium intensity | Riverfront Entertainment District
2. Text Language Amendment
 - Amend Page 10, 2.5
 - Amend Page 10, 2.5.1

REZONING | JZ 20-655 | (ROC) RIVER ORIENTED COMMERCIAL FROM (OM) OFFICE MEDIUM

HEARING DATES | PC, JUNE 04, 2020 | CC, JUNE 16, 2020, APPROVED



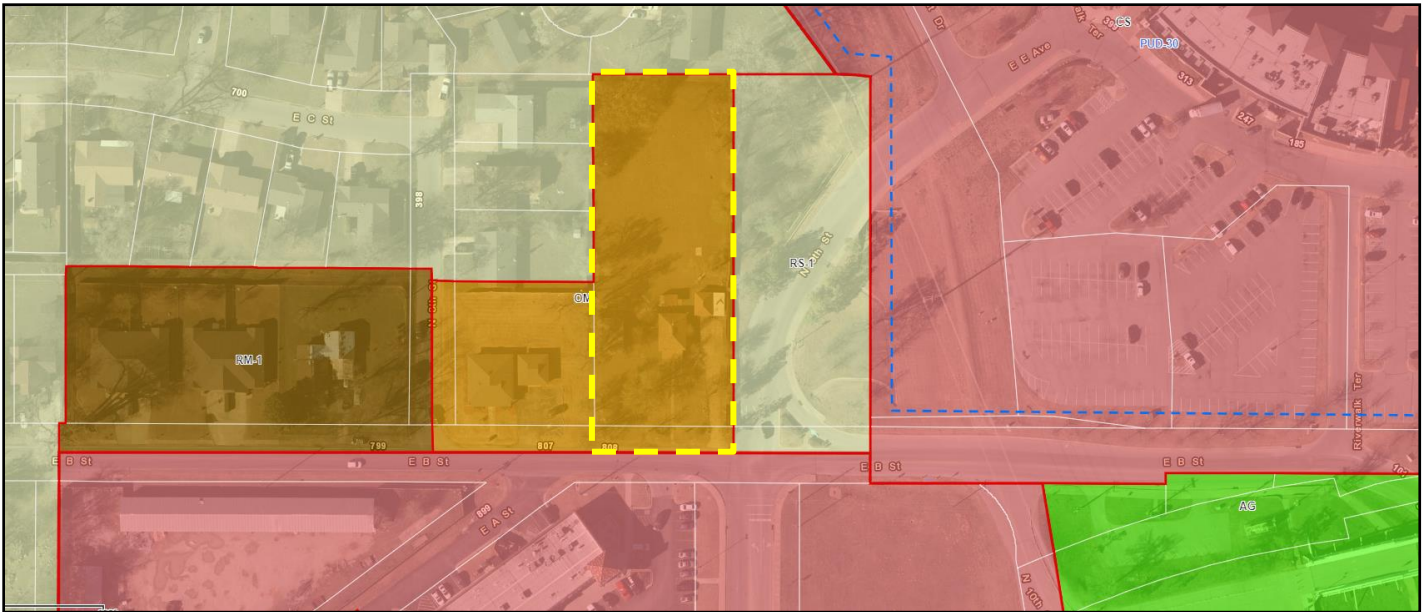


Figure 1: Zoning Map

North: RS-3 (Single-family Residential | (Garden Park Addition)
 East: RS-1 (Single-family Residential) and PUD 30 Riverwalk Commercial Uses
 South: CG (Commercial General) across B Street with Commercial Retail Uses
 West: RS-3 (Single-family Residential and OM (Office Medium | law office)

PLANNED UNIT DEVELOPMENT | JZ 20-654 PUD 120

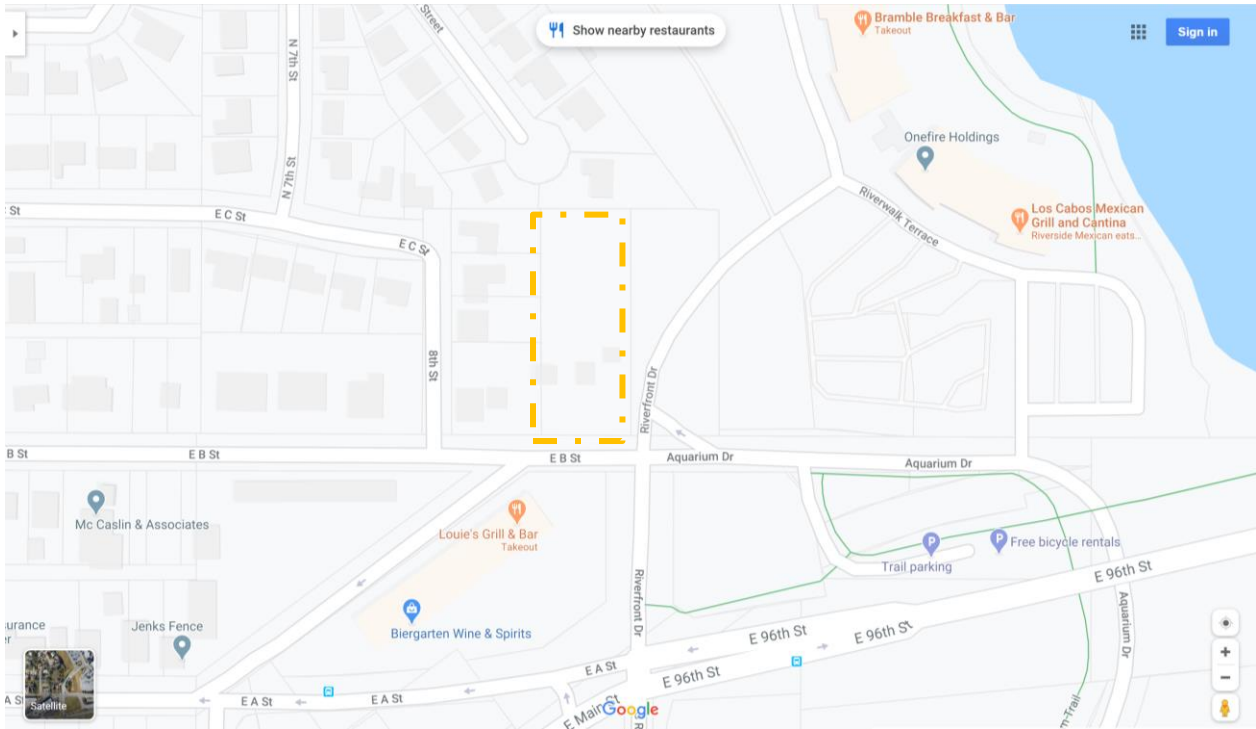


Figure 2: PUD Location on Google Map

Evaluation | Consider | Is PUD-120 Major Amendment No. 1 a good fit to the already approved uses for this parcel? This is an approved PUD with ROC as the underlying zoning. The property is not platted and will require platting before a building permit will be issued. The potential purchaser would like to see two structures on the site. The first structure would be a Health Club. The Health Club is currently in operation at Riverwalk and seeks to build their own building. The second lot would develop as demand requires.

Burn Boot Camp Website Quotes:

"Our elite certified personal trainers will push you to your limits and completely transform your life. You'll get all the benefits of personal training in an exciting and encouraging group setting."

"Every Camp starts with a dynamic warm-up to help you perform safely and effectively through your entire 45-minute Camp."

"Never the same workout twice – our Camps are designed within a Weekly Protocol, including a combination of strength and high intensity interval training."

"End camp with a powerful and purposeful finisher, designed to leave you feeling accomplished and challenged. We start strong and finish stronger!"

Recommendation

Planned Unit Development 120 Major Amendment No. 1: *Staff recommends approval of Major Amendment No. One.*

- *Approving this PUD major amendment would allow "Burnbootcamp" to build and operate a health club with inside workouts*

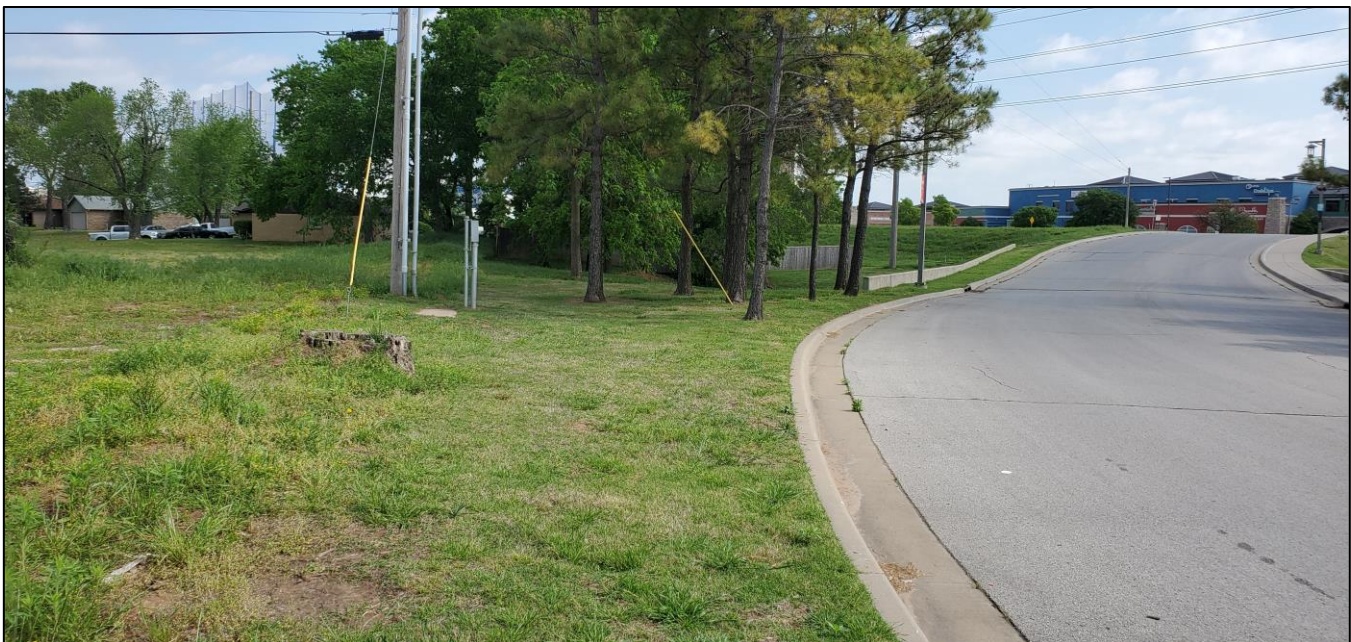


Figure 3: View toward East "River Walk"



Figure 4: View facing south adjacent to Riverfront Drive.



Figure 5: View from SE corner looking toward neighborhood.



Figure 6: view of intersection SE



Figure 7: View of west toward unplatted Residential Neighbors



CITY OF JENKS

211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
PHONE (918) 299-5883 • FAX (918) 299-4489

NOTICE OF A PUBLIC HEARING ON A PROPOSED MAJOR PUD AMENDMENT LOCATED IN THE CITY OF JENKS, OKLAHOMA

JZ 22 PUD 120.ma1

Notice is hereby given that a public hearing will be held before the Jenks Planning Commission, in Jenks City Hall, Council Chambers, 211 North Elm Street, Jenks, Oklahoma, at 6:00 p.m. on 07 April 2022, in consideration of the following:

An application to approve a request by Bell Land Use, LLC, for a approval of a major PUD amendment to allow for the use of a health club and General Services.

Legal Description: PART OF GOVERNMENT LOT FOUR (4) IN SECTION NINETEEN (19), TOWNSHIP EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST, MORE PARTICULARLY DESCRIBED AS FOLLOWS:

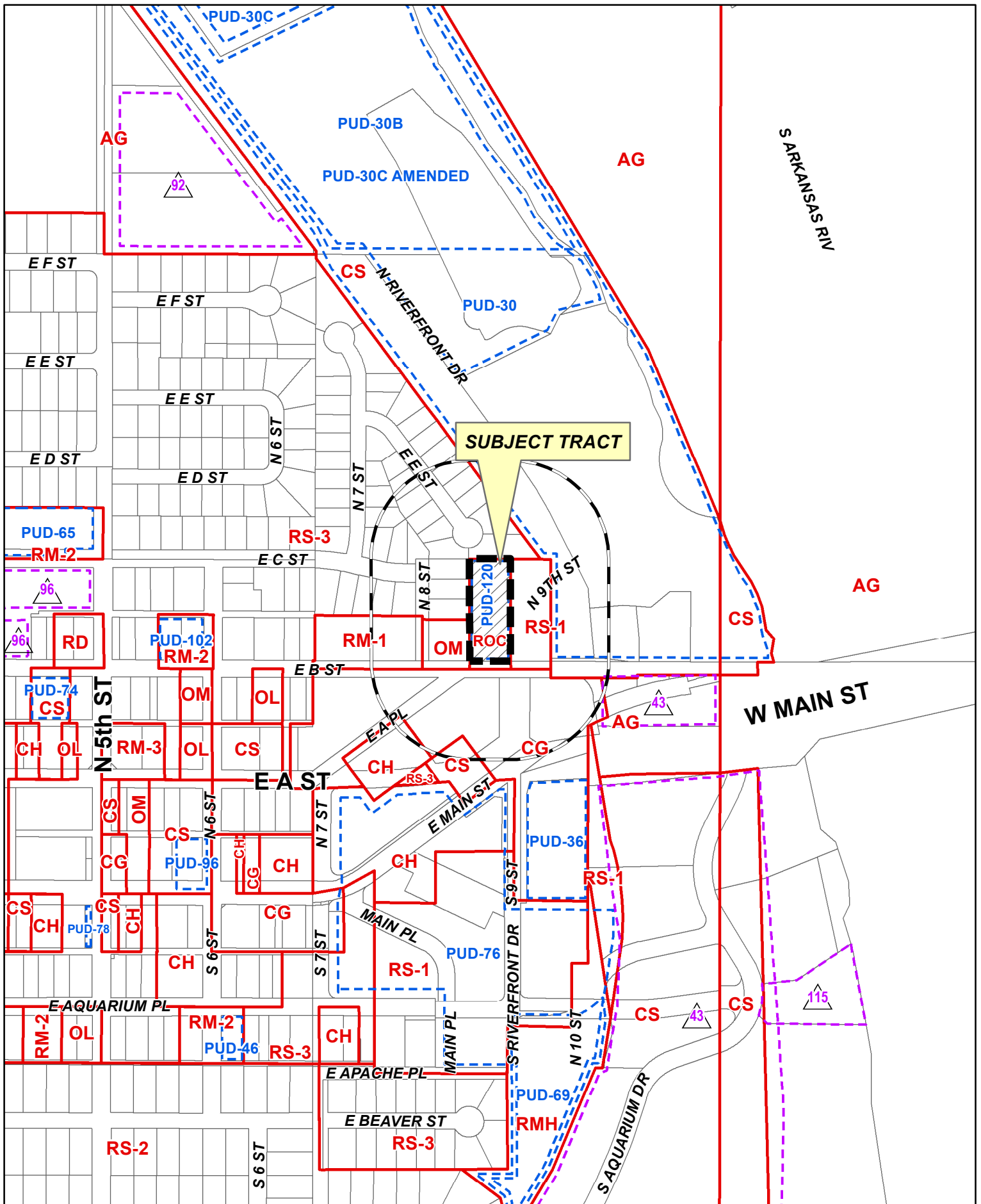
BEGINNING AT A POINT 502 FEET EAST OF SOUTHWEST CORNER OF SAID LOT FOUR (4), RUNNING THENCE EAST 132 FEET, THENCE RUNNING NORTH A DISTANCE OF 330 FEET, THENCE RUNNING WEST A DISTANCE OF 132 FEET, THENCE SOUTH A DISTANCE OF 330 FEET TO POINT OF BEGINNING, CONTAINING (1) ACRE, MORE OR LESS, A/K/A 813 EAST B STREET, JENKS, OK 74037.

General Location: 813 E "B" St

All persons interested in this matter may appear at these hearings and present their objections to or arguments for any of the above matters.

Dated at Jenks Oklahoma on 11 March 2022.

Marcae Hilton, Secretary
Jenks Planning Commission

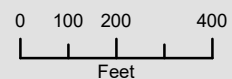


300' Radius



Subject Tract

JZ-22
PUD-120



19 18-13



PUD 120 AMENDMENT

The amendment is to add Health Club of Use Unit 19 with the stipulation that no outside speakers and classes must be held in an enclosed building. To add General Services of the UDO once it is approved.

A revised Plat is to be submitted showing a new site plan and back to the two lots as was originally approved.

The Contract Purchaser has other sites and development is expected to be close in size and design of those sites. A picture of an existing site is provided. It is expected that the building closest to B Street will be 6000 square feet in size. The purchaser is aware of the front door location of the site and will upgrade the building to reflect it location. Review of the building will be available when submitted as identified in the PUD.



PUD 120 Amendment – The Exhibit provided is PUD 120 as was approved by the Jenks City Council in June 2020, except for the uses being applied for under the proposed Amendment. All modifications are identified in Red.

The Entrance to the **Riverfront Entertainment District** **Jenks Oklahoma**

Planned Unit Development Number 120

A River Oriented Commercial Development

Riverfront Drive and “B” Street



An RSF Holdings Development

🔔 Bell Land Use LLC
918-902-0462

Tulsa Land Surveying LLC
Josh Lamb

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Exhibit B	Plat and Deed of Dedication
Exhibit C	Aerial View
Exhibit D	Street View
Exhibit E	Existing Zoning
Exhibit F	Comprehensive Plan

The Entrance

I. Development Concept

The property is located at the intersection of Riverfront Drive and East “B” Street. A unique location to provide a direct correlation and interaction with the 96th Street Bridge, the entrance to the City of Jenks, the Riverfront Entertainment District and Riverwalk Crossing. The Development Concept is to incorporate a use and look that ties the development to the District and promote linkage in design to the Jenks character. The subject tract was always considered a drawback to the lifestyle center that was developed adjacent to it, especially the fence that was located on the property that was not only an eyesore but was a visual constraint at the intersection with “B” Street. Once the building and fence were removed it became evidently clear that this property needed to be developed in consideration of one of the most important retail centers of the City and its front door. The subject tract was an asset waiting to be discovered.

Located outside the boundary of the Appearance Review Districts of the City of Jenks, the development through the Planned Unit Development process will incorporate the Riverfront Appearance Review District Guidelines which also includes the concepts of the Theme District.



It is anticipated that the proposed Planned Unit Development will consist of a high-end restaurant of approximately 5,000 to 6,000 square feet located on the south east corner of the tract to include outside seating located on the east side of the structure. The north half of the tract will be utilized for parking. Discussion with a user that complies with this design is currently in negotiation. The site plan submitted with the PUD incorporates this concept. Approval of the PUD is also approving

the building elevations, site plan, and landscape plans as in conformance with the Appearance Review Guidelines. However, other development concepts should be considered possible. In compliance with the PUD Text any alternate site plan or building elevation will be required to be approved through a Major Amendment to the PUD.

Accompanying the Planned Unit Development application is an application for a zone change to ROC (River Oriented Commercial). The ROC District shall be limited to areas located within the Riverfront Entertainment Special District of the Jenks Comprehensive Plan. The purpose of the District is to allow lodging, restaurant facilities, and retail establishments designed to incorporate waterfront amenities and linkage to riverfront activities. Office uses may be considered accessory or compatible with River Oriented Commercial and will be listed as permitted outright in the PUD. In protection of surrounding properties, The Planned Unit Development will restrict lodging and Shopping Goods uses outside of an accessory to the restaurant use of the property.

Conditions of Approval | JZ 20-654 PUD 120

Submit revised PUD matching approval comments

Include any comments regarding the PUD language changes in Deed of Dedication

Screening

- Add landscaping adjacent to fence, including evergreen trees to prevent sound leakage into the residential neighborhood. (Protect neighbors with screening, shrubs and trees/landscaping)

- Screening should provide security and noise protection for residential neighborhood
- Masonry fence or viable sound buffering screening
- Provide details for review

Move “West” building setback – 10’ minimum

Add Noise protection language to PUD

- No music 1 hour prior to closing
- No amplified sound

Public notice for special events for exceptions to hours of operation established for outside noise

Access to any development on the site is limited only to Right in/Right out on Riverfront Dr.

Shielded lighting

Hydrology and stormwater management to move water away from the north end of property

Trash receptacles on the east property line but not on the north

II. Development Standards

Permitted Uses:

The following uses shall be permitted:

Use Units

11. Offices and Studios
12. Eating Places Other Than Drive-Ins
19. Health Club – No outside Speakers and all classes must be conducted in an enclosed building.

Note: General Services as specified in the Unified Development Ordinance shall be permitted uses in PUD 120 upon approval and implementation of the UDO.

(Shopping Goods that are generally associated with an established restaurant and located in the facility are recognized as an accessory use and shall be permitted)

Outside seating may be allowed on the east side of the proposed building, but no amplified sound shall be permitted outside of the enclosed areas of the building.

Note: Modification of uses as identified in the ROC Zone but not listed as Permitted in PUD 120 may be possible through a major amendment to the PUD in consideration of specific site plan design.

Minimum Setback from North Property Line:	10 Feet
Minimum Setback from East Property Line (3 rd Street)	11 Feet
Minimum Setback from west property boundary:	5 Feet
Minimum Setback from south Property Line (“B” Street):	25 Feet
Minimum Off-Street Parking Setback from street r-o-w:	15 Feet
On Street/Off Parking:	Per Zoning Code
Maximum Permitted Building Height:	40 Feet

All plans shall be submitted to FAA for review and approval of height

Minimum Landscape area:	Use Unit 12	10% of lot area
	Use Unit 11	15% of lot are

Screening:

Use Unit 12 developments will require an 8-foot-high Verti-Crete Precast Concrete (Product Literature Attached) fence/wall to be established on the north 132-foot property line and the first 195 feet of the west line from the northwest corner of the tract. A 7 to 8-foot decorative cinder block wall with a brick cap is also being considered as an alternative. Pricing for the cinder block wall is dependent upon engineering requirements related to the required footing for the wall. It is believed that either product will comply with the City's goal for noise reduction between commercial and residential uses. Use Unit 11 developments will require an 8-foot capped fence as was approved for the office zoning that already exist for the property.

Lighting:

Exterior area lighting shall be limited to shielded fixtures designed to direct light downward and away from adjacent residential properties. Street and parking lot lighting shall no exceed 12 feet in height. A professional lighting plan shall be submitted with the Building permit. All Exterior Building lighting shall be approved through the Appearance Review District process.

Landscape:

Street frontages within lot 1 should provide a sense of open-space and should be buffered from the streets by landscaped drives, lawns, or parking.

Trash receptacles: all trash receptacles shall be in the north half of the lot and located along the east property boundary. The receptacle shall be enclosed from public view utilizing same building materials of the primary structure located within the development.

Restaurant developments are required to provide 10% lot area to be developed for landscape purposes. Office developments are required to provide 15% lot area to be developed for landscape purposes.

A Landscape Plan shall be required to be submitted with the Building Permit and shall incorporate the following criteria.

1. An architectural feature shall be established between the Office parking lot to the west and the entrance road from “B” Street. This feature could be fencing, bollards, wall, etc. The intent is to protect parking lot from activity on the entrance road.
2. It is noted that current expected purchasers of the property have stated that a heavy landscape plan that will utilize an Italian Cyprus Tree as a theme throughout the property. The Landscape plan shall include a heavy tree presence that will also help with noise reduction

Appearance review

The property is subject to the riverfront appearance review guidelines and process requirements as specified in the Jenks zoning code.

III. Signage

1. General requirements:

- a. Painted wall signs that are similar to that which is shown on the submitted building elevations and advertising the business or product is permitted. All other wall signs shall be approved through the ARC process.
 - b. A 2' x 4' ground sign will be allowed in the traffic directional triangle on the east side of the development. The purpose of this sign is to help prevent violation of the right in and right out design of the access. The sign must be located far enough west to not effect visual aspects of a turning motion to the intersection with Riverfront Drive. The sign will be allowed the name of the business or logo of the restaurant but must also include in only on north side and exit only on the south. The owner of the property must process an encroachment agreement with the City of Jenks prior to installation of the sign.
2. Wall or canopy signs shall not exceed an aggregate display surface area of 1.5 square feet per each lineal foot of the building wall to which the sign or signs are affixed. Wall and canopy signs shall be further restricted as follows:
 - a. A wall or canopy sign shall not extend above the top of the parapet or building wall on which it is located.
 3. In addition to the wall or canopy signs permitted a lot containing one business establishment may utilize for business signs an aggregate display surface area of projecting or ground signs as follows
 - a. If not more than one projecting or ground sign is erected, two square feet of display surface area per each linear foot of street frontage.

- b. If more than one projecting or ground sign is erected, one square foot of display surface area per each linear foot of street frontage.
 - c. A ground sign shall not exceed 20 feet in height, measured from the mean curb level of the lot upon which it is erected.
 - d. One sign for each tenant may be erected not exceeding one square foot of display surface area per each linear foot of frontage building wall of the tenancy or 60 square feet, whichever is greater.
- 4. During the period of construction, but not exceeding 24 months, a maximum of two signs advertising the construction and the business improvements may be erected on the perimeter street frontages of the development. These signs shall not exceed 32 square feet of surface display area. Such sign shall not exceed fifteen feet in height, illumination if any shall be by constant light.

IV. Site Preparation

No Pneumatic or powered stamping of ground for compaction requirements shall be allowed. All compaction requirements must be performed by rolling.

V. Parking

Off Street Parking consistent with the Jenks Zoning Code shall be required.

VI. Drainage and Utilities:

A subdivision plat has been submitted with the Zone Change and PUD request of the subject property.

Currently there is an overhead power line and a sewer line located near the center of the property that traverses the subject tract from west to east. These utilities are not located within an easement. It appears that an easement was filed that was intended for location of the sanitary sewer, however the sewer was located south of the existing easement. Public Service Company of Oklahoma (PSO) developed the overhead power line in a location that it anticipated an alley existed, however this property was not a part of the Original Town Site and no alleyway exist.

It was anticipated that the sewer line would need to be relocated to support development of the tract. Investigation of the existing fall of the sewer line has determined that relocation may not be attainable. If the property develops in accordance with the site plan submitted with PUD, relocation will not be required, and the proposed plat will include an easement to incorporate the existing sewer location. If the sewer is relocated the easement will be filed to encompass the new location. An easement vacation application has been filed with the zoning request for the existing easement that has no services located in it.

The applicant has had discussion with PSO concerning the overhead power line. This line only serves the lift station of the City and signage associated with the Riverwalk entrance. It was agreed that the owner of the property will locate casing along the new sewer easement for PSO to place new line underground for this service line. The adjacent property to the west is in the same situation and has agreed to provide casing to 8th Street. PSO will need to determine how the service will reconnect to the overhead lines located on and over 8th Street.

Water and gas are available and located along the right of way of “B” Street.

The storm water from the property currently drains to the north and northeast to the existing channel to the north of the property and to the detention facility located on the city property at the northeast corner of the subject tract. History of these facilities indicate that a severe problem existed with the storm flow to the detention that was improved with the facilities constructed with Riverfront Drive. The facility constructed with Riverfront Drive included two outflow pipes that traverse under the road for connection to area drainage pipes and direct outflow to the Arkansas River.

The development will be required to submit a detailed drainage plan to the City Engineer for review and approval with the building permit for the planned structure and parking.

It is anticipated that the proposed development will redirect storm water to the existing drainage from the channel located to the north and allow for direct outflow to the detention facility located at the northeast corner on the City property. This facility is where the storm water from the property currently ends up.

The drainage plan will require a hydrology report to determine the existing conditions of the area detention facility and the effect of full development of the tract. The hydrology report will address whether the storm water would need to be metered from the site via parking lot collection system or whether improvements could be accomplished to the detention area that will also improve the area drainage system.

VII. Existing Zoning and Comprehensive Plan

The property is currently zoned OM (Medium Office) and has been razed of all structures in preparation of redevelopment. The property is being requested to be placed in the Riverfront Entertainment District of the Jenks Comprehensive Plan and is being requested for a Zone Change to ROC (River Oriented Commercial).

VIII. Riverfront Drive and “B” Street

Access from B Street shall be a minimum of 100 feet from the intersection of “B” Street and Riverfront Drive.

In consideration of the liability of Riverfront Drive being a public access to Riverwalk Crossing across a private property under ownership of the City of Jenks, it may be advantages to have the roadway dedicated in the required plat of the subject tract. A filed easement to the subject property would be needed if the road is not dedicated.

IX. Site Plan Review

Review of the Planned Unit Development meets all requirements related to the Site Plan Review except the requirement to submit a detailed drainage plan to the City Engineer for Review and Approval and a landscape plan to the Planning Director.

EXHIBIT ‘A’

Site Plan

Page 2

EXHIBIT 'B'

Plat
Page 2

Deed of Dedication
Page 3

EXHIBIT 'C'

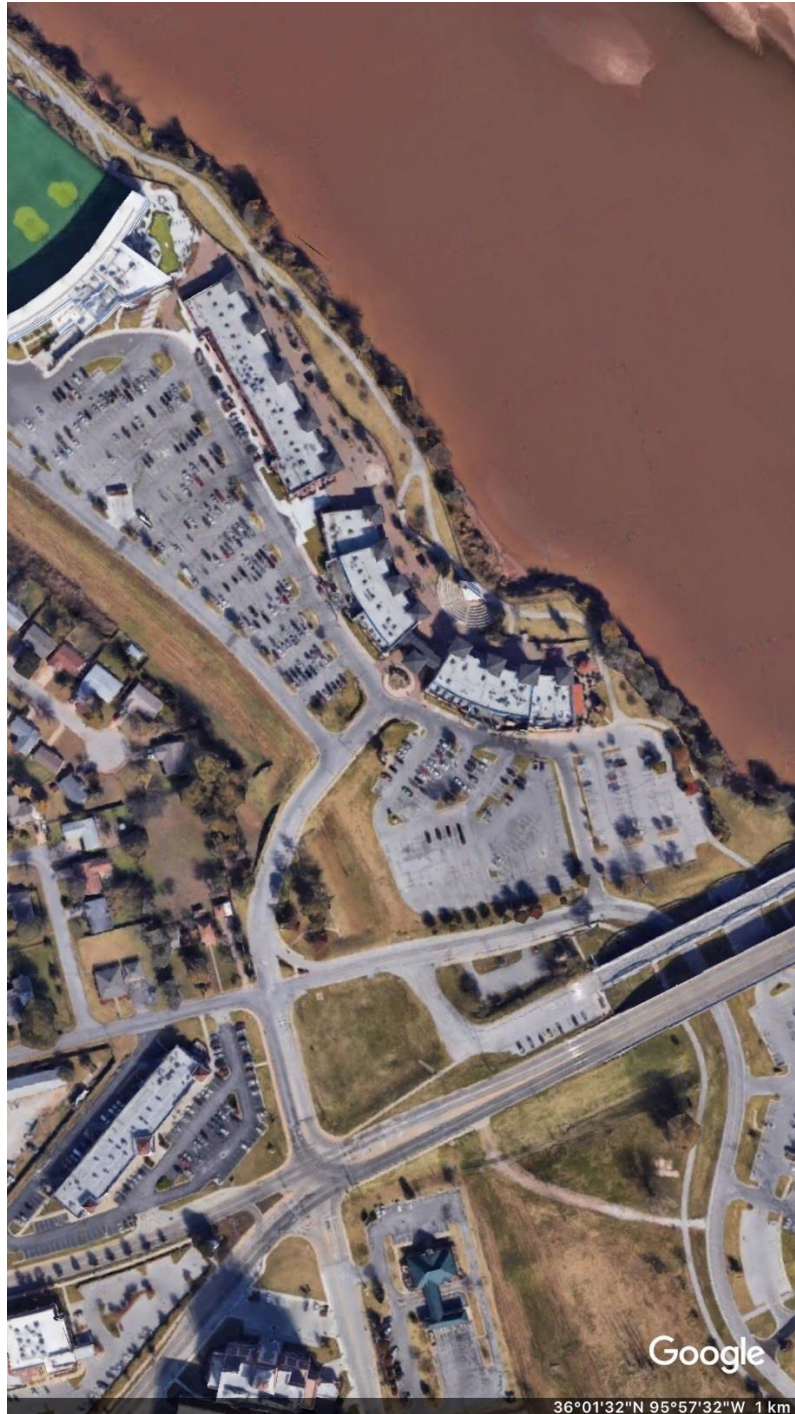


EXHIBIT 'D'



EXHIBIT 'E'

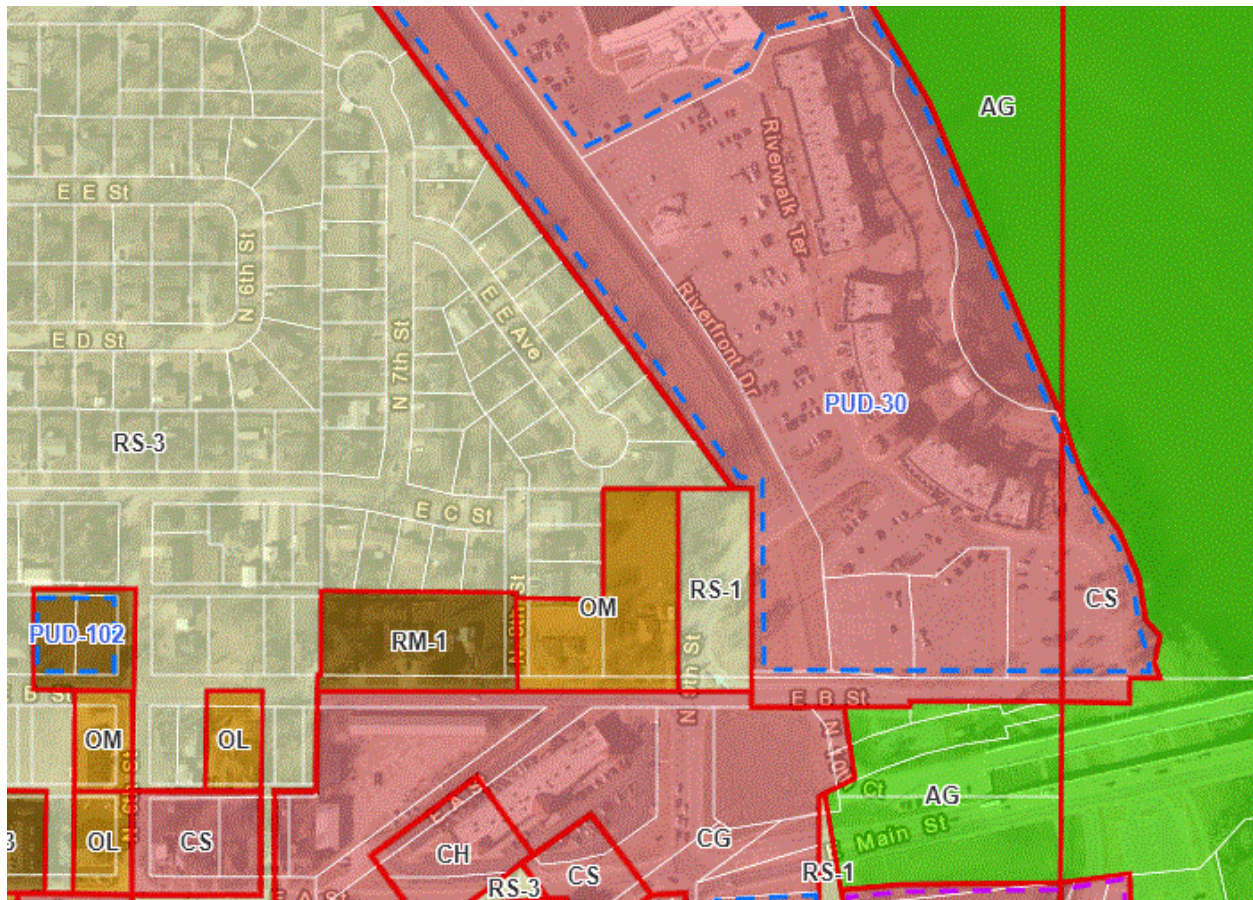
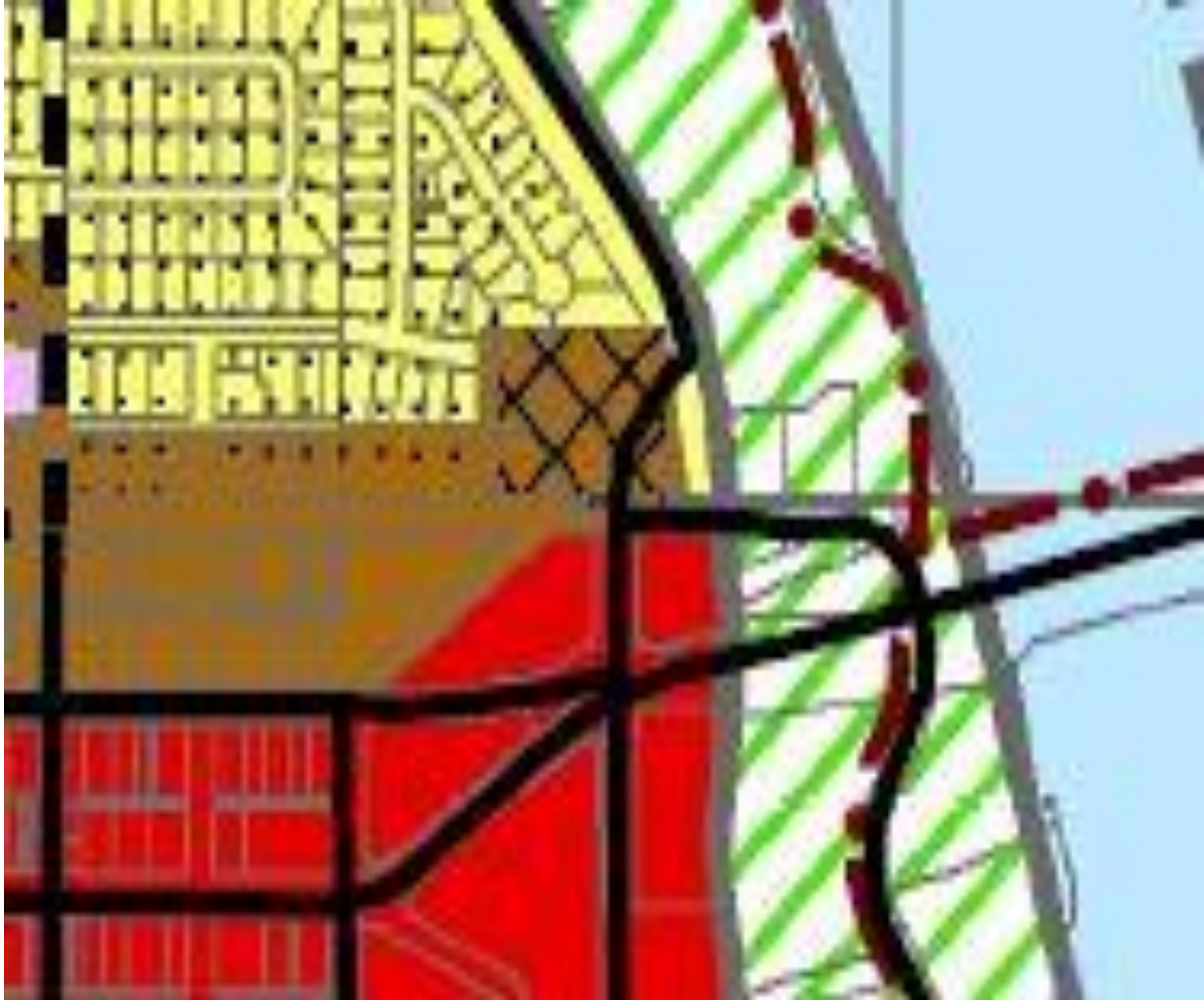


EXHIBIT 'F'



Landreth
LAW FIRM

PLC

March 31, 2022

E-Mail: llandreth@landrethlaw.com

VIA ELECTRONIC AND U.S. MAIL

Brandon Macy, Jenks City Clerk
PO Box 2007
Jenks, OK 74037
BMacy@jenksok.org

Marcae Hilton, Jenks Planning Director
PO Box 2007
Jenks, OK 74037
MHilton@jenksok.org

Re: PUD Amendment regarding 813 E "B" Street, Jenks, Oklahoma

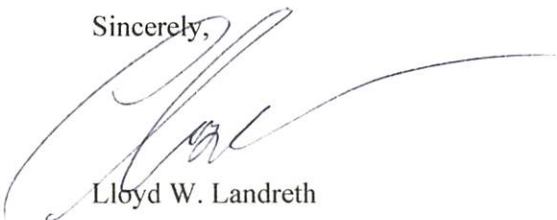
Dear Mr. Macy and Ms. Hilton:

I am writing you with regard to the application of a major PUD amendment to allow for the use of a "health club" and "general services" at 813 East "B" Street, Jenks, Oklahoma. I own the property and operate my law firm at 801 East B Street, which is adjacent to the property for which the PUD amendment is proposed. While I do support the development of 813 E. B Street, should I be unable to attend the April 7th Planning Commission meeting, I wanted to document for the record my concerns as follows:

- The proposed use must have adequate ingress and egress and parking. There will be no unauthorized parking in my office lot.
- My property was originally zoned as protected residential use. My office use is compatible and was in the Comprehensive Plan as such. Stating the new use as a "health club" and "general services" is not specific enough to understand the planned use for which the zoning change is requested. For example, if "general services" includes a cannabis dispensary business, such would never be compatible with my use or the protected residential area adjacent to 813 B Street.
- What are the hours of operation? The hours of operation must be compatible with the protected residential area and my business. A bar or similar use with late hours would not be compatible.

In summary, while in favor of development, the unique setting of 813 B Street requires very specific language on what type of business can and cannot be conducted. I look forward to learning more about what the project proponent has planned and is willing to commit to as far as use.

Sincerely,

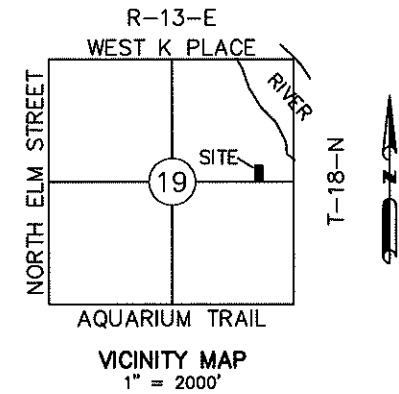
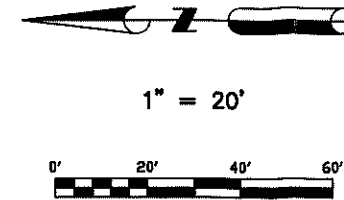


Lloyd W. Landreth

LWL/dmk

Fidler Acre

PART OF LOT FOUR (4) IN SECTION NINETEEN (19), TOWNSHIP
EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST,
A/K/A 813 EAST B STREET, JENKS, OK 74037.



PLAT No.

FINAL PLAT
CERTIFICATE OF APPROVAL
I hereby certify that this plat was
approved by the Tulsa Metropolitan
Area Planning Commission on:

MAYOR - VICE MAYOR
This approval is valid if the above
signature is not endorsed
by the City Manager.

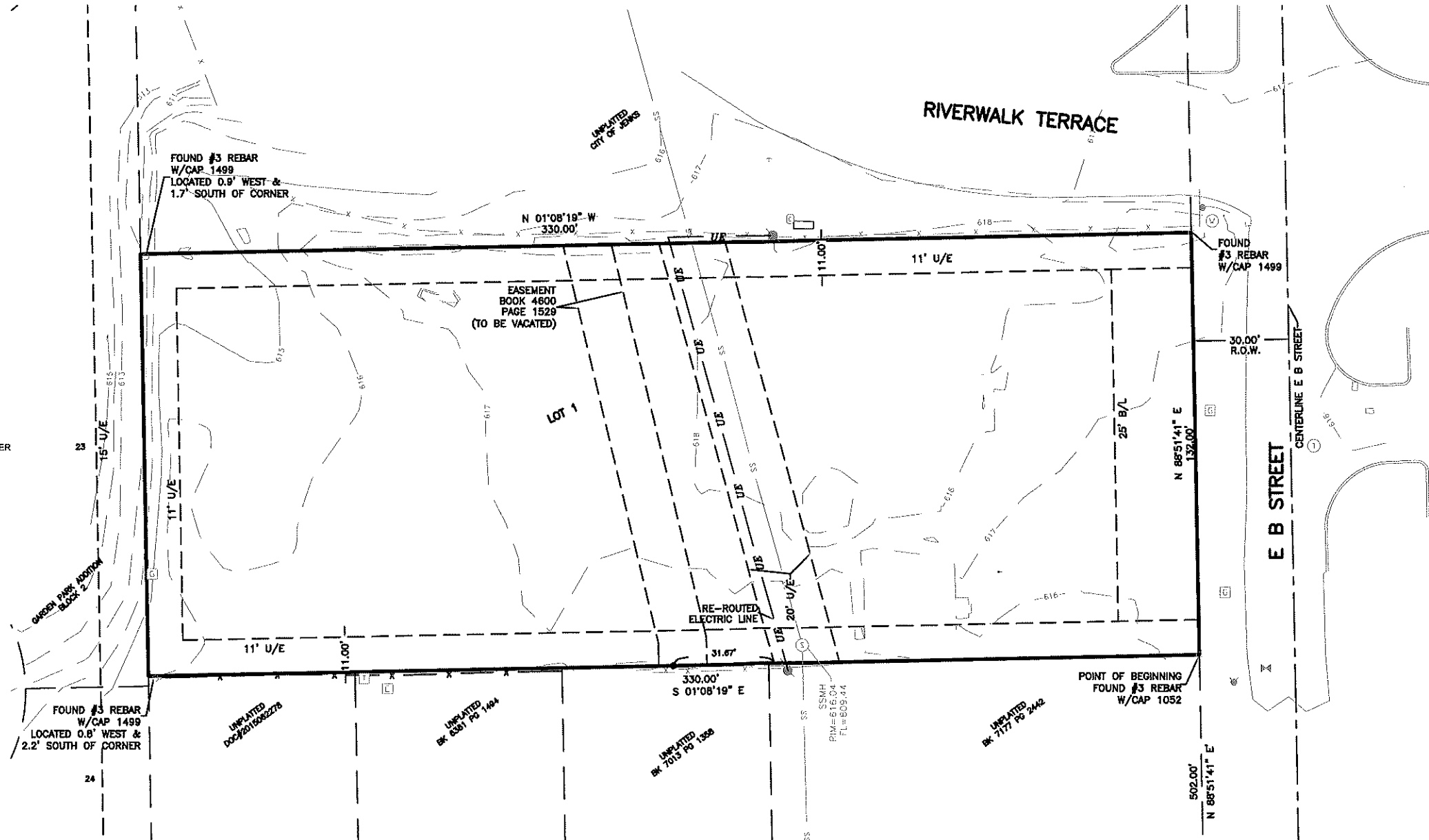
CITY MANAGER

OWNER/DEVELOPER
RSF HOLDINGS LLC
813 E. B ST. N.
JENKS, OK 74037

SURVEYOR
Tulsa Land Surveying LLC
1501 E. 6th St., Tulsa, OK 74120
PHONE: 918.794.6777

SURVEY LEGEND

- ASPHALT
- CONCRETE
- UT UNDERGROUND TELEPHONE
- SS UNDERGROUND SANITARY SEWER
- UG UNDERGROUND GAS
- UC UNDERGROUND CABLE
- VW UNDERGROUND WATER
- US UNDERGROUND STORM SEWER
- OE OVERHEAD ELECTRIC
- FENCE
- WATER VALVE
- WATER METER
- FIRE HYDRANT
- SHRUB
- DECIDUOUS TREE
- CONIFEROUS TREE
- POWER POLE
- AC UNIT
- GUY WIRE
- TELEPHONE UNDERGROUND MARKER
- TELEPHONE PEDESTAL
- SIGN
- MAIL BOX
- GAS METER
- FIBER OPTIC PEDESTAL
- TRAFFIC SIGNAL POLE
- ELECTRIC METER
- LIGHT POLE
- TRAFFIC JUNCTION BOX
- CABLE TV UNDERGROUND MARKER
- SANITARY SEWER MANHOLE
- GAS VALVE
- STORM SEWER MANHOLE
- FOUND MONUMENTS
- SET MONUMENTS
- U/E UTILITY EASEMENT



SUBDIVISION STATISTICS

SUBDIVISION CONTAINS ONE(1) LOTS IN ONE(1) BLOCK.
SUBDIVISION CONTAINS ONE(1) ACRE.

MONUMENTATION

ALL CORNERS WERE SET USING 3/8" X 18" REBAR
WITH A YELLOW CAP (YPC) STAMPED "TULSA CA 6038",
UNLESS OTHERWISE NOTED.

BASIS OF BEARINGS

BASIS OF BEARINGS SHOWN HEREON BEING THE SOUTH
LINE OF GOV'T LOT 4 AS NORTH 88°51'41" EAST.

CERTIFICATE

I HEREBY CERTIFY THAT ALL REAL ESTATE TAXES INVOLVED IN
THIS PLAT HAVE BEEN PAID AS REFLECTED BY THE CURRENT TAX
ROLLS. SECURITY AS REQUIRED HAS BEEN PROVIDED IN THE
AMOUNT OF \$_____ PER TRUST RECEIPT NO. _____
TO BE APPLIED TO 20____ TAXES. THIS CERTIFICATE IS NOT TO
BE CONSTRUED AS PAYMENT OF 20____ TAXES IN FULL BUT IS
MADE IN ORDER THAT THIS PLAT MAY BE FILED ON RECORD.
20____ TAXES MAY EXCEED THE AMOUNT OF THE SECURITY
DEPOSIT.

DATED: _____
TULSA COUNTY TREASURER
BY: _____
DEPUTY

STATE OF OKLAHOMA) SS
COUNTY OF TULSA)

I, EARLENE WILSON, TULSA COUNTY CLERK, IN AND FOR THE
COUNTY AND STATE ABOVE NAMED, DO HEREBY CERTIFY THAT THE
FOREGOING IS A TRUE AND CORRECT COPY OF A LIKE
INSTRUMENT NOW ON FILE IN MY OFFICE.

DATED THE _____ DAY OF _____ 20____
EARLENE WILSON, TULSA COUNTY CLERK.

DEPUTY

TULSA LAND SURVEYING LLC
1501 EAST 6TH STREET
TULSA, OK 74120
(918) 794-6777
CA 6038
EXPIRES 6/30/2021



FINAL PLAT
CERTIFICATE OF APPROVAL

I hereby certify that this plat was approved by the Tulsa Metropolitan Area Planning Commission on:

MAYOR – VICE MAYOR

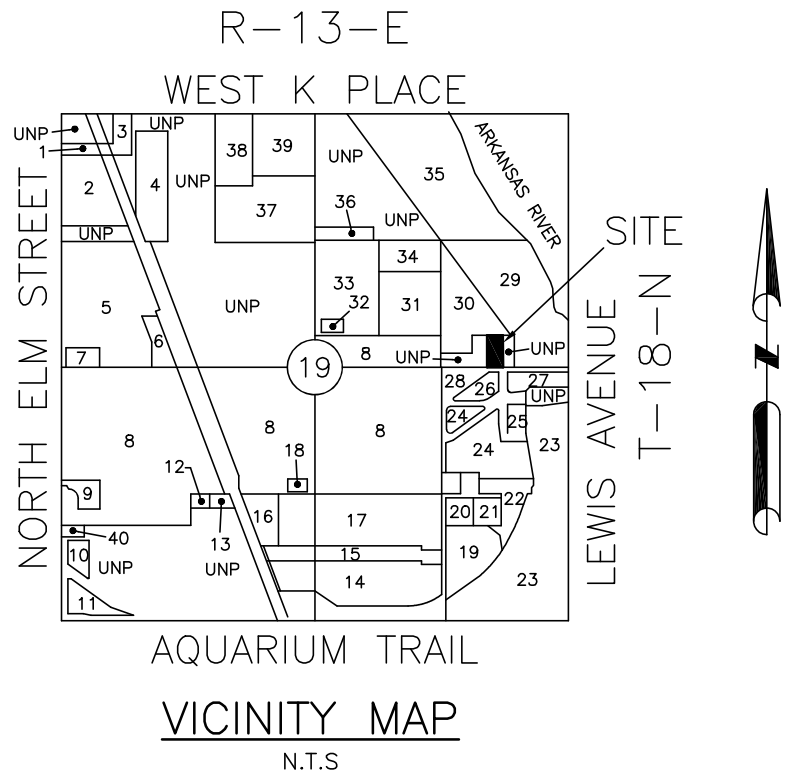
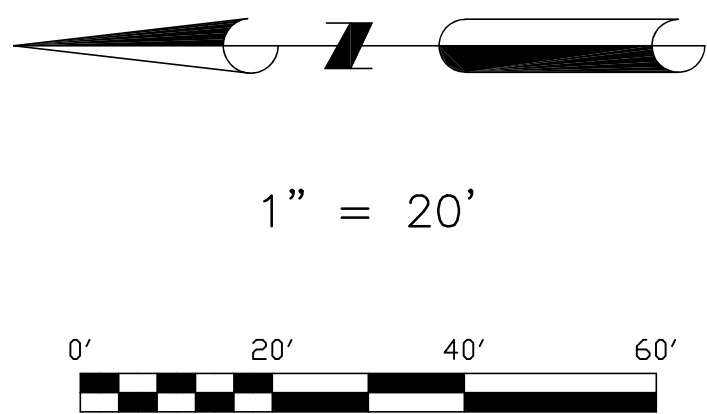
This approval is void if the above signature is not endorsed by the City Manager.

CITY MANAGER

PLAT No.

Fidler Acre

PART OF LOT FOUR (4) IN SECTION NINETEEN (19), TOWNSHIP
EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST,
A/K/A 813 EAST B STREET, JENKS, OK 74037.



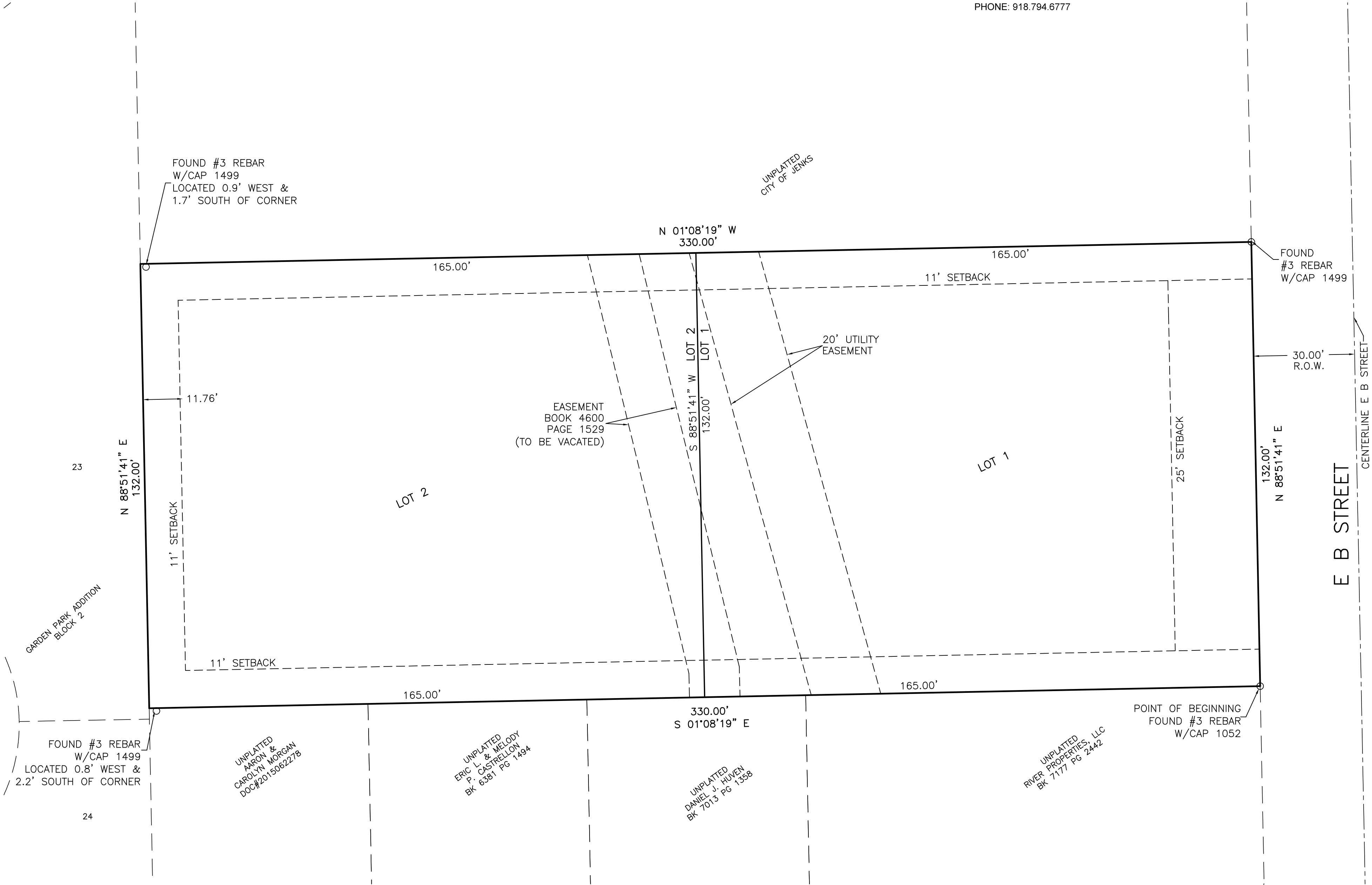
OWNER/DEVELOPER

KOZIOL GROUP HOLDINGS, LLC
3030 NORTHWEST EXPRESSWAY, OKLAHOMA CITY, OK 73112

SURVEYOR

Tulsa Land Surveying LLC
Certificate of authorization No. 6038, Exp. June 30, 2023
1501 E. 6th St., Tulsa, OK 74120
PHONE: 918.794.6777

B/L = BUILDING SETBACK LINE
U/E = UTILITY EASEMENT



SUBDIVISION STATISTICS

SUBDIVISION CONTAINS TWO(2) LOTS IN ONE(1) BLOCK.
SUBDIVISION CONTAINS ONE(1) ACRE.

MONUMENTATION

ALL CORNERS WERE SET USING 3/8" X 18" REBAR
WITH A YELLOW CAP (YPC) STAMPED "TLS CA 6038",
UNLESS OTHERWISE NOTED.

BASIS OF BEARINGS

BASIS OF BEARINGS SHOWN HEREON BEING THE SOUTH
LINE OF GOV'T LOT 4 AS NORTH 88°51'41" EAST.

CERTIFICATE

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ROLLS. SECURITY AS REQUIRED HAS BEEN PROVIDED IN THE
AMOUNT OF \$_____ PER TRUST RECEIPT NO._____
TO BE APPLIED TO 20_____ TAXES. THIS CERTIFICATE IS NOT TO
BE CONSTRUED AS PAYMENT OF 20_____ TAXES IN FULL BUT IS
MADE IN ORDER THAT THIS PLAT MAY BE FILED ON RECORD.
20_____ TAXES MAY EXCEED THE AMOUNT OF THE SECURITY
DEPOSIT.

DATED: _____
TULSA COUNTY TREASURER
BY: _____
DEPUTY

POINT OF
COMMENCEMENT
SOUTHWEST CORNER
GOV'T LOT 4 SECTION 19
T-18-N, R-13-E

STATE OF OKLAHOMA) SS
COUNTY OF TULSA)

I, MICHAEL WILLIS, TULSA COUNTY CLERK, IN AND FOR THE
COUNTY AND STATE ABOVE NAMED, DO HEREBY CERTIFY THAT THE
FOREGOING IS A TRUE AND CORRECT COPY OF A LIKE
INSTRUMENT NOW ON FILE IN MY OFFICE,

DATED THE _____DAY OF _____20_____.
EARLENE WILSON, TULSA COUNTY CLERK.

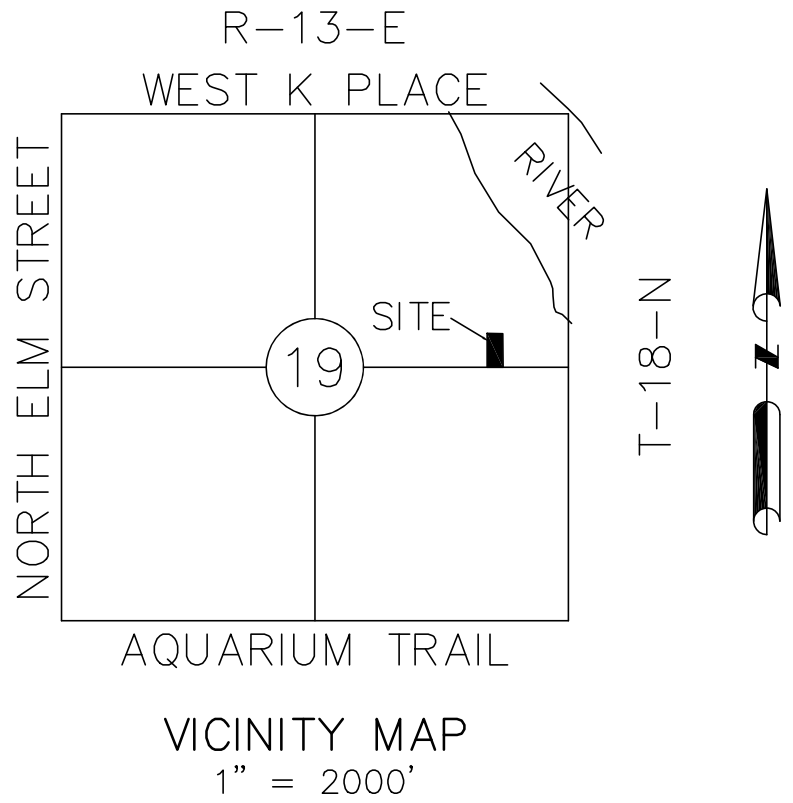
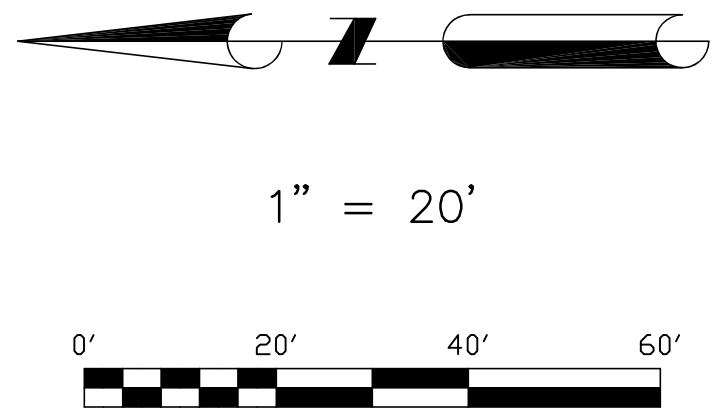
DEPUTY



Site Plan
For

Fidler Acre

PART OF LOT FOUR (4) IN SECTION NINETEEN (19), TOWNSHIP
EIGHTEEN (18) NORTH, RANGE THIRTEEN (13) EAST,
A/K/A 813 EAST B STREET, JENKS, OK 74037.



OWNER/DEVELOPER

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3030 NORTHWEST EXPRESSWAY, OKLAHOMA CITY, OK 73112

SURVEYOR

Tulsa Land Surveying LLC
Certificate of authorization No. 6038,
Exp. June 30, 2023
1501 E. 6th St., Tulsa, OK 74120
PHONE: 918.794.6777

SUBDIVISION STATISTICS

SUBDIVISION CONTAINS TWO(2) LOTS IN ONE(1) BLOCK.

SUBDIVISION CONTAINS ONE(1) ACRE.

MONUMENTATION

ALL CORNERS WERE SET USING 3/8" X 18" REBAR
WITH A YELLOW CAP (YPC) STAMPED "TLS CA 6038",
UNLESS OTHERWISE NOTED.

BASIS OF BEARINGS

BASIS OF BEARINGS SHOWN HEREON BEING THE SOUTH
LINE OF GOV'T LOT 4 AS NORTH 88°51'41" EAST.

GENERAL NOTES

- GULF PIPELINE COMPANY HAS A RIGHT OF WAY
GRANT AFFECTING THE LAND DEPICTED ON THIS
SUBDIVISION PLAT, PER BOOK 5734 AT PAGE
379.
- GYPSY OIL & GAS COMPANY HAS A RIGHT OF
WAY GRANT BLANKETING THE LAND AREA
DEPICTED ON THIS PLAT, PER BOOK 202 AT
PAGE 86.
- SURVEYOR HAS EXAMINED A MAP BY THE
FEDERAL EMERGENCY MANAGEMENT AGENCY,
FLOOD INSURANCE RATE MAP, TULSA COUNTY,
OKLAHOMA, MAP# 40143C0364L, EFFECTIVE DATE
OCTOBER 16, 2012, WHICH SHOWS THE
PROPERTY DESCRIBED HEREON IS LOCATED WITHIN
ZONE X (SHADED).

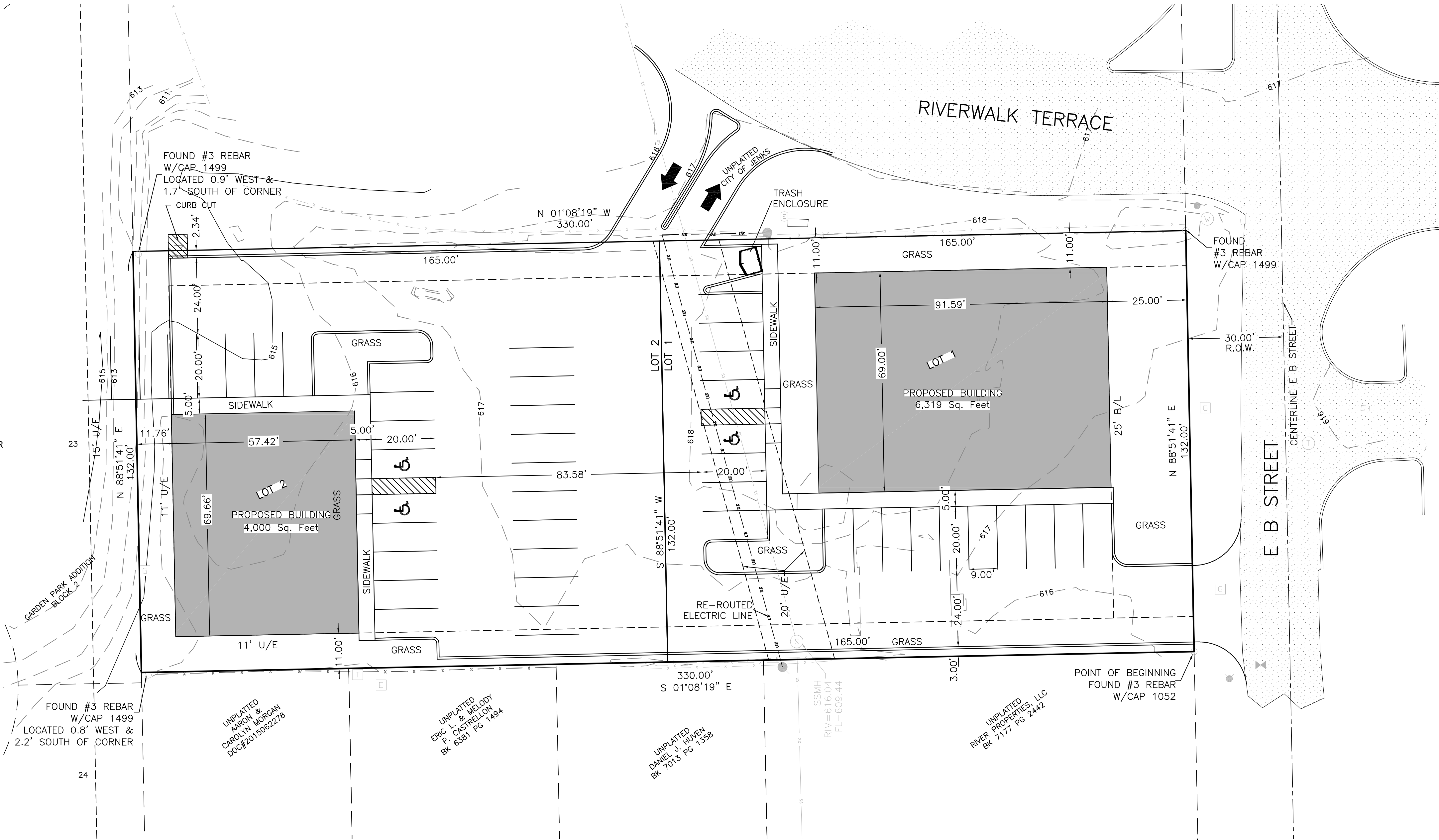
SURVEY LEGEND

	ASPHALT
	CONCRETE
UT	UNDERGROUND TELEPHONE
SS	UNDERGROUND SANITARY SEWER
UG	UNDERGROUND GAS
UC	UNDERGROUND CABLE
WTR	UNDERGROUND WATER
SW	UNDERGROUND STORM SEWER
OE	OVERHEAD ELECTRIC
X	FENCE
WV	WATER VALVE
WM	WATER METER
FD	FIRE HYDRANT
SH	SHRUB
DT	DECIDUOUS TREE
CT	CONIFEROUS TREE
PP	POWER POLE
AC	AC UNIT
GW	GUY WIRE
TUM	TELEPHONE UNDERGROUND MARKER
TP	TELEPHONE PEDESTAL
S	SIGN
MB	MAIL BOX
GM	GAS METER
FOP	FIBER OPTIC PEDESTAL
TSP	TRAFFIC SIGNAL POLE
EM	ELECTRIC METER
LP	LIGHT POLE
TJB	TRAFFIC JUNCTION BOX
CUM	CABLE TV UNDERGROUND MARKER
SSMH	SANITARY SEWER MANHOLE
GV	GAS VALVE
SSMH	STORM SEWER MANHOLE
FM	FOUND MONUMENTS
SM	SET MONUMENTS
U/E	UTILITY EASEMENT

BENCHMARK

#3 REBAR WITH RED CAP LOCATED AT THE SOUTHEAST
CORNER OF RIVERWALK TERRACE AN EAST B STREET
APPROXIMATELY 60 FEET EAST AND 63 FEET SOUTH OF
THE SOUTHEAST CORNER OF SUBJECT TRACT.

ELEV. = 617.73' (NAVD '88)



TULSA LAND SURVEYING LLC
1501 EAST 6TH STREET
TULSA, OK 74120
(918) 794-6777
CA 6038
EXPIRES 6/30/2023



To	Planning Commission
Hearing Date	April 07, 2022
Case Number(s)	PA 22-20, PA 22-21, PA 22-22, PA 22-23, PA 22-24
Request	Recommendation of approval of amendment of multiple Land Use Map parcels
Applicant	Multiple Applicants

Staff Report

Preparer | Marcaé Hilton

Attachments

- ☐ Legal Notices for PA 22 20-24
- ☐ Future Land Use Map

Preparer

City of Jenks
Houseal Lavigne Associates

Background Information

CASE SUMMARY | PA 22-20 | General Location: 141st and Elm St | Applicant: Robert Bell

- CURRENT LAND USE DESIGNATION: Local Commercial
- REQUESTED LAND USE: Medium Intensity Single-family Residential

RECOMMENDATION | Staff recommends approval, this request matches previous Comp Plan Land Use designations for this property. The applicant will retain the hard corner for Local Commercial Uses. Staff has not had a formal predevelopment meeting regarding a development concept.

Part of the following parcels:

Parcel ID97307730722010
Parcel ID97307730743200
Parcel ID97307730735950
Parcel ID97307730737950
Parcel ID97307730735110
Parcel ID97307730739350



5 Acre Commercial Corner

CASE SUMMARY | PA 22-21 | General Location: 528 E 121st St | Applicant: Robert Bell

- **CURRENT LAND USE DESIGNATION:** Parks and Open Space
- **REQUESTED LAND USE:** Low Intensity Single-family Residential

RECOMMENDATION | Staff recommends approval, the owners have always had some type of Single-family Residential as part of the Five Oakes Long Term Development Plan. Staff has not had a formal predevelopment meeting on this portion of the land.



Parcel ID97306730659080

Parcel ID97305730560310

Parcel ID97306730622240

Parcel ID97305730507110

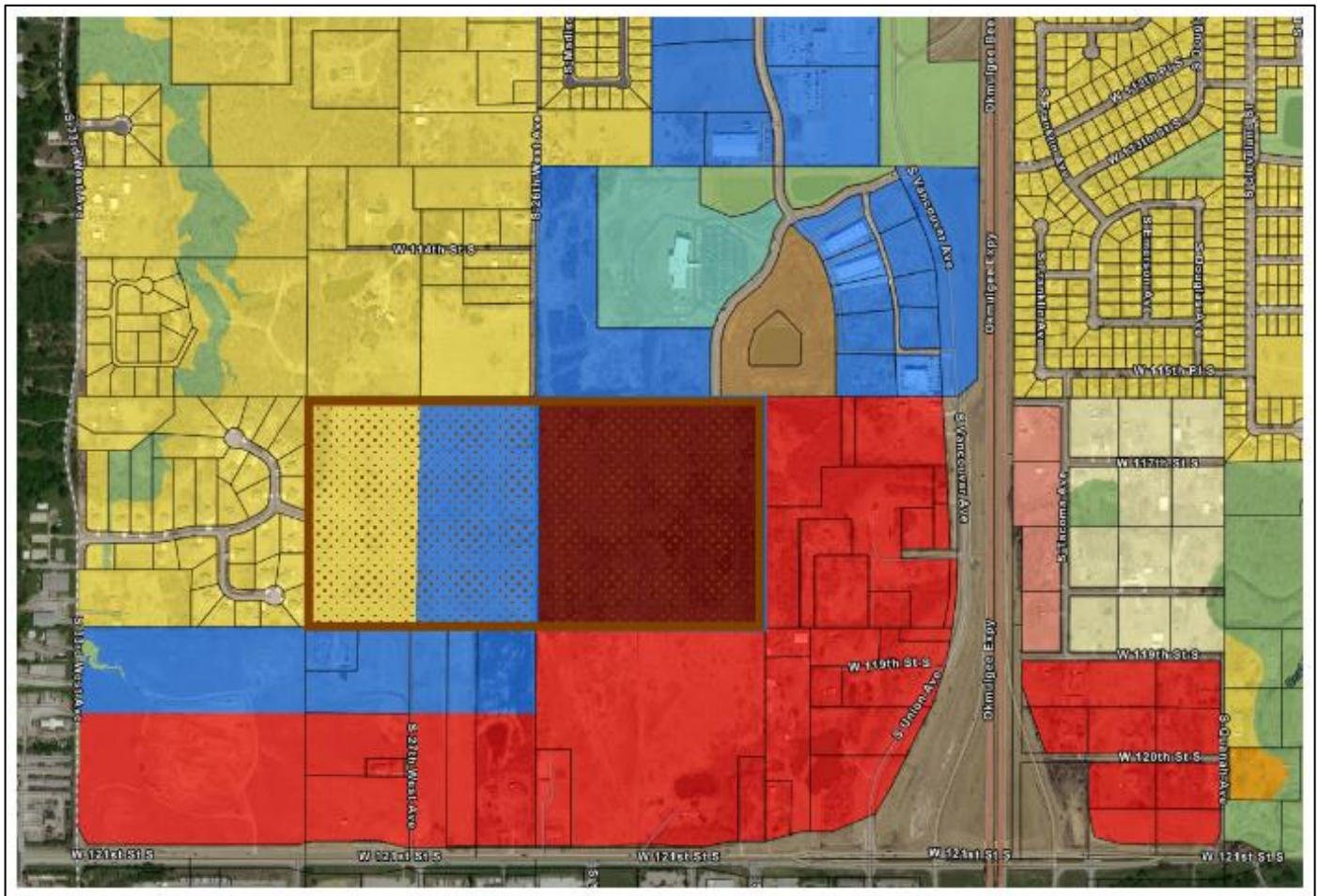
CASE SUMMARY | PA 22-22 | General Location: 121st & HWY 75 | Applicant: City of Jenks in anticipation of future commercial and residential development.

- | | |
|---------------------------------|--------------------------|
| • CURRENT LAND USE DESIGNATION: | REQUESTED LAND USE: |
| Regional Commercial | Multi-Family Residential |
| Business Park | Multi-Family Residential |
| Medium Intensity Single-family | Multi-Family Residential |

RECOMMENDATION | Staff Recommends approval and believes Multi-family Residential is an appropriate “Use” adjacent to Regional Commercial development. No formal applications have been submitted to the City of Jenks regarding these properties.

PART OF: PARCEL ID 98234823451210

PART OF: PARCEL ID 98234823435610



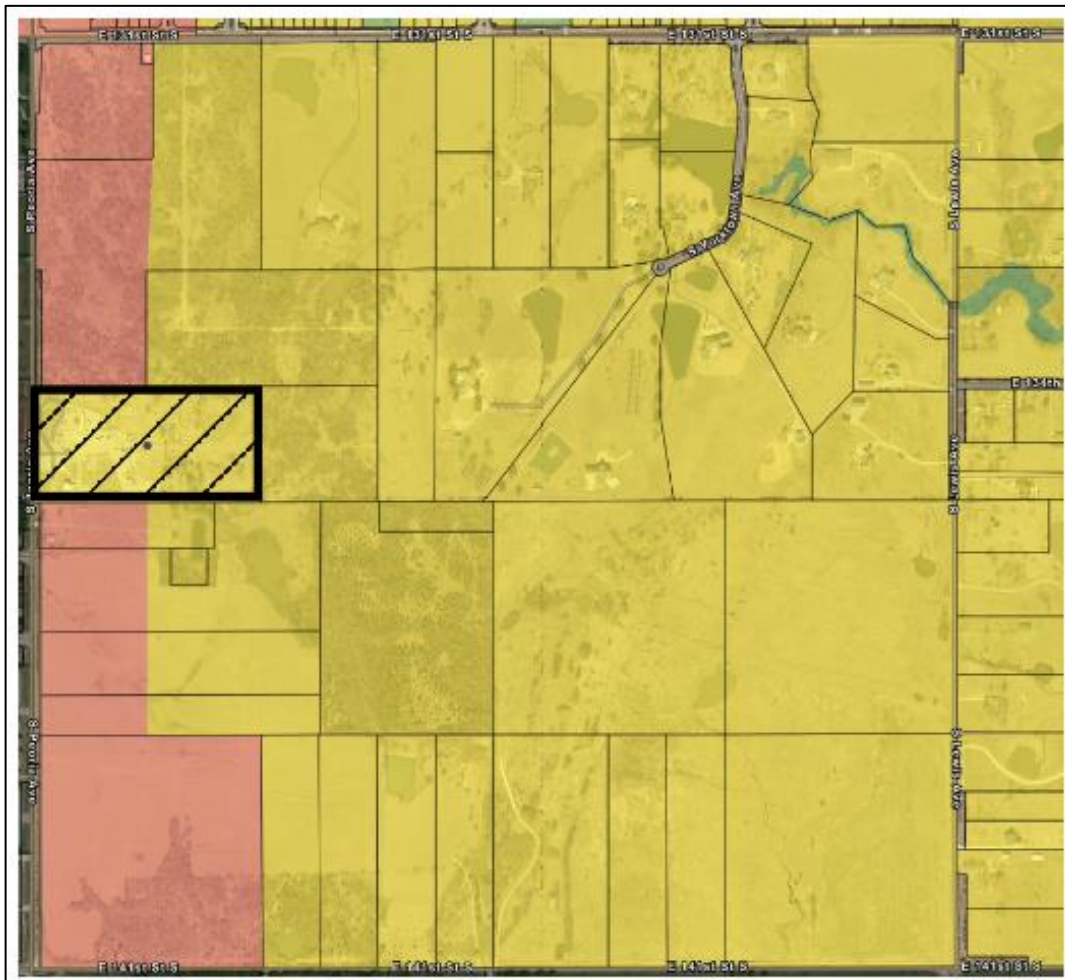
CASE SUMMARY | PA 22-23 | General Location: Mid-mile between 131st and 141st east of Peoria

| Applicant: City of Jenks on behalf of purchaser

- CURRENT LAND USE DESIGNATION: Medium Intensity Single Family
- REQUESTED LAND USE: Light Industrial

RECOMMENDATION | This parcel is in the process of being purchased, no predevelopment meeting has been scheduled, but Staff is aware of the desire to take advantage of the large quantity of electrical power onsite. Because this property is zoned Industrial Medium and was previously identified as a higher intensity "Use" staff is not opposed to reverting the Land Use Map to the match the zoning and believes the text is still applicable. *The heavy industrial land use designation is established to accommodate existing industrial uses including Kimberly Clark and the Glenpool Terminal. The Land Use Plan for the City of Jenks does not provide additional areas for heavy industrial uses, or new uses in existing areas that pose an undue risk to public safety.* Industrial Heavy is a legacy district, there are limited uses allowed for this site, see the UDO for details, none are considered to pose undue risk to public safety and would be allowed with or without the change in the Land Use Map.

PARCEL ID	97307730729910
PROPERTY ADDRESS	13100 S PEORIA AV E
LEGAL	S/2 GOV LT 2
GROSS ACRES	19.69



CASE SUMMARY | PA 22-24 | Applicant: City of Jenks in anticipation of changing growth patterns | Two (2) requests for approval of a Comprehensive Plan Land Use Map Amendment:

CURRENT PLAN	REQUESTED PLAN	GENERAL LOCATION
1. Regional Commercial	Medium Intensity Single-family	SW Corner of 91st and Union
2. Multi-family Residential	Business Park	NW Corner of HWY 75 & 111 th

1. RECOMMENDATION: This property was identified as Regional Commercial in the Comprehensive plan primarily due to the proximity to HWY 75. However, the area has no infrastructure and has been challenging to develop. Staff has had multiple meetings with some of the owners trying to solve the water and sewer issues. The properties directly south of 91st are developed as Single-family large residential lots. The 10-acre parcel south of those homes has been purchased for a small (3) three lot Minor Residential Subdivision. The owners may develop Union as office/commercial. Staff has received a few calls, one caller requested to be removed stating they prefer the Regional Commercial Land Use designation, the parcel is identified below.

Parcel ID 98222822209010 | Property Address: 2010 W 91 ST S
 Legal W132 W396 N/2 NW NE NE LESS N50 THEREOF SEC 22 18 12 .848AC
 Gross Acres 0.85

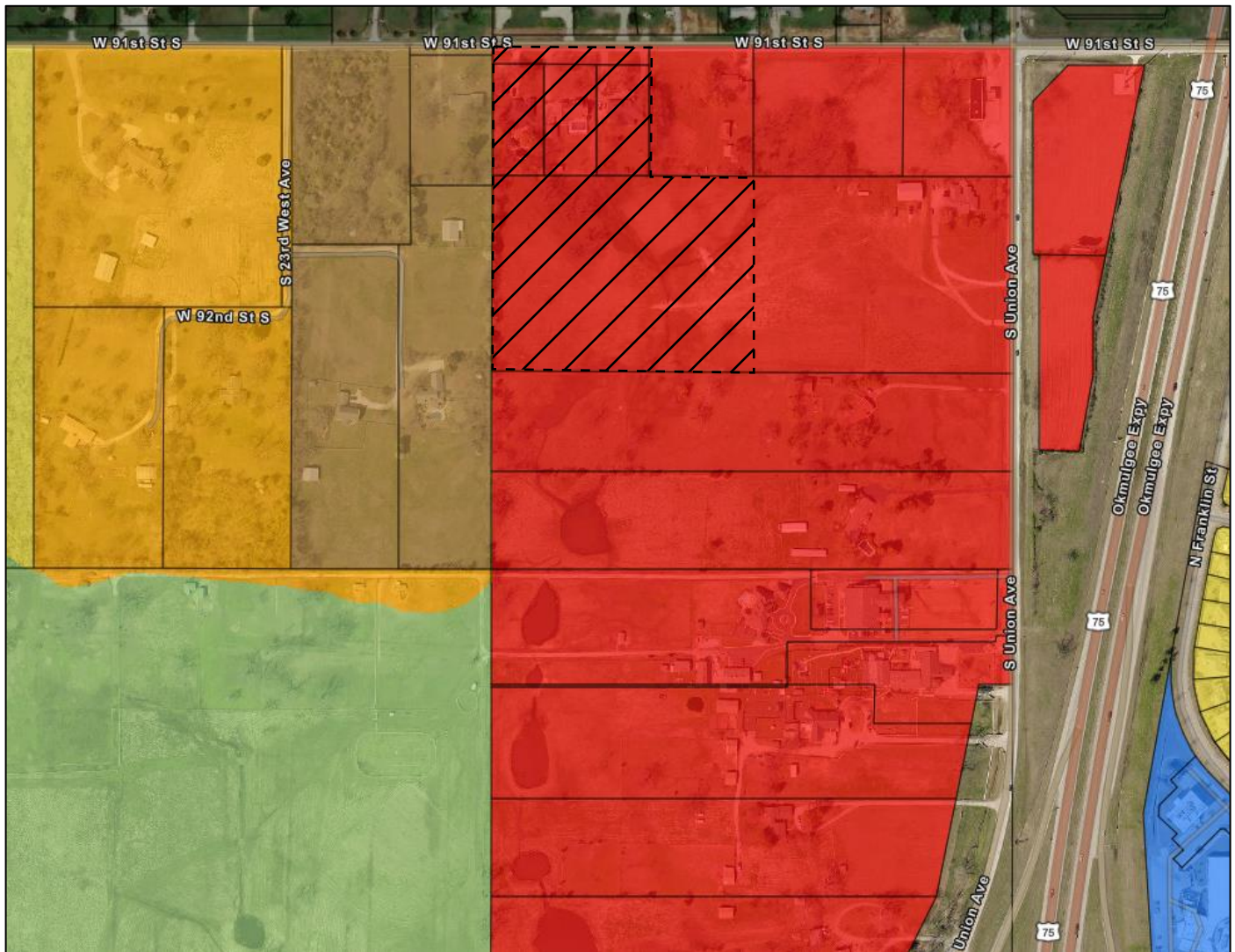
Parcel ID 98222822266210 | Property Address: 1916 W 91 ST S
 Legal E132 W264 W396 N/2 NW NE NE LESS N50 THEREOF SEC 22 18 12 .848ACS
 Gross Acres 0.85

Parcel ID 98222822208860 | Property Address: 1908 W 91 ST S
 Legal E132 W396 N/2 NW NE NE LESS N50 THEREOF SEC 22 18 12 .848AC
 Gross Acres 0.85

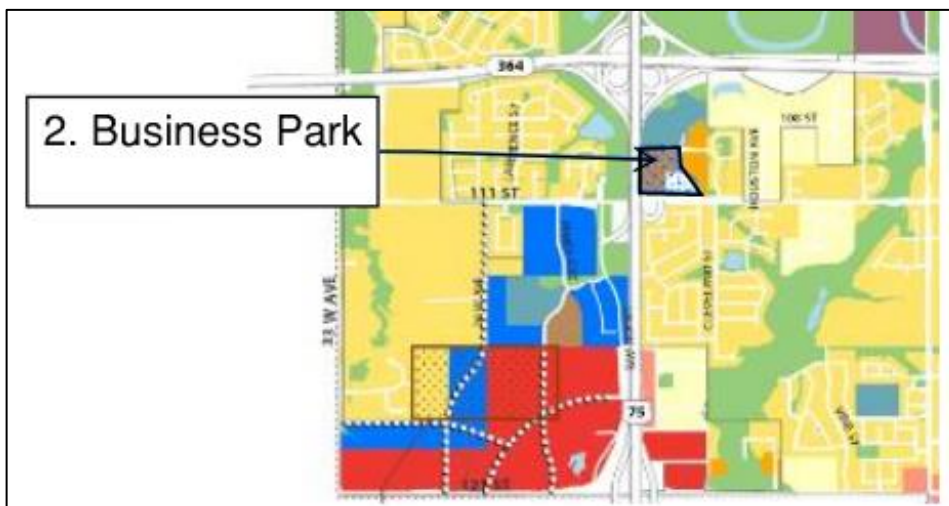
Parcel ID 98222822205510 | Property Address: 9202 S UNION AV W
 Legal S 495' N 825' NE NE SEC 22 18 12
 Gross Acres 15.00

Parcel ID 98222822208610 | Address: 1724 W 91 ST S | NOT INCLUDED IN MAP AMENDMENT
 Legal E 264' N 1/2 NW NE NE SEC 22 18 12
 Gross Acres 2.00





2. RECOMMENDATION: This property was identified as Multi-family, it is not recognized as a good location for commercial due to access/lack of access to HWY 75. Staff swapped this Multi-family land area with property on the west side of HWY 75 (PA 22-22) for Business Park.



GENERAL INFORMATION ON HORIZON JENKS | The [Horizon Jenks Plan](#) was adopted by Resolution 712, September 1, 2020. The process, which began in May of 2019, took over a year and provided the citizens of Jenks the ability to partner with staff on creating community vision of Jenks to guide the City in its decision making for the next 20 years. The Comprehensive Plan is a set of policies that direct future growth and development for the City of Jenks.

The project kicked off with extensive community outreach opportunities including a staff workshop, elected and appointed officials roundtable, community wide workshop, business workshop, key person interviews, focus groups, a meeting with the Advisory Committee, as well as online questionnaires. Hundreds of participants offered their ideas, discussed their concerns, and relayed their vision for the future of the community.

What are the contents of the Horizon Jenks Comprehensive Plan?

A typical Comprehensive Plan outlines the existing conditions of the City, describes future goals and objectives for development, and includes an action plan on how to achieve these goals and objectives. The Jenks Comprehensive Plan addresses the following:

- Land Use & Development
- Commercial Areas
- Transportation & Mobility
- Parks, Open Space, and Environmental Features
- Agricultural and Cultural Facilities
- Housing & Neighborhoods
- Economic Development Framework
- Community Facilities & Utilities
- Implementation Strategy

Staff Evaluation

EVALUATION | The Comprehensive Plan was adopted by Resolution 712; State Statute gives the Municipality the authority as follows:

**Oklahoma Statutes; Title 11. Cities and Towns; Chapter 1 - Oklahoma
Municipal Code; Article; Article XLIII-Buildings and Zoning; Section 43-103 -
Purpose of Regulations – [Comprehensive Plan](#)
Municipal regulations as to buildings, structures and land shall be made in**

accordance with a comprehensive plan and be designed to accomplish any of the following objectives:

1. To lessen congestion in the streets;
2. To secure safety from fire, panic and other dangers;
3. To promote health and the general welfare, including the peace and quality of life of the district;
4. To provide adequate light and air;
5. To prevent the overcrowding of land;
6. To promote historical preservation;
7. To avoid undue concentration of population; or
8. To facilitate the adequate provision of transportation, water, sewerage, schools, parks and other public requirements. The regulations shall be made with reasonable consideration, among other things, as to the character of the district and its peculiar suitability for particular uses, and with a view to conserving the value of buildings and encouraging the most appropriate use of land throughout the municipality. *The governing body shall provide the manner in which regulations, restrictions and district boundaries shall be determined, established and enforced, and amended, supplemented or changed.*

Staff Comments & Recommendations

STAFF COMMENTS | Staff has no conditions for approval of items, each item requires a separate vote:

1. **PA 22-20**, 141st and Elm St | Approve to match previous Land Use Plan
2. **PA 22-21**, 528 E 121ST ST | Five Oaks | Approve to align with long term development plan
3. **PA 22-22**, Mid-mile between 131st and 141st east of Peoria | Approve to match zoning
4. **PA 22-23**, 121st & HWY 75 | Approve to allow for Multi-family Residential
5. **PA 22-24.1** | Approve to allow for Single-family Residential

CURRENT PLAN
24.1 Regional Commercial

REQUESTED PLAN
Medium Intensity Single-family

GENERAL LOCATION
SW Corner of 91st and Union

6. **PA 22-24.2** | Approve to allow for a potential Business Park

CURRENT PLAN
24.2 Multi-family Residential

REQUESTED PLAN
Business Park

GENERAL LOCATION
NW Corner of HWY 75 & 111th

RECOMMENDATION | *Recommend Approval to Amend all 6 (six) Land Use Map requests*



Land Use

Robert Bell

918-902-0462

February 24, 2022

City of Jenks
211 N. Elm
Jenks, Oklahoma 74037

RE: Request for an Amendment to the Comprehensive Plan Map related to property identified as the SW/4 SW/4 of Section 7, T17N, R13E, of the Indian Base and Meridian Less and except the west 50 feet thereof, and Part of the N/2 of the SW/4 of Section 7, T17N, R13E Beginning at the SWC of Government Lot 3, Thence North 228.27 feet Thence East 1636.31 feet, Thence South 228.76 feet, Thence West 1636.41 feet to the point of Beginning; Less and except the West 50 feet for Road Right of Way;

Changing the Comprehensive Plan Designation of Commercial on the subject property to Medium Intensity Single Family Residential, except and retaining the standard 5-acre commercial node located at the intersection of 141st Street and South Elm.

Marcae Hilton, Jenks Planning Director:

This correspondence is an official request of the owner and contract purchaser of the above-described property to change the Commercial Designation on the subject property to a Medium Density Single Family Residential designation.

There are various land use changes that affect this area that would warrant consideration for the requested change. A more in-depth discussion follows.

When the Comprehensive Plan was updated in 2005 a 400-600 foot strip of land was designated for commercial along the entire frontage of the subject tract along Elm Street. It was further designated with an additional 400-600 foot strip of land immediately east of the commercial designation as Medium Intensity. It was considered that the medium intensity designation could be utilized to expand the commercial area or provide a buffer use to the Low Intensity It

In 2016 Staff processed an Amendment to the Jenks Comprehensive Plan to remove the commercial designation along Elm Street and have it designated Medium Intensity. I have attached the Staff Reports for this amendment and Ordinance #639 which was approved by the Jenks City Council. A major consideration for this amendment was in recognition that the traffic circulations promoted by the Comprehensive Plan with the addition of the South Bridge would alleviate the viability of so much commercial along this roadway.

The Horizon update of the Jenks Comprehensive Plan removed the flexibility of the Medium Intensity designation. The new update did not recognize 141st in its commercial objectives as it did for the intersections of 131st, 121st, 111th and Elm Street. However, the Medium Intensity strip along Elm Street was changed back to a Local Commercial Designation. I believe this was done in recognition of the commercial developments that have transpired on the northwest corner in Glenpool. The use of Elm Street from 141st to 131st will not be utilized by local traffic as a transportation element to area highways or population centers. The City of Glenpool has developed a large commercial and service center at the intersection of 151st (Hwy 67) and Highway 75. This development is located on the northside of 151st immediately across from a new St. Francis Hospital. This location has full entrances to Highway 75 and is only 2 miles from 141st and Elm. Any development south and west of 141st and Elm will utilize that circulation system and the commercial uses designed to support development along 151st (Hwy 67) and Highway 75.

South 141st Street dead ends, because of the Arkansas River, at South Harvard, which is two miles east of Elm. It is expected that any owners within a development in Bixby one half mile from Hwy 67 will gravitate to 151st Street. It could also be understood that most residents in Jenks to get to the Highways or City center will utilize 131st Street. The standard 5-acre commercial node will be more than sufficient to provide local Commercial uses and services for a two mile by one mile area of potential development areas that will also have route options to transportation systems and commercial uses.

It was a part of the thought process in 2016 that the commercial designation in this area was hindering the viability of developing the infrastructure needed for anything to move forward. That determination is just as relevant today as it was in 2016. The designation of Medium Intensity Single Family Residential will promote the installation of the infrastructure for all development.

It is requested that the Jenks Comprehensive Plan Map and Comprehensive Plan Text be amended to reflect these changes and the designations as identified.

Sincerely,

A handwritten signature in black ink, appearing to read 'Robert Bell', with a stylized, cursive flourish at the end.

Robert Bell
Bell Land Use



CITY OF JENKS

211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
PHONE (918) 299-5883 • FAX (918) 299-4489

NOTICE OF A PUBLIC HEARING ON A PROPOSED COMPREHENSIVE PLAN LAND USE MAP AMENDMENT LOCATED IN THE CITY OF JENKS, OKLAHOMA

PA 22-20

Notice is hereby given that a public hearing will be held before the Jenks Planning Commission, in Jenks City Hall, Council Chambers, 211 North Elm Street, Jenks, Oklahoma, at 6:00 p.m. on 07 April 2022, in consideration of the following:

An application to approve a request by Bell Land Use, LLC, for a approval of a Comprehensive Plan Land Use Map Amendment from Local Commercial to Medium Intensity Single Family Residential.

Legal Description: W/4 SW/4 of Section 7, T17N, R13E, of the Indian Base and Meridian Less and except the west 50 feet thereof, and Part of the N/2 of the SW/4 of Section 7, T17N, R13E Beginning at the SWC of Government Lot 3, Thence North 228.27 feet Thence East 1636.31 feet, Thence South 228.76 feet, Thence West 1636.41 feet to the point of Beginning; Less and except the West 50 feet for Road Right of Way;

General Location: 141st and Elm St

All persons interested in this matter may appear at these hearings and present their objections to or arguments for any of the above matters.

Dated at Jenks Oklahoma on 15 March 2022.

Part of the following parcels:

Parcel ID97307730722010

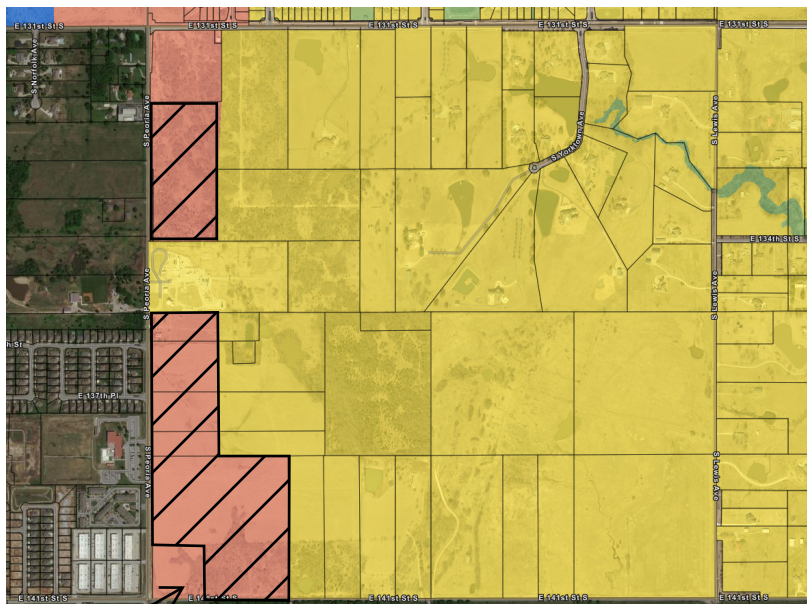
Parcel ID97307730743200

Parcel ID97307730735950

Parcel ID97307730737950

Parcel ID97307730735110

Parcel ID97307730739350



5 Acre Commercial Corner



Land Use

Robert Bell

918-902-0462

February 24, 2022

City of Jenks
211 N. Elm
Jenks, Oklahoma 74037

RE: Request for an Amendment to the Comprehensive Plan Map related to property identified as:

A TRACT OF LAND THAT IS PART OF THE EAST HALF (E/2) OF SECTION SIX (6) AND PART OF THE NORTHWEST QUARTER (NW/4) OF SECTION FIVE (5), TOWNSHIP SEVENTEEN (17) NORTH, RANGE THIRTEEN (13) EAST OF THE INDIAN BASE AND MERIDIAN, TULSA COUNTY, STATE OF OKLAHOMA, ACCORDING TO THE RECORDED PLAT THEREOF, BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE NORTHEAST CORNER OF SAID SECTION 6; THENCE SOUTH 00°57'55" EAST ALONG THE EAST LINE OF SAID SECTION 6 FOR 85.00 FEET TO THE POINT OF BEGINNING OF SAID TRACT OF LAND, SAID POINT BEING 15.00 FEET SOUTHERLY OF THE NORTHWEST CORNER OF SKYLINE ESTATES, AN ADDITION TO THE CITY OF JENKS, TULSA COUNTY, OKLAHOMA, RECORDED IN THE OFFICE OF THE TULSA COUNTY CLERK; THENCE CONTINUING SOUTH 00°57'55" EAST ALONG SAID EAST LINE OF SAID SECTION 6 AND ALONG THE WESTERN MOST WEST LINE OF SAID SKYLINE ESTATES FOR 915.57 FEET TO THE SOUTHWEST CORNER OF LOT 4, BLOCK 3 OF SAID SKYLINE ESTATES; THENCE NORTH 88°46'33" EAST ALONG THE SOUTH LINE OF SAID LOT 4 FOR 160.00 FEET TO THE WESTERN MOST SOUTHEAST CORNER OF SAID LOT 4; THENCE SOUTH 00°57'55" EAST ALONG THE EASTERLY MOST WEST LINE OF SAID SKYLINE ESTATES, PARALLEL WITH AND 160.00 FEET EASTERLY OF EAST LINE OF SAID SECTION 6 FOR 1640.00 FEET TO THE SOUTHWEST CORNER OF SAID SKYLINE ESTATES; THENCE SOUTH 88°46'33" WEST ALONG THE NORTH LINE OF LOT 1, BLOCK 1, OAK HILLS OF JENKS, AN ADDITION TO THE CITY OF JENKS, TULSA COUNTY, OKLAHOMA, RECORDED IN THE OFFICE OF THE TULSA COUNTY CLERK FOR 160.00 FEET TO A POINT OF THE EAST LINE OF SAID SECTION 6; THENCE SOUTH 00°58'03" EAST ALONG THE WEST LINE OF SAID OAK HILLS OF JENKS FOR 606.11 FEET TO THE NORTHEAST CORNER OF RESERVE D, YORKTOWN BLOCKS 45-49, AN ADDITION TO THE CITY OF JENKS, TULSA COUNTY, OKLAHOMA, RECORDED IN THE OFFICE OF THE TULSA COUNTY CLERK; THENCE SOUTH 88°45'26" WEST ALONG THE NORTH LINE OF RESERVE D, BLOCK 48 AND NORTHERN MOST NORTH LINE OF RESERVE B, YORKTOWN BLOCKS 45-49 FOR 1323.54 FEET TO THE NORTHERN MOST NORTHWEST CORNER OF SAID RESERVE B; THENCE SOUTH 00°55'31" EAST ALONG THE EASTERN MOST WEST LINE OF SAID RESERVE B FOR 177.22 FEET TO THE WESTERN MOST NORTHEAST CORNER OF SAID RESERVE B; THENCE SOUTH 88°47'19" WEST ALONG THE SOUTHERN MOST NORTH LINE OF RESERVE B, BLOCK 45 AND A WESTERLY EXTENSION THEREOF FOR 569.78 FEET TO A POINT ON THE EAST LINE OF SHELBY AT YORKTOWN BLOCKS 36-38, AN ADDITION TO THE CITY OF JENKS, TULSA COUNTY, OKLAHOMA, RECORDED IN THE OFFICE OF THE TULSA COUNTY CLERK; THENCE NORTH 00°55'31" WEST ALONG SAID EAST LINE FOR 575.22 FEET TO THE SOUTHEAST CORNER OF LOT 15, BLOCK 36, SHELBY AT YORKTOWN BLOCKS 36-38; THENCE NORTH 88°47'19" EAST FOR 675.00 FEET; THENCE NORTH 00°58'33" WEST FOR 667.00 FEET; THENCE SOUTH 88°47'19" WEST FOR 213.00 FEET; THENCE NORTH 00°58'33" WEST FOR 2114.75 FEET TO A POINT ON THE SOUTH RIGHT OF WAY LINE OF EAST 121ST STREET SOUTH, SAID POINT BEING 65.00 FEET SOUTHERLY OF THE NORTH LINE OF SAID SECTION 6; THENCE NORTH 88°40'58" EAST PARALLEL WITH AND 65.00 FEET

SOUTHERLY OF THE NORTH LINE OF SAID SECTION 6, CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE FOR 50.40 FEET; THENCE SOUTH 01°19'02" EAST CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE FOR 5.00 FEET TO A POINT THAT IS 70.00 FEET SOUTHERLY OF THE NORTH LINE OF SAID SECTION 6; THENCE NORTH 88°40'58" EAST PARALLEL WITH AND 70.00 FEET SOUTHERLY OF THE NORTH LINE OF SAID SECTION 6, CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE FOR 900.00 FEET; THENCE SOUTH 01°19'02" EAST CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE FOR 15.00 FEET TO A POINT THAT IS 85.00 FEET SOUTHERLY OF THE NORTH LINE OF SAID SECTION 6; THENCE NORTH 88°40'58" EAST PARALLEL WITH AND 85.00 FEET SOUTHERLY OF THE NORTH LINE OF SAID SECTION 6, CONTINUING ALONG SAID SOUTH RIGHT OF WAY LINE FOR 481.00 FEET TO THE POINT OF BEGINNING OF SAID TRACT OF LAND. SAID TRACT OF LAND CONTAINS 113.485 ACRES OR 4,943,434 SQUARE FEET, MORE OR LESS. (See Attached Exhibit Site B-1)

Changing the Comprehensive Plan Designation of Parks and Open Space on the subject property to Low Intensity Single Family Residential.

Marcae Hilton, Jenks Planning Director:

This correspondence is an official request of the owner and of the above-described property to change the Parks and Open Space Designation on the subject property to a Low Intensity Single Family Residential designation.

The subject property master plan, by the owner, has always included the development of the 113 acres for residential use. Over the years, they have had several development plans created for the tract but have yet to move forward with a potential subdivision. Due to the character of the property and its associated terrain a larger lot development was always considered, and therefore the Low Intensity Designation is appropriate for the site.

The Horizon Comprehensive Plan recognized the site as a part of the Specific Use Permit for 5 Oaks Lodge. The new Comprehensive Plan, therefore, created the designation of the property as a Parks and Open Space Designation. The 5 Oaks Specific Use Permit (SUP) was one of the original SUP's processed by the City of Jenks. It was customary for these early applications to include the entire property to which they were located even though the SUP site plan did not encompass the entire site. This was the case associated with the subject tract.

In 2021 an amendment to the Specific Use Permit for 5 Oaks Lodge was process. This Amendment identified the area of the Specific Use Permit and released the subject property from the SUP designation. The subject Comprehensive Plan request will return the property not included in the SUP back to be consistent with the property owners master plan and allow any prospective development of the property to move forward.

It is requested that the Jenks Comprehensive Plan Map be amended to reflect these changes and the designations as identified.

Sincerely,

A handwritten signature in black ink, appearing to read 'Robert Bell', with a stylized flourish at the end.

Robert Bell
Bell Land Use



CITY OF JENKS

211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
PHONE (918) 299-5883 • FAX (918) 299-4489

NOTICE OF A PUBLIC HEARING ON A PROPOSED COMPREHENSIVE PLAN LAND USE MAP AMENDMENT LOCATED IN THE CITY OF JENKS, OKLAHOMA

PA 22-21

Notice is hereby given that a public hearing will be held before the Jenks Planning Commission, in Jenks City Hall, Council Chambers, 211 North Elm Street, Jenks, Oklahoma, at 6:00 p.m. on 07 April 2022, in consideration of the following:

An application to approve a request by Bell Land Use, LLC, for a approval of a Comprehensive Plan Land Use Map Amendment from Parks and Open Space to Low Intensity Single Family Residential.

General Location: 528 E 121st St

All persons interested in this matter may appear at these hearings and present their objections to or arguments for any of the above matters.

Dated at Jenks Oklahoma on 15 March 2022.

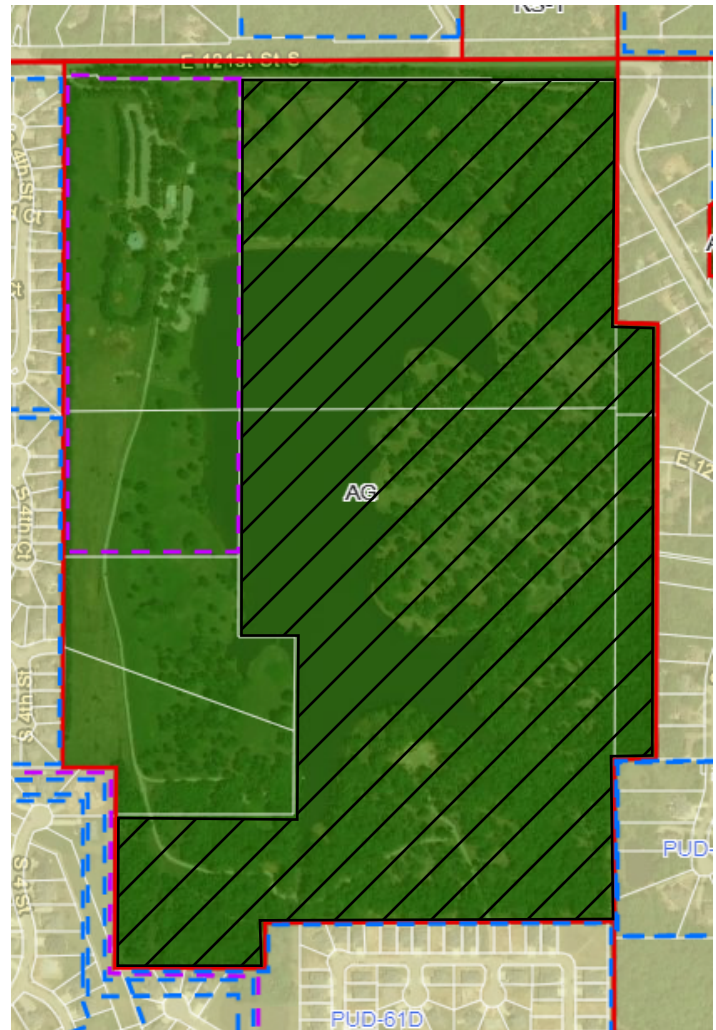
Marcae Hilton, Secretary
Jenks Planning Commission

Parcel ID97306730659080

Parcel ID97305730560310

Parcel ID97306730622240

Parcel ID97305730507110





CITY OF JENKS

211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
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NOTICE OF A PUBLIC HEARING ON A PROPOSED COMPREHENSIVE PLAN LAND USE MAP AMENDMENT LOCATED IN THE CITY OF JENKS, OKLAHOMA

PA 22-23

Notice is hereby given that a public hearing will be held before the Jenks Planning Commission, in Jenks City Hall, Council Chambers, 211 North Elm Street, Jenks, Oklahoma, at 6:00 p.m. on 07 April 2022, in consideration of the following:

An application to approve a request for a approval of a Comprehensive Plan Land Use Map Amendment from Medium Intensity Single Family to Light Industrial

General Location: 13100 S Peoria Ave

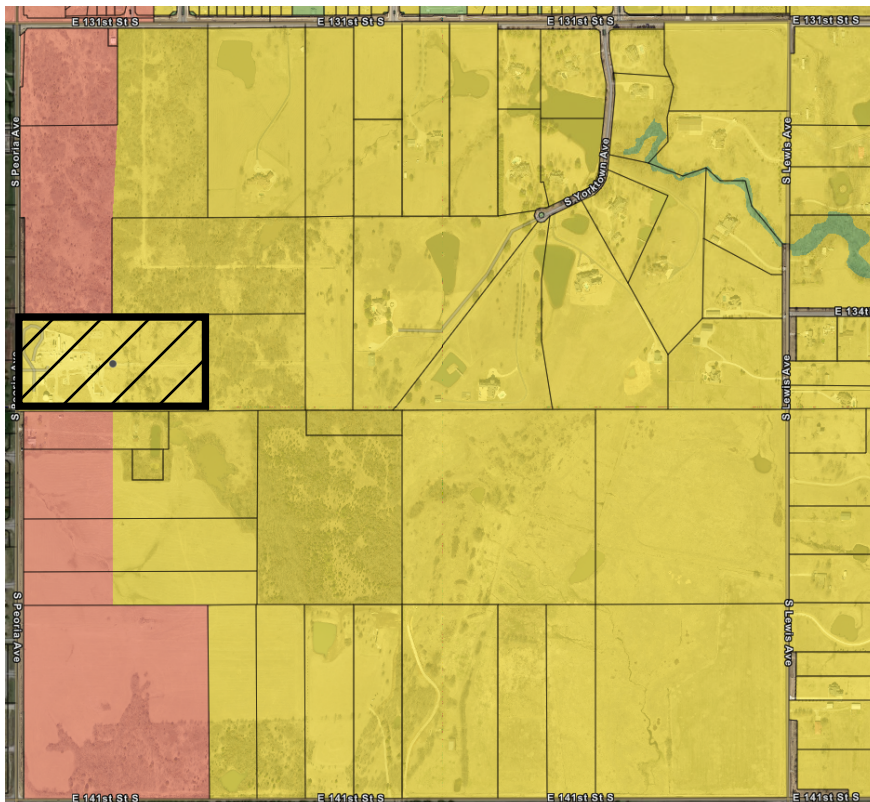
All persons interested in this matter may appear at these hearings and present their objections to or arguments for any of the above matters.

Dated at Jenks Oklahoma on 15 March 2022.

Marcae Hilton, Secretary
Jenks Planning Commission

Parcel ID	97307730729910
Property Address	13100 S PEORIA AV E
Legal	S/2 GOV LT 2
Gross Acres	19.69

Medium Intensity Single Family to Light Industrial





CITY OF JENKS

211 NORTH ELM STREET • P.O. BOX 2007
JENKS, OKLAHOMA 74037-2007
PHONE (918) 299-5883 • FAX (918) 299-4489

NOTICE OF A PUBLIC HEARING ON A PROPOSED COMPREHENSIVE PLAN LAND USE MAP AMENDMENT LOCATED IN THE CITY OF JENKS, OKLAHOMA

PA 22-24

Notice is hereby given that a public hearing will be held before the Jenks Planning Commission, in Jenks City Hall, Council Chambers, 211 North Elm Street, Jenks, Oklahoma, at 6:00 p.m. on 07 April 2022, in consideration of the following:

Two (2) requests for approval of a Comprehensive Plan Land Use Map Amendment:

CURRENT PLAN	REQUESTED PLAN	GENERAL LOCATION
1. Regional Commercial	Medium Intensity Single-family	SW Corner of 91 st and Union
2. Multi-family Residential	Business Park	NW Corner of HWY 75 & 111 th

All persons interested in this matter may appear at these hearings and present their objections to or arguments for any of the above matters.

Dated at Jenks Oklahoma on 16 March 2022.

Marcae Hilton, Secretary
Jenks Planning Commission

